

ORDINANCE NO. O-2018-05

AN ORDINANCE GRANTING A CORNER SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1521 WAKEMAN AVENUE - SORENSEN

WHEREAS, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a new second-floor addition and covered porch with a corner side yard setback of 10.92 feet in lieu of the required 27.25 feet for the second-floor addition and 19.25 feet for the covered porch, on certain property legally described herein and commonly known as 1521 Wakeman Avenue, Wheaton, Illinois 60187; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 23, 2018 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 20 IN BLOCK 8 IN ARTHUR T. MCINTOSH AND COMPANY'S EAST BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTH ½ OF SECTION 10, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 27, 1925 AS DOCUMENT 188951 AND CERTIFICATE OF CORRECTION FILED JULY 28, 1925 AS DOCUMENT 196919, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-10-310-021

The subject property is commonly known as 1521 Wakeman Avenue, Wheaton, IL 60187.

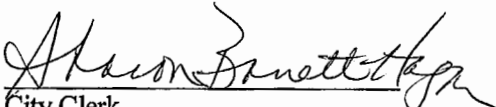
Section 2: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a corner side yard setback of 10.92 feet in lieu of the required 27.25 feet for the second-floor addition and 19.25 feet for the covered porch in full compliance with the plans entitled "Sorensen Residence, 1521 Wakeman Avenue, Wheaton, IL 60187", prepared by DMAC Architecture, Evanston, IL, sheets 1 - 3, dated November 1, 2017.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Mayor

ATTEST:


City Clerk

Roll Call Vote

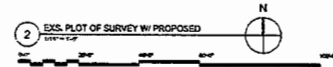
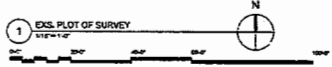
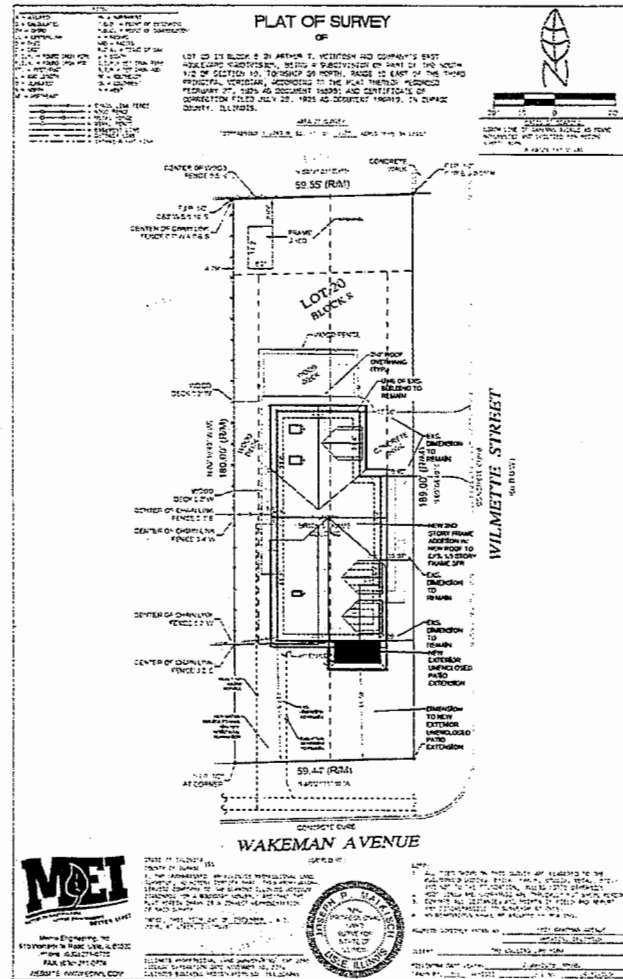
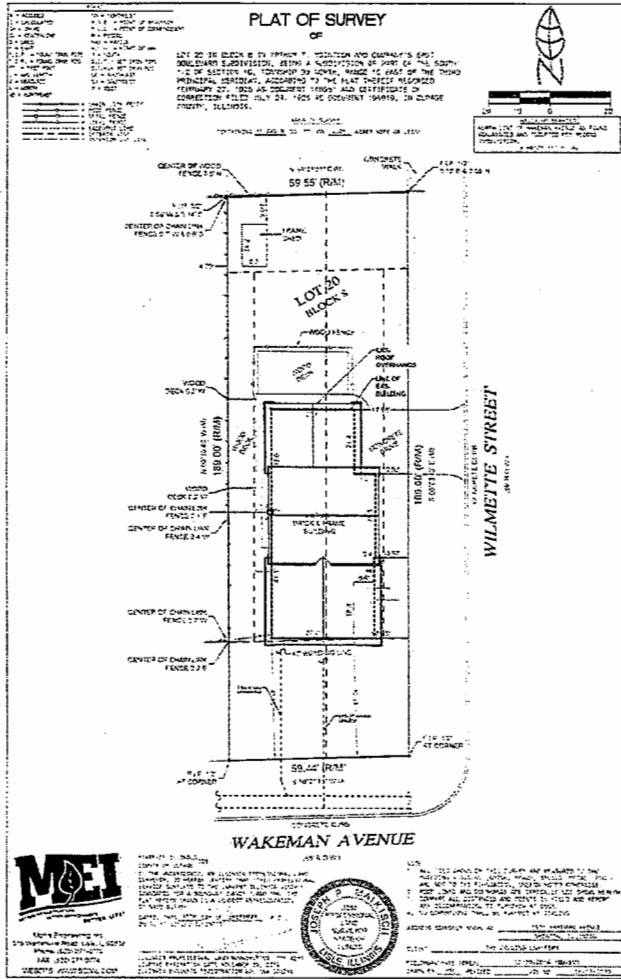
Ayes: Councilman Suess
Councilwoman Fitch
Councilman Prendiville
Mayor Gresk
Councilman Rutledge
Councilman Scalzo

Nays: None

Absent: Councilman Barbier

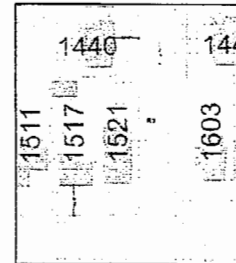
Motion Carried Unanimously

Passed: February 5, 2018
Published: February 6, 2018



OWNER	MR. & MRS. S. J. GRIFFIN
LOT AREA	11,742.50 SQ. FT.
PERMITS	40' x 40' = 1,600.00 SQ. FT.
LOT COVERAGED	33.73% = 3,961.00 SQ. FT.
REMAINING	7,781.50 SQ. FT.
ACTUAL	
REQUIREMENT	33.73% = 3,961.00 SQ. FT.
REQUIREMENT	33.73% = 3,961.00 SQ. FT.
ACTUAL	33.73% = 3,961.00 SQ. FT.

SETBACKS		
FRONT SETBACK	48' 0" (SEE DETAIL 3 ON DRAWING)	30' 0"
REAR SETBACK	25' 0"	25' 0"
SIDE SETBACK	5' 0"	5' 0"
ACTUAL		
REQUIREMENT	33.73% (SEE DETAIL 3 ON DRAWING)	
REQUIREMENT	33.73% (SEE DETAIL 3 ON DRAWING)	
REQUIREMENT	33.73% (SEE DETAIL 3 ON DRAWING)	
ACTUAL		



3 FAR AND SETBACK CALCULATION

DMAC Architecture P.C.
 831 Chicago Ave. STE 107 Wheaton, IL 60187
 Phone 630.295.0944 Fax 630.295.0945
 www.dmacarch.com

SORENSEN RESIDENCE
 1521 WAKEMAN AVE.
 WHEATON, IL 60187



DANYUK C. MACCEWEN
 LICENSED PROFESSIONAL ENGINEER
 STATE OF ILLINOIS
 LICENSE NO. 031-012333

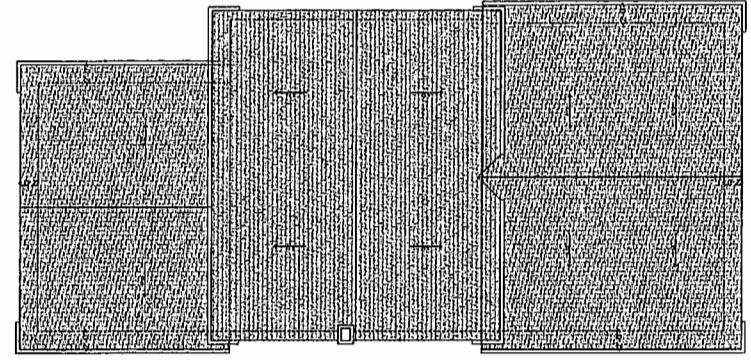
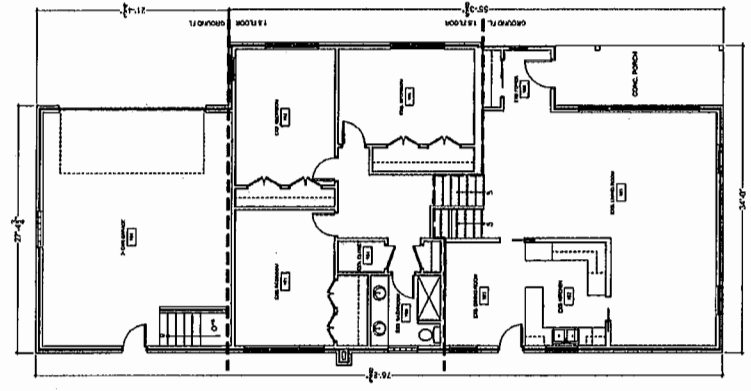
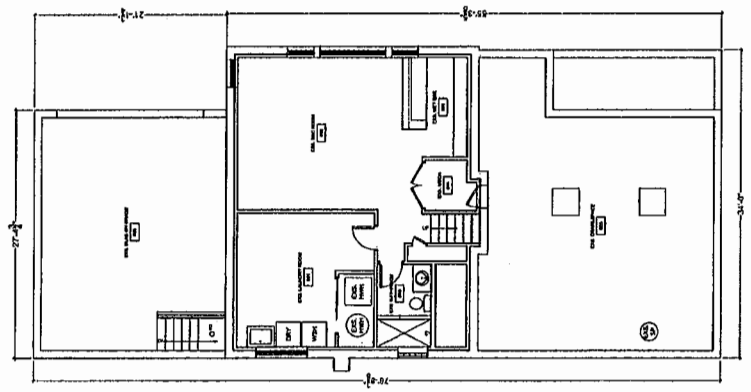
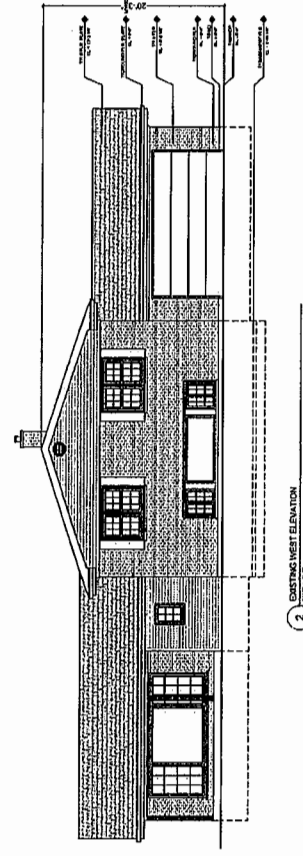
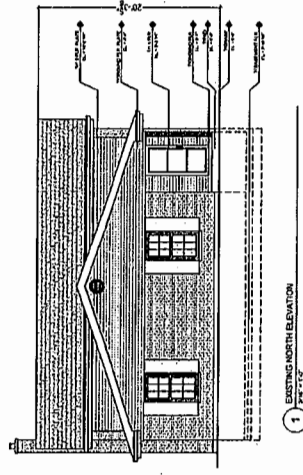
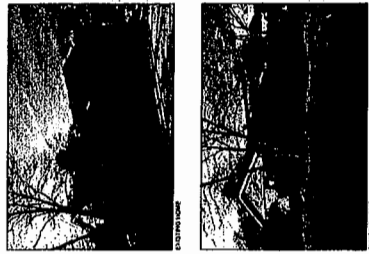
- LEGEND
- EXISTING WALL
 - NEW WALL
 - NEW FOUNDATION
 - WALL TO BE REPAIRED
 - WALL TO BE DEMOLISHED

BY	REV	REVISION	DATE

SITE PLAN

Project Number: 17007
 Date: 01 NOVEMBER 2011
 Designer: S.W.S.
 Checked by: DJ
 Title: AS INDICATED

G100



LEGEND

[Symbol]	EXISTING WALL
[Symbol]	EXISTING WINDOW
[Symbol]	EXISTING DOOR
[Symbol]	EXISTING ROOF
[Symbol]	EXISTING CHIMNEY
[Symbol]	EXISTING PORCH
[Symbol]	EXISTING STAIR
[Symbol]	EXISTING FLOOR
[Symbol]	EXISTING CEILING
[Symbol]	EXISTING LIGHTING
[Symbol]	EXISTING MECHANICAL
[Symbol]	EXISTING ELECTRICAL
[Symbol]	EXISTING PLUMBING
[Symbol]	EXISTING HVAC
[Symbol]	EXISTING PAINT
[Symbol]	EXISTING FINISH
[Symbol]	EXISTING MATERIAL

EXISTING PLANS AND ELEVATIONS

Project Name	SORENSEN RESIDENCE
Date	01 NOVEMBER 2017
Drawn By	DM
Checked By	DM
Project Location	AS INDICATED
Scale	AS INDICATED

A001

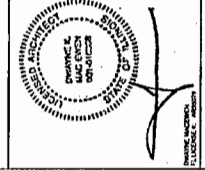


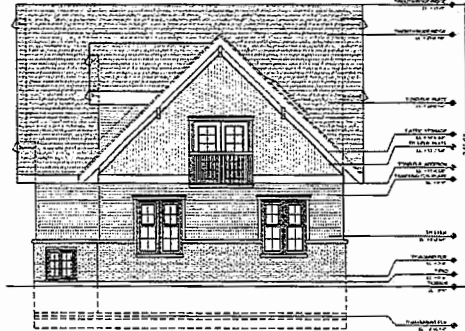
EXISTING ROOF PLAN
1/8" = 1'-0"

EXISTING BASEMENT PLAN
1/8" = 1'-0"

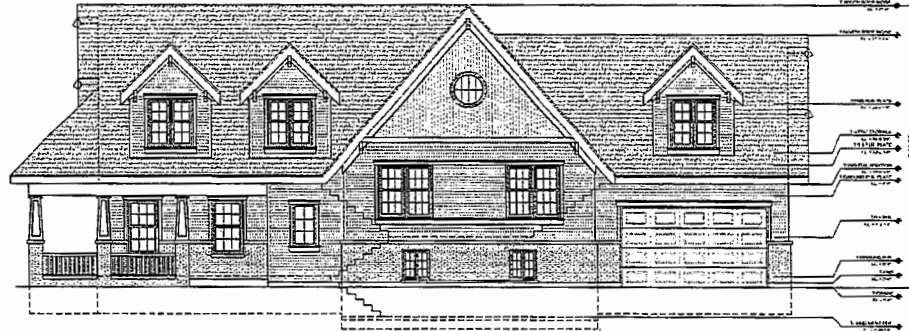
DIMAC Architecture P.C.
3711 Douglas Ave. 400, Edmonton, AB T6C 0P7
Phone: 780.463.8641 Fax: 780.463.8642
www.dimac.ca

SORENSEN RESIDENCE
1521 WAKEMAN AVE.
WHEATON, AB T8T 1S7

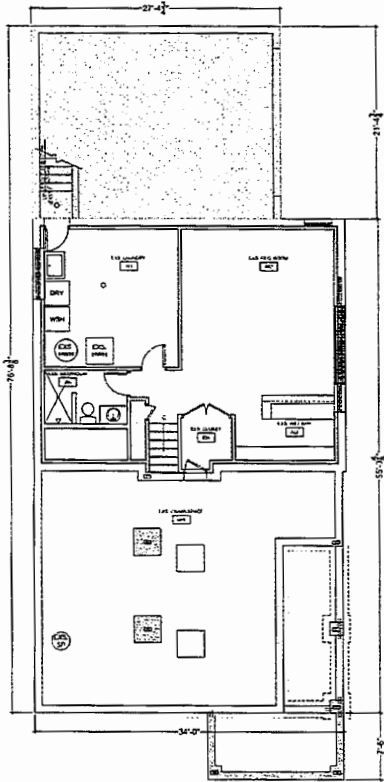




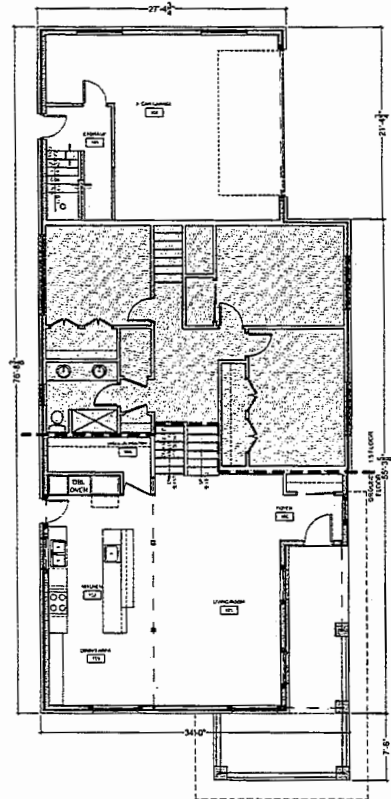
1 PROPOSED NORTH ELEVATION
3/8" = 1'-0"



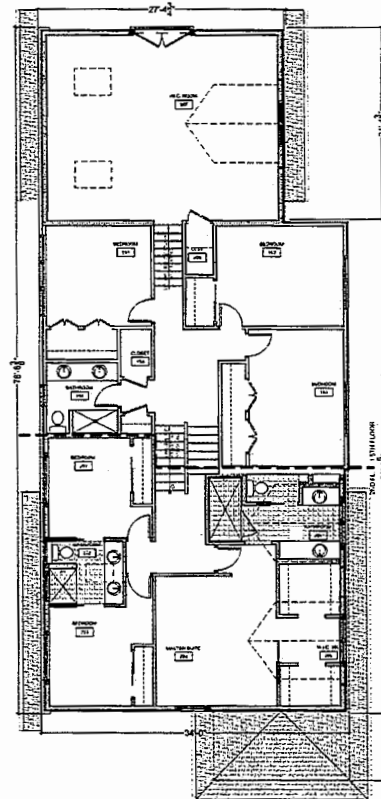
2 PROPOSED WEST ELEVATION
3/8" = 1'-0"



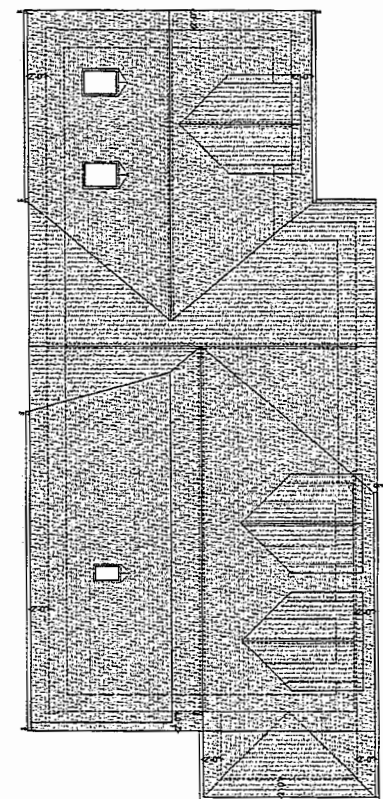
3 PROPOSED BASEMENT PLAN
3/8" = 1'-0"



4 PROPOSED GROUND FLOOR / 1.5 FLOOR PLAN
3/8" = 1'-0"



5 PROPOSED SECOND FLOOR PLAN
3/8" = 1'-0"



5 PROPOSED ROOF PLAN
3/8" = 1'-0"

DMAC Architecture P.C.
131 Dundas Ave. Ste. 103 Evanston, IL 60201
Phone: 847.955.0244 Fax: 847.955.0243
www.dmacarch.com

**SORENSEN
RESIDENCE**

1521 WAKEMAN AVE.
WHEATON, IL 60157



DWAYNE WAKEMAN
LICENSE # - AR0989

LEGEND



REV	DESCRIPTION	DATE

PROPOSED
PLANS AND
ELEVATIONS

Project Number: 17007
Date: 01 NOVEMBER, 2017
Drawn by: ELIXS
Checked by: DEL
Scale: AS INDICATED

A002



