

**ORDINANCE NO. O-2022-48**

**AN ORDINANCE GRANTING SETBACK VARIATIONS TO ARTICLE 3.4A.6, ARTICLE 10.2.5, AND ARTICLE 24.5.8 OF THE WHEATON ZONING ORDINANCE TO ALLOW THE CONSTRUCTION AND USE OF A NEW SINGLE-FAMILY RESIDENCE WITH A PAVER PATIO AND POOL ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1300 AURORA WAY - TENERELLI**

**WHEREAS**, written application has been made requesting variations to Article 10.2.5 and Article 3.4A.6 of the Wheaton Zoning Ordinance to allow the construction and use of a new single-family residence with a front yard setback (east property line) of 33.52 feet in lieu of the required 45.0 feet, a corner side yard setback (south property line) of 58.04 feet in lieu of the required 60.59 feet, and a rear yard setback (west property line) of 10.29 feet in lieu of the required 25.0 feet; a variation to Article 10.2.5 of the Wheaton Zoning Ordinance to allow the construction and use of a paver patio with a front yard setback (east property line) of 28.0 feet in lieu of the required 45.0 feet; and variations to Article 10.2.5 and Article 24.5.8 of the Wheaton Zoning Ordinance to allow the construction and use of a pool with a front yard setback (east property line) of 24.0 feet in lieu of the required 45.0 feet and a rear yard setback (west property line) of 8.95 feet in lieu of the required 10.0 feet, all on property commonly known as 1300 Aurora Way, Wheaton, Illinois 60187; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on September 27, 2022 to consider the setback variation request; and the Planning and Zoning Board has recommended approval of the setback variations.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

LOT 34 IN BLOCK 6 IN WHEATON GABLES, A SUBDIVISION OF THAT PART OF SECTION 20, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON THE 7<sup>TH</sup> DAY OF MAY, 1924, AS DOCUMENT 177386, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-20-101-069

The subject property is commonly known as 1300 Aurora Way, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, setback variations to Article 3.4A.6, Article 10.2.5, and Article 24.5.8 of the Wheaton Zoning Ordinance are granted to allow the construction and use of a new single-family residence with a paver patio and pool, in full compliance with the following plans: "Building Envelope, Exhibit A", "Site Engineering Plan, 1300 Aurora Way, Wheaton", prepared by Polena Engineering LLC, Lake In The Hills, IL, sheet 1 of 2, dated August 18, 2022, and "The Tenerelli Residence, 1300 Aurora Way", sheets T101, A101, A201, and A202, dated August 19, 2022, subject to the condition that the preliminary engineering plan shall be subject to further staff review prior to the issuance of a site development permit.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
\_\_\_\_\_  
Mayor

ATTEST:  
  
\_\_\_\_\_  
City Clerk

Roll Call Vote

Ayes: Councilwoman Robbins  
Councilman Weller  
Councilwoman Bray-Parker  
Councilman Barbier  
Councilman Brown  
Mayor Sues

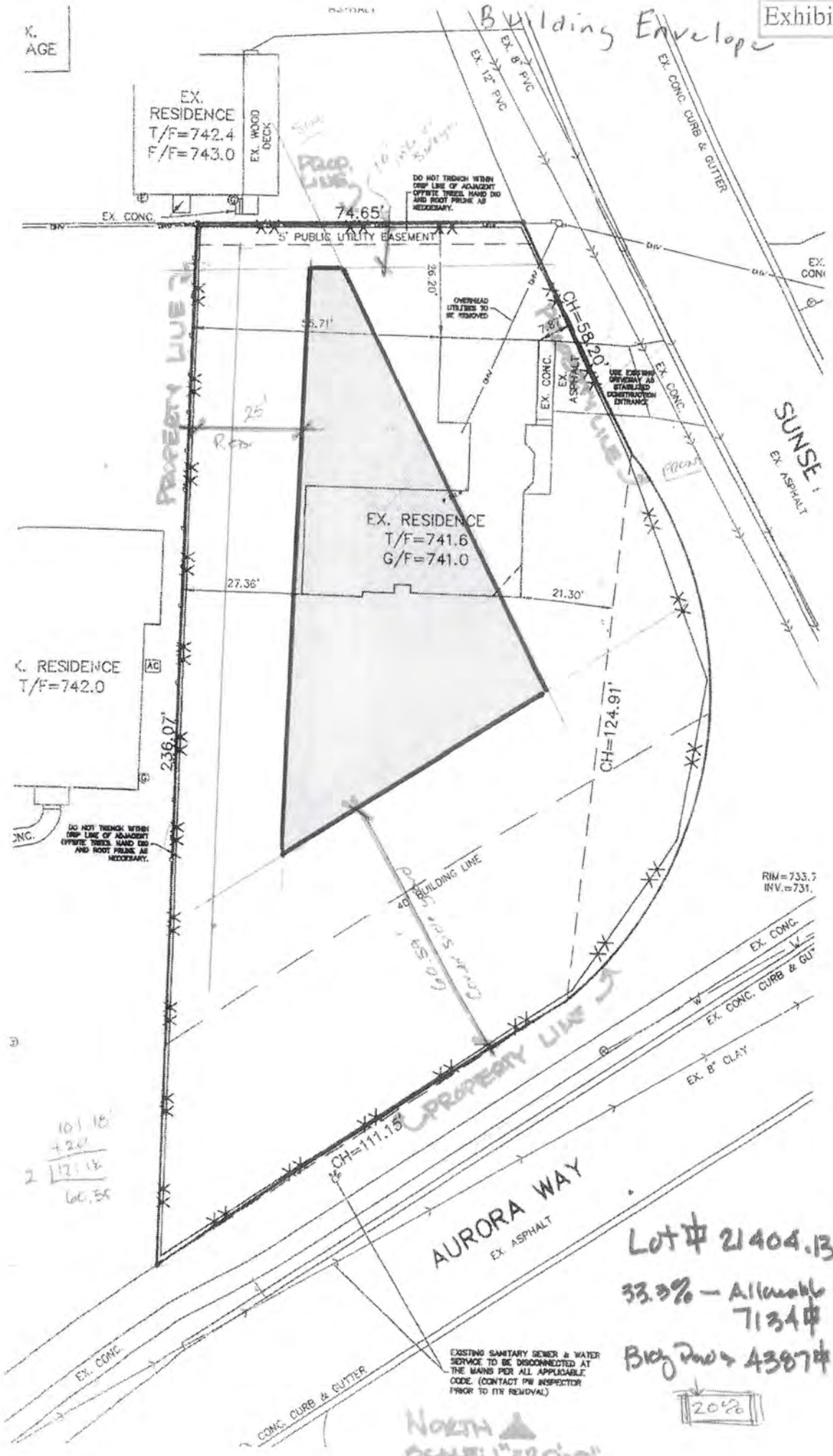
Nays: None

Absent: Councilwoman Fitch

Motion Carried Unanimously

Passed: October 17, 2022  
Published: October 18, 2022

K. AGE



Lot # 21404.13

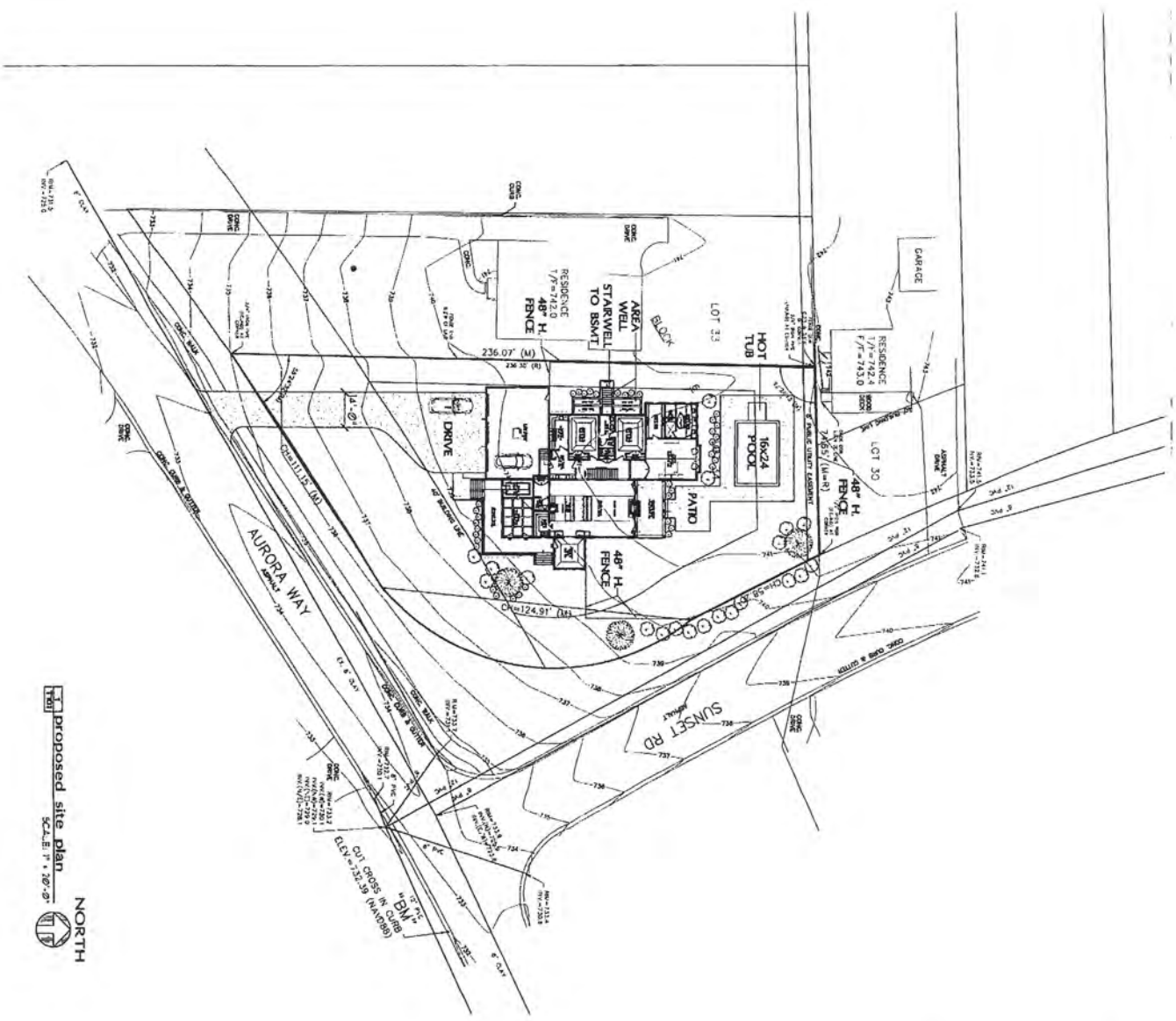
33.3% - Allowable  
7134 #

Big Box → 4387 #

20%

NORTH  
SCALE 1" = 20'-0"





proposed site plan  
SCALE: 1" = 20'-0"  
NORTH

**design criteria**

FLOOR	• 42' 11"	8' 11"	ALL AREA POOR STAIRS
DECK	• 48' 11"	10' 11"	ALL AREA POOR STAIRS
ROOF	• 32' 11"	8' 11"	100% LEAFY OVER 1" IN 3
COURTYARD	• 32' 11"	3' 10"	ALL AREAS
ENTRANCE	• 48' 11"	8' 11"	ENTRANCE
REAR PORCH	• 48' 11"	8' 11"	ENTRANCE
REAR PATIO	• 48' 11"	8' 11"	ENTRANCE
REAR DRIVE	• 48' 11"	8' 11"	ENTRANCE
REAR DRIVE	• 48' 11"	8' 11"	ENTRANCE
REAR DRIVE	• 48' 11"	8' 11"	ENTRANCE
REAR DRIVE	• 48' 11"	8' 11"	ENTRANCE

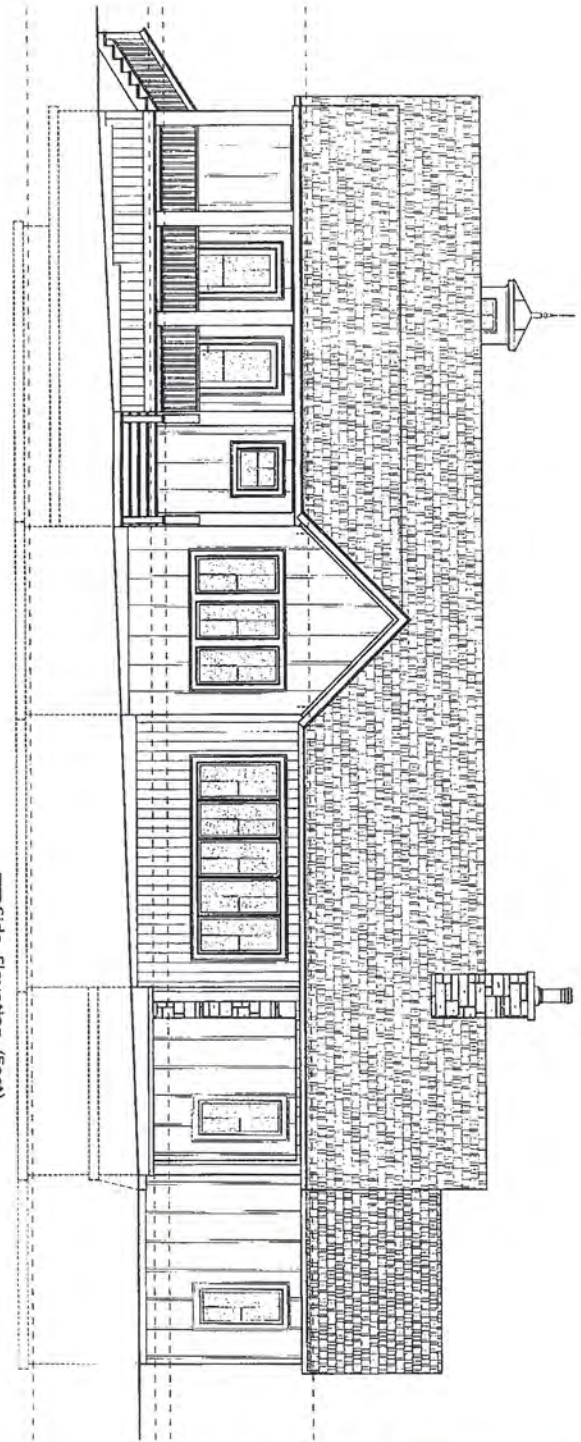
**Means of Energy Efficiency Compliance**  
The house meets or exceeds the requirements of the current Illinois Energy Conservation Code by obtaining the Performance Based Method.

**The Tenerelli Residence**  
1300 Aurora Way  
Wheaton, IL 60187

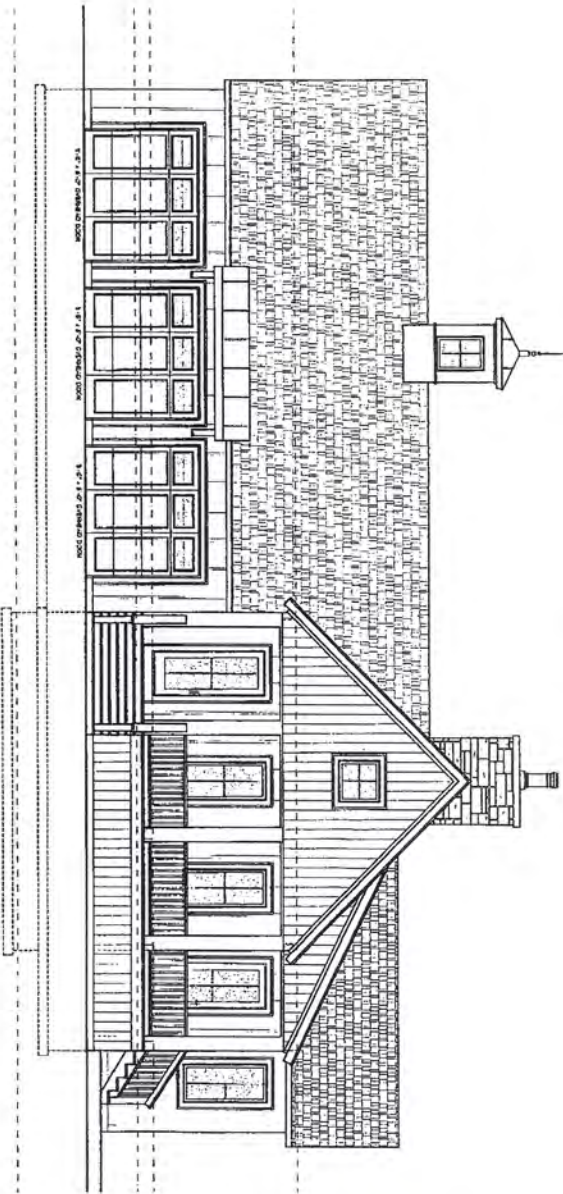
DATE: 08/21/22  
SCALE: AS NOTED  
PROJECT NO: 2204  
SHEET TITLE: Site plan and Schedules  
DRAWN BY: CAD  
DATE: 08/21/22  
SCALE: AS NOTED  
PROJECT NO: 2204

SHEET NUMBER: **T101**





2 Side Elevation (East)  
SCALE: 1/8" = 1'-0"

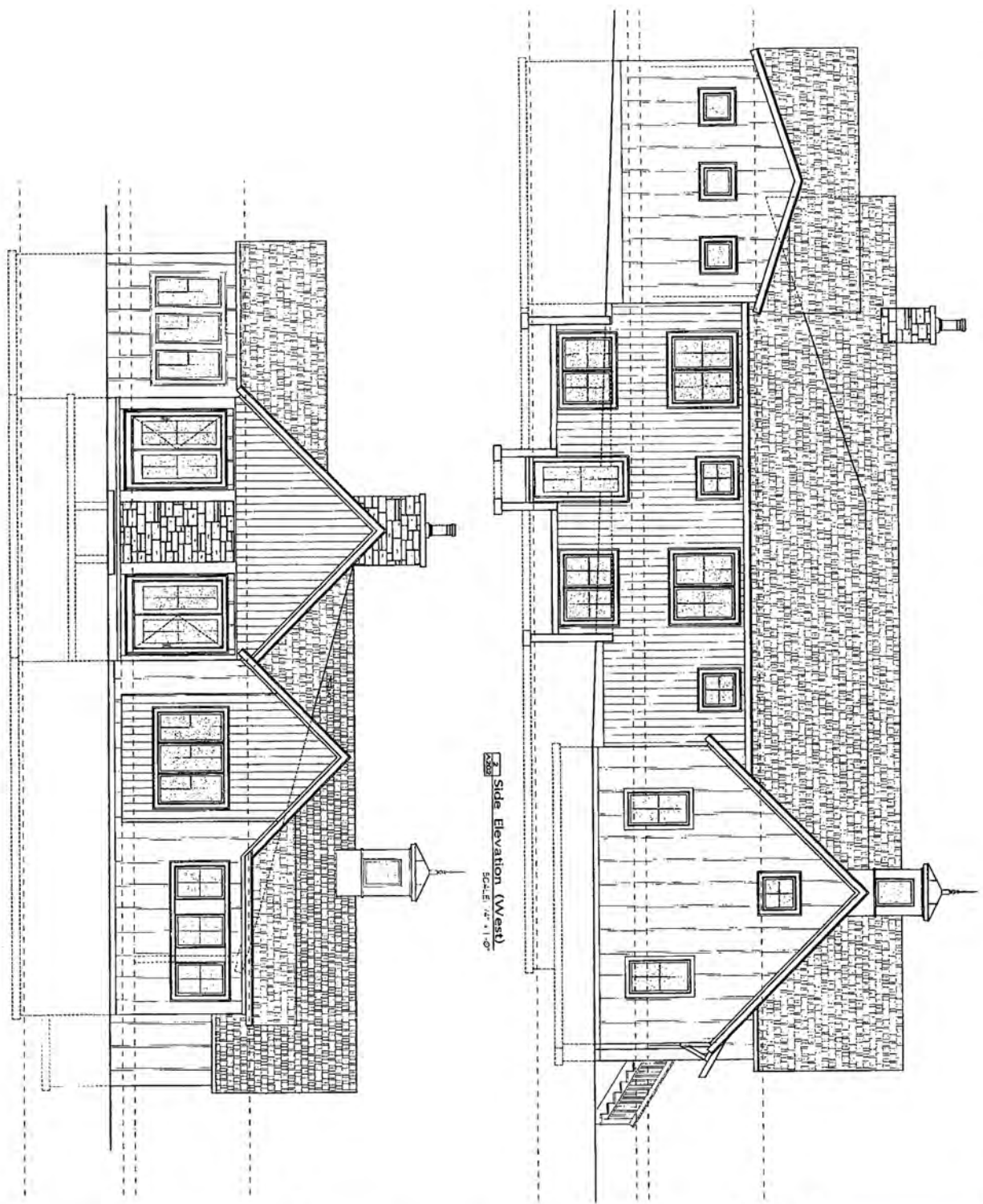


1 Front Elevation (South)  
SCALE: 1/8" = 1'-0"

The Tenerelli Residence  
1300 Aurora Way  
Wheaton, IL 60187

SHEET NUMBER: **A201**  
 DATE: 09/19/22  
 SCALE: AS SHOWN  
 PROJECT NO: 225  
 SHEET TITLE: Exterior Elevations

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 DATE: 09/19/22  
 NAME: KASPER  
 TITLE: ARCHITECT



3 Side Elevation (West)  
SCALE: 1/4" = 1'-0"

4 Rear Elevation (North)  
SCALE: 1/4" = 1'-0"

The Tenerelli Residence  
1300 Aurora Way  
Wheaton, IL 60187

UNIVERSITY OF ILLINOIS  
SCHOOL OF ARCHITECTURE  
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Variance Submittal 8.29.2022

DATE: 08.29.22  
PROJECT NO.: 2022-00120  
SHEET TITLE:  
Exterior Elevations

SHEET NUMBER:  
**A202**