

**ORDINANCE NO. F-1923**

**AN ORDINANCE GRANTING MULTIPLE SETBACK VARIATIONS ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 222 WEST ROOSEVELT ROAD - PESAVENTO**

**WHEREAS**, written application has been made requesting a variation to permit the existing building at 222 West Roosevelt Road be used for a business and professional office with a west side yard building setback of approximately 5.0 feet in lieu of the required 15.0 feet and variations to allow the construction of a parking lot with a west side yard parking lot setback of approximately 9.0 feet in lieu of the required 15.0 feet and an east side yard parking lot setback ranging between approximately 0.0 - 3.0 feet in lieu of the required 15.0 feet, on certain property legally described herein and commonly known as 222 West Roosevelt Road, Wheaton, Illinois 60187; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 8, 2016 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, multiple variations are granted on the following-described property:

LOT 5 IN BLOCK 4 (EXCEPT THE NORTH 10 FEET TAKEN FOR ROOSEVELT ROAD) IN WASHINGTON WHEATON SUBDIVISION UNIT NO. FOUR, BEING A SUBDIVISION IN SECTIONS 20 AND 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED FEBRUARY 10, 1947 AS DOCUMENT 515568, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-21-101-019

The subject property is commonly known as 222 West Roosevelt Road, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, multiple variations are hereby granted to be constructed in full compliance with the following plans: "Preliminary Engineering Plans" sheets 1-3, prepared by Intech Consultants, Inc., Lisle, IL, sheets 1-3, dated March 13, 2015 and "Landscape Plan" prepared by King's Landscaping Co., sheet 1-1, dated November 16, 2015, subject to the following condition:

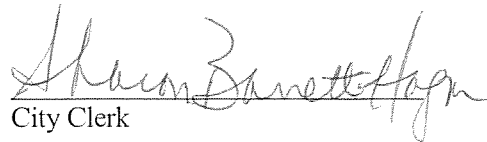
1. A six foot tall solid wood privacy fence shall be installed along the west, south and east sides of the property to screen the lot in addition to the landscaping shown on the landscape plan.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
Mayor

ATTEST:

  
City Clerk

Roll Call Vote

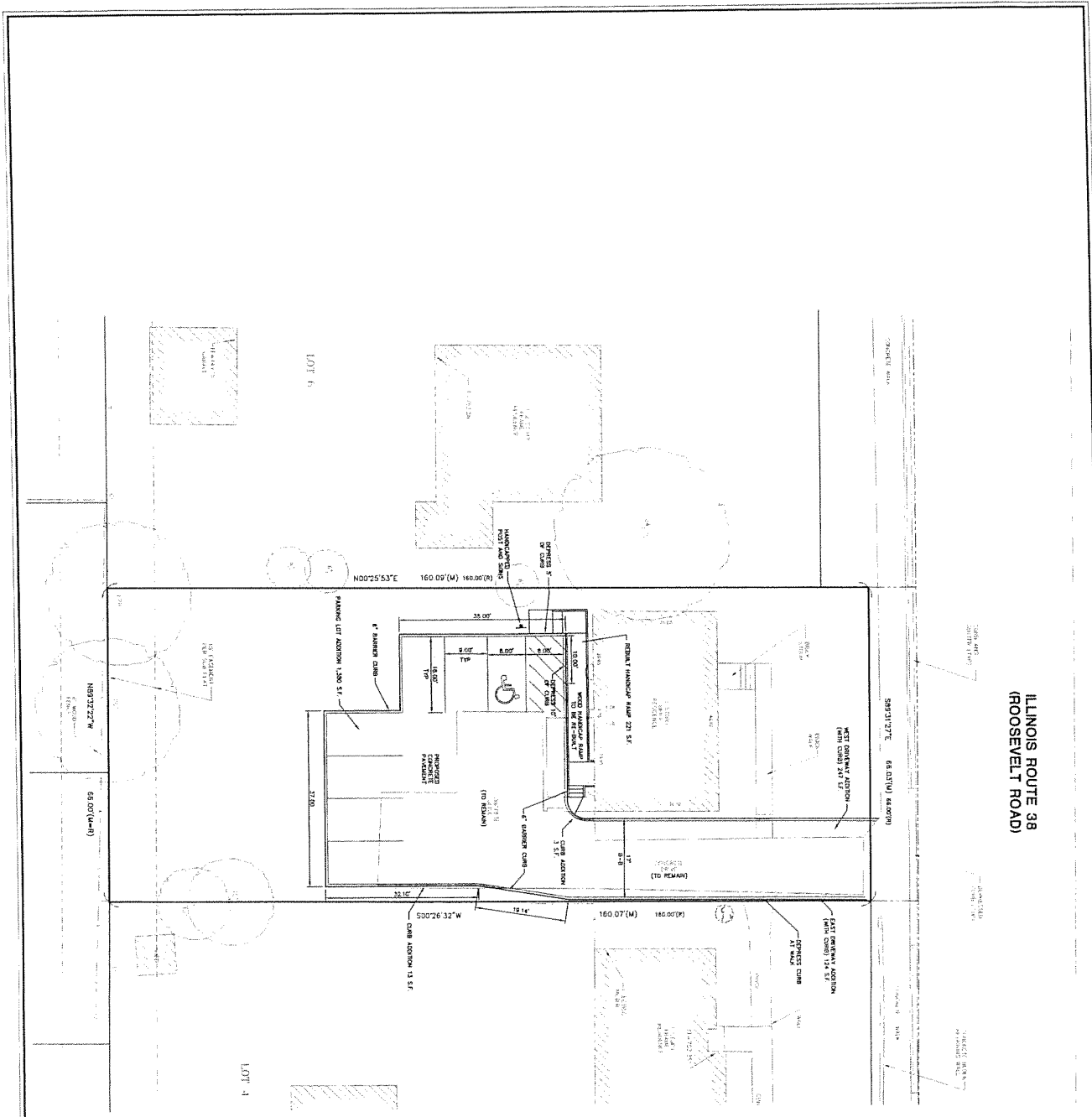
Ayes: Councilman Sues  
Councilwoman Fitch  
Councilman Prendiville  
Councilman Rutledge  
Mayor Gresk  
Councilman Scalzo

Nays: None

Absent: Councilman Saline

Motion Carried Unanimously

Passed: March 21, 2016  
Published: March 22, 2016



ILLINOIS ROUTE 38  
(ROOSEVELT ROAD)



SCALE: 1" = 10'  
BASIS OF BEARING - ASSUMED

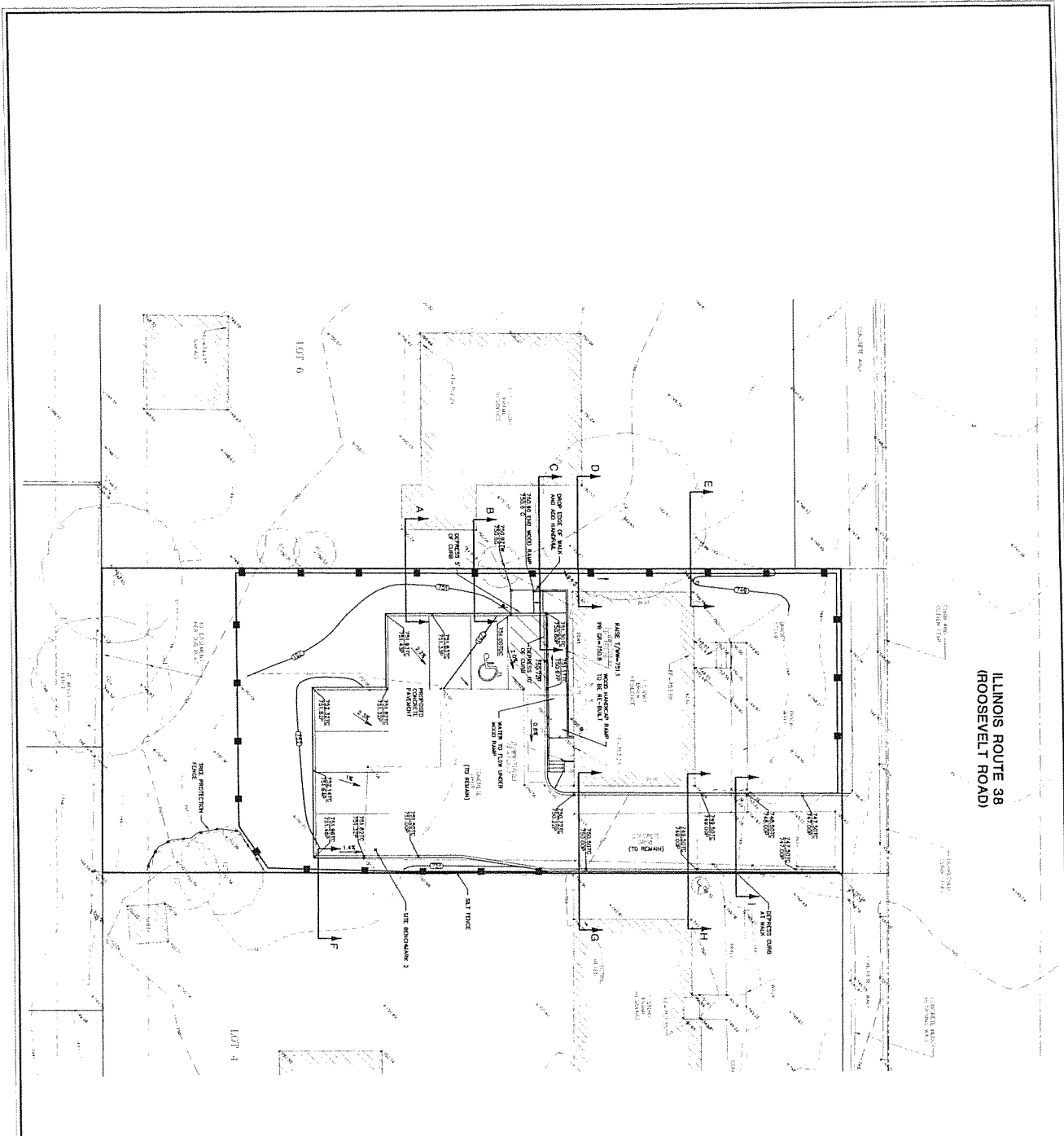
LEGEND

- EXISTING
  - Sanitary Sewer
  - Storm Sewer
  - Overhead Wires
  - Face
  - Fire
  - Manhole with Cased Lid
  - Light Pole (Last Row)
  - Power Pole
  - Gay Wires
  - Hand Pole
  - Cable & Duct
  - Cable & Duct
  - Top of Storm Elevation
  - Permanent Elevation
  - Contour
  - Tree
  - Shrub
  - Callout for Sanitary Manhole
  - Callout for Storm Structure
- PROPOSED
  - Sanitary Sewer
  - Storm Sewer
  - Overhead Wires
  - Face
  - Fire
  - Manhole with Cased Lid
  - Light Pole (Last Row)
  - Power Pole
  - Gay Wires
  - Hand Pole
  - Cable & Duct
  - Cable & Duct
  - Top of Storm Elevation
  - Permanent Elevation
  - Contour
  - Tree
  - Shrub
  - Callout for Sanitary Manhole
  - Callout for Storm Structure

| EXISTING    |            | PROPOSED      |            |
|-------------|------------|---------------|------------|
| HOUSE       | 1,623 S.F. | RECONSTRUCTED | 1,623 S.F. |
| PARKING     | 1,020 S.F. | NEW ON LOT    | 1,020 S.F. |
| HANDICAPPED | 148 S.F.   | RECONSTRUCTED | 148 S.F.   |
| STOCKS      | 1,725 S.F. | NEW ON LOT    | 1,725 S.F. |
| STAIRS      | 2,272 S.F. | NEW ON LOT    | 2,272 S.F. |
| TOTAL       | 4,688 S.F. | TOTAL         | 4,688 S.F. |
| RECYCLABLE  | 1,281 S.F. |               |            |



REVIEW SET  
NOT FOR CONSTRUCTION



ILLINOIS ROUTE 38  
(ROOSEVELT ROAD)

SCALE: 1" = 10'  
BASIS OF BEARING - ASSUMED

**LEGEND**

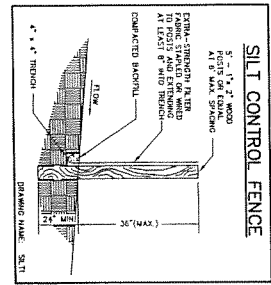
- |  |                              |
|--|------------------------------|
|  | EXISTING SANITARY SEWER      |
|  | PROPOSED SANITARY SEWER      |
|  | EXISTING STORM SEWER         |
|  | PROPOSED STORM SEWER         |
|  | FENCE                        |
|  | VALVE BOX                    |
|  | MANHOLE                      |
|  | INLET                        |
|  | MANHOLE WITH CLOSED LID      |
|  | CATCH BASIN                  |
|  | SPOT ELEVATION               |
|  | HAND HOLE                    |
|  | CURB & GUTTER                |
|  | 6" BARRIER CURB              |
|  | TOP OF CURB ELEVATION        |
|  | MANHOLE PAVEMENT ELEVATION   |
|  | CONTOUR                      |
|  | TREE                         |
|  | SHRUB                        |
|  | CALLOUT FOR SANITARY MANHOLE |
|  | CALLOUT FOR STORM STRUCTURE  |

**REMARKS**

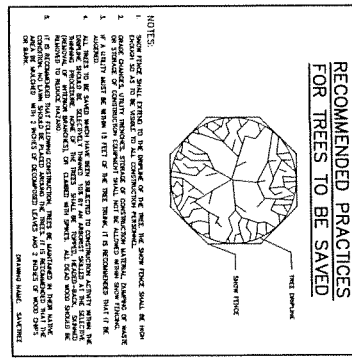
- CONTROL BENCH MARKS
1. RANGE COUNTY GEOMETRIC SANITARY MONUMENT W/ 2000 LOCATION ON THE WEST SIDE OF PRESIDENT STREET AT THE "T" INTERSECTION WITH 1477 AVE.
2. RANGE COUNTY GEOMETRIC SANITARY MONUMENT W/ 2000 LOCATION AT THE INTERSECTION CORNER OF LIBERTY STREET AND MAIN STREET.
- ELEVATION - 721.61 (VAULT)
2. RANGE COUNTY GEOMETRIC SANITARY MONUMENT W/ 2000 LOCATION AT THE INTERSECTION CORNER OF LIBERTY STREET AND MAIN STREET.
- ELEVATION - 742.28
- SITE BENCH MARKS:
1. "X" IN SOUTHWEST CORNER SIDE OF RT. 38, EAST PROPERTY LINE EXTENDED NORTH.
- ELEVATION - 745.53
2. "X" IN NORTHWEST CORNER OF CONCRETE DRIVE ON LOT 5.
- ELEVATION - 751.41

REVIEW SET  
NOT FOR CONSTRUCTION

|  |  |                       |  |  |  |   |  |  |
|--|--|-----------------------|--|--|--|---|--|--|
| <p>222 W. ROOSEVELT RD<br/>WHEATON, IL</p> |  | <p>CONCORDE HOMES</p> |  | <p><b>INTECH CONSULTANTS, INC.</b><br/>ENGINEERS - SURVEYORS<br/>1989 UNIVERSITY LANE, SUITE D<br/>LISLE, ILLINOIS 60532<br/>PHONE: 630.954.5556</p> |  | <p>DATE: 5/15/15<br/>SCALE: 1" = 10'<br/>DRAWN BY: JNC<br/>CHECKED BY: JNC<br/>APPROVED BY: JNC</p> |  | <p>PER CLIENT REVIEW<br/>DATE: 5/15/15<br/>REVISION:</p> |
| <p>GRADING PLAN</p>                        |  |                       |  | <p>2014-020</p>  |  | <p>3</p>  |  | <p>NOT FOR CONSTRUCTION</p>                              |

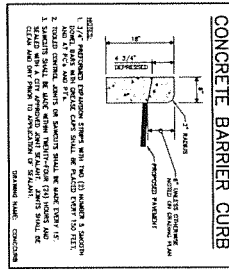


**SILT CONTROL FENCE**



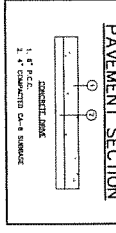
**RECOMMENDED PRACTICES FOR TREES TO BE SAVED**

- NOTES:**
1. PRESERVE ALL TREES REMAINING TO BE MAINTAINED ON SITE AND REMOVE ONLY THOSE THAT ARE DAMAGED OR DEAD.
  2. PRESERVE ALL TREES REMAINING TO BE MAINTAINED ON SITE AND REMOVE ONLY THOSE THAT ARE DAMAGED OR DEAD.
  3. PRESERVE ALL TREES REMAINING TO BE MAINTAINED ON SITE AND REMOVE ONLY THOSE THAT ARE DAMAGED OR DEAD.
  4. PRESERVE ALL TREES REMAINING TO BE MAINTAINED ON SITE AND REMOVE ONLY THOSE THAT ARE DAMAGED OR DEAD.
  5. PRESERVE ALL TREES REMAINING TO BE MAINTAINED ON SITE AND REMOVE ONLY THOSE THAT ARE DAMAGED OR DEAD.



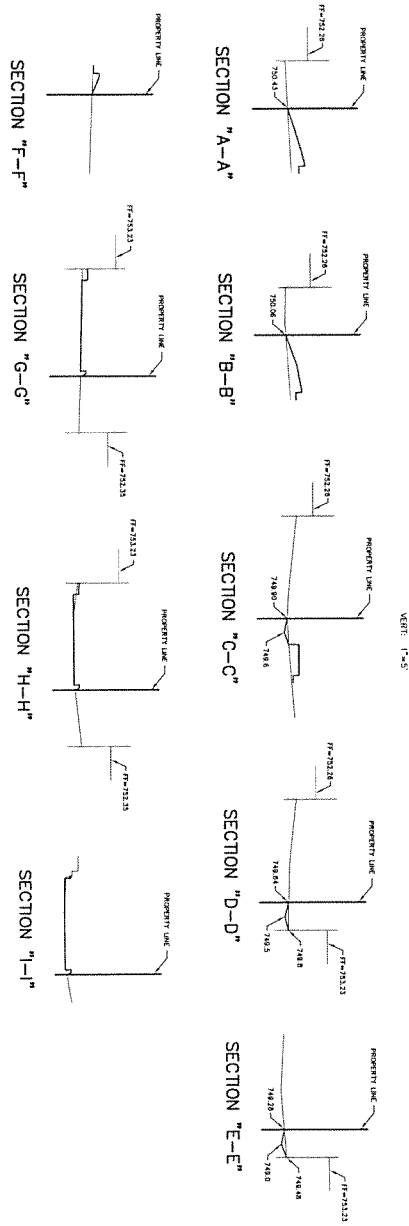
**CONCRETE BARRIER CURB**

- NOTES:**
1. ALL CONCRETE SHALL BE CAST IN PLACE.
  2. ALL CONCRETE SHALL BE CAST IN PLACE.
  3. ALL CONCRETE SHALL BE CAST IN PLACE.
  4. ALL CONCRETE SHALL BE CAST IN PLACE.
  5. ALL CONCRETE SHALL BE CAST IN PLACE.

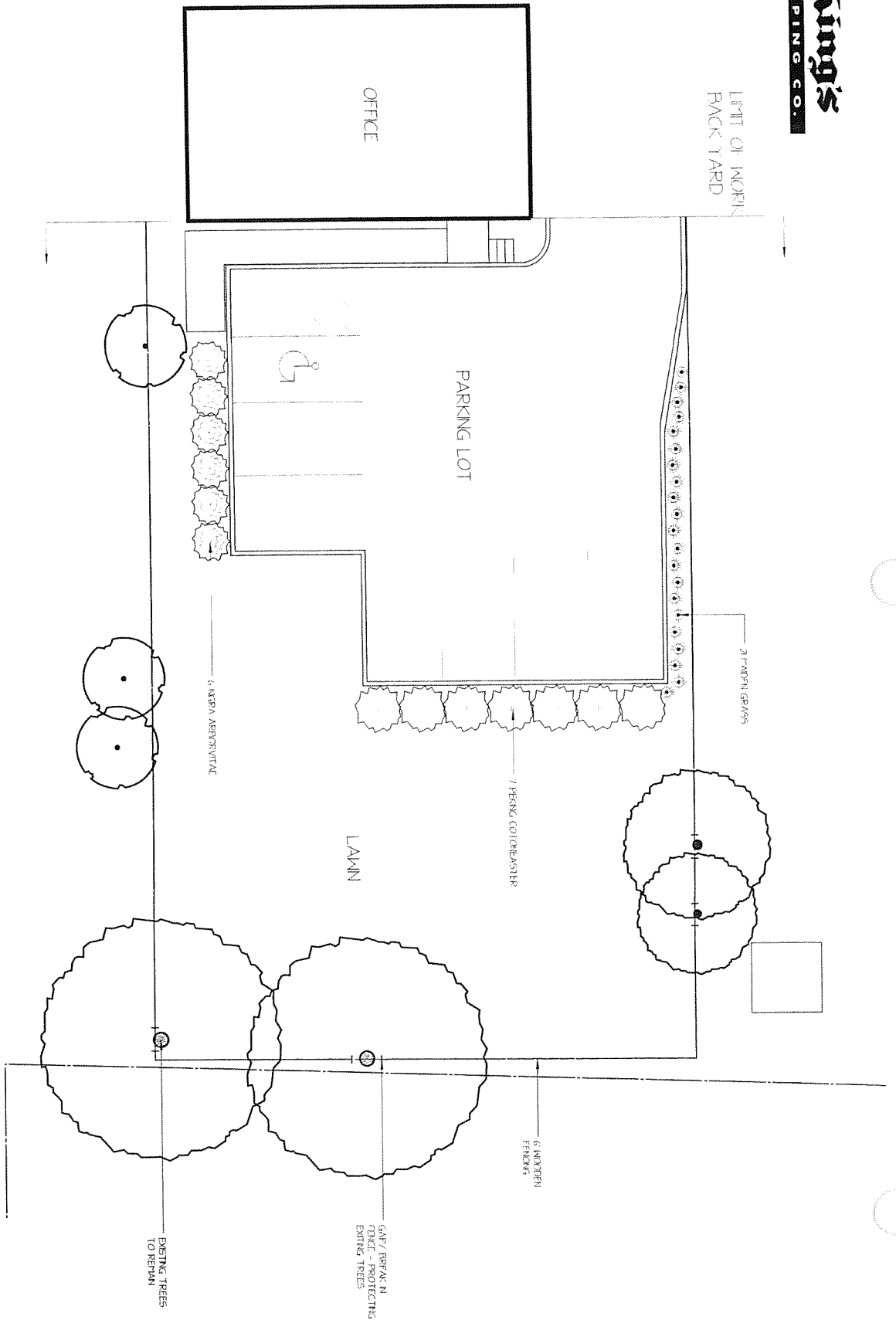


**PAVEMENT SECTION**

**SIDE YARD CROSS SECTIONS**



REVIEW SET  
NOT FOR CONSTRUCTION



BACKYARD PLAN

**CONCORDE BUILDERS, LLC**  
222 N. ROOSEVELT  
MHEATON

|          |            |           |
|----------|------------|-----------|
| client   | date       | revision  |
| scale    | 1" = 8'    | N/A       |
| drawn by | checked by | drawing # |
| THJ      | N/A        | 2 OF 2    |

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