

ORDINANCE NO. F-1891

AN ORDINANCE GRANTING A SPECIAL USE PERMIT AND MULTIPLE VARIATIONS TO ALLOW THE EXPANSION OF THE EXISTING DETACHED GARAGE LOCATED AT 525 WEST LINCOLN AVENUE – ENSING

WHEREAS, written application has been made requesting a special use permit, a height variation, a side yard setback variation and a rear yard setback variation to allow the expansion of the existing detached garage located at 525 West Lincoln Avenue, Wheaton, IL (“Subject Property”); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on September 22, 2015 to consider the special use permit and multiple variation request; and the Planning and Zoning Board has recommended that the request be granted and approved.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, special use permit and multiple variations are granted to allow the expansion of the existing detached garage on the following-described property:

THE WEST HALF OF LOT 8 (EXCEPT THE NORTH 10 FEET THEREOF) AND THE EAST HALF OF LOT 8 (EXCEPT THE NORTH 20 FEET THEREOF) AND ALL OF LOTS 9 AND 10 IN BLOCK 8 OF NOAH E. GARY’S FIRST ADDITION TO THE CITY OF WHEATON, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 1892 AS DOCUMENT 48090, IN DU PAGE COUNTY, ILLINOIS.

P.I.N.: 05-17-213-003; -004

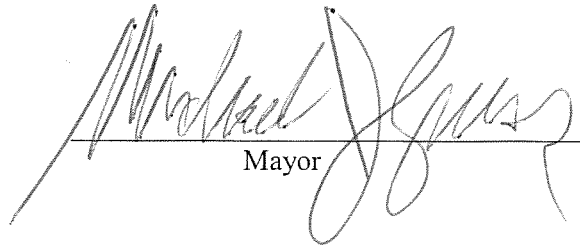
The subject property is commonly known as 525 West Lincoln Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit and multiple variations are granted in full compliance with the following plans: “Proposed Site Plan”, prepared by Ronald T. Haas and Associates, Wheaton, IL, dated August 10, 2015 and “Proposed Elevations”, prepared by Ronald T. Haas and Associates, Wheaton, IL, dated June 24, 2015 and revised September 28, 2015, subject to the following conditions:

1. The second floor area of the detached garage shall not be used as a guest room or separate dwelling unit; and
2. The existing second floor garage balcony shall be removed.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote

Ayes: Councilman Prendiville
Councilman Rutledge
Mayor Gresk
Councilman Saline
Councilman Scalzo
Councilman Sues
Councilwoman Fitch

Nays: None

Absent: None

Motion Carried Unanimously

Passed: October 19, 2015
Published: October 20, 2015

Proposed

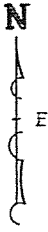
SITE PLAN

SHOWING PROPOSED ADDITIONS TO THE EXISTING GARAGE (B-10-15).

FOR THE WEST HALF OF LOT 8 (EXCEPT THE NORTH 10 FEET THEREOF) AND THE EAST HALF OF LOT 8 (EXCEPT THE NORTH 20 FEET THEREOF) AND ALL OF LOTS 9 AND 10 IN BLOCK 8 OF NOAH E. GARY'S FIRST ADDITION TO THE CITY OF WHEATON, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 17, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 4, 1892 AS DOCUMENT 48000, IN DU PAGE COUNTY, ILLINOIS.

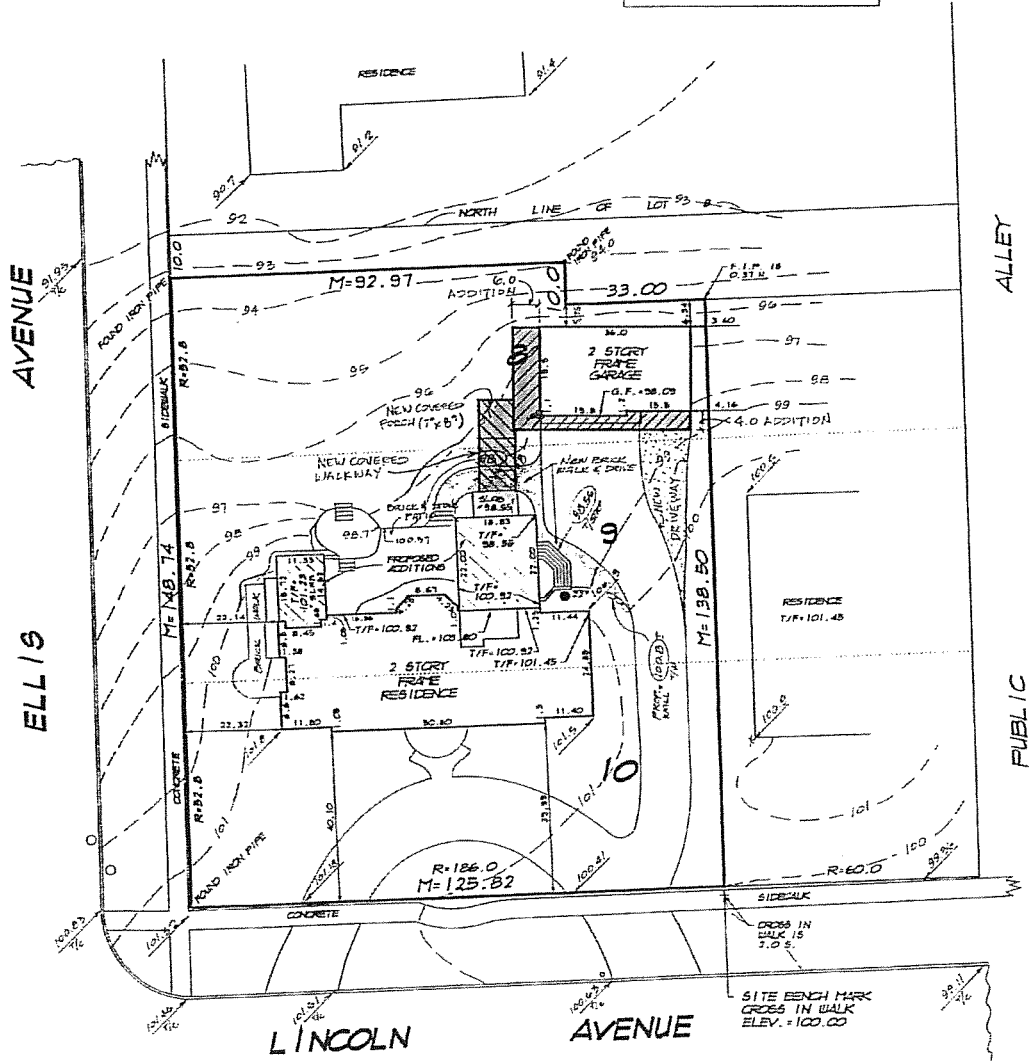
THIS PROPERTY IS KNOWN AS 525 W. LINCOLN AVENUE, WHEATON, ILL.
PREPARED FOR - BREXCHERT BUILDERS

SCALE: 1" = 20 FEET



LEGEND

- EXISTING SPOT ELEV.
- PROPOSED SPOT ELEV.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED DIRECTION OF FLOW



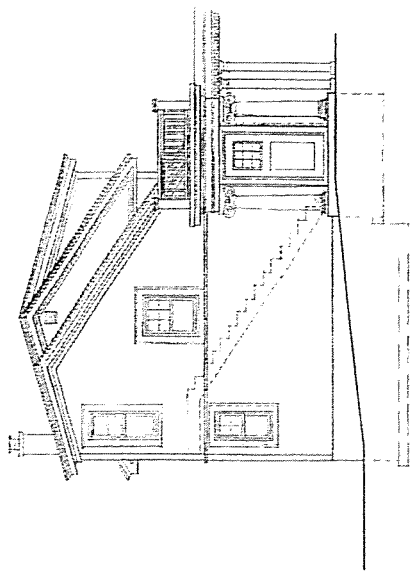
STATE OF ILLINOIS }
COUNTY OF DU PAGE } S.S.

To the best of my knowledge and belief the drainage of surface waters will not be changed by the construction of such subdivision or any part thereof, or that if such surface water drainage will be changed, reasonable provision has been made for collection and diversion of such surface waters into public areas, or drains which the subdivider has a right to use, and that such surface waters will be planned for in accordance with generally accepted engineering practices so as to reduce the likelihood of damage to the adjoining property because of the construction of the subdivision.

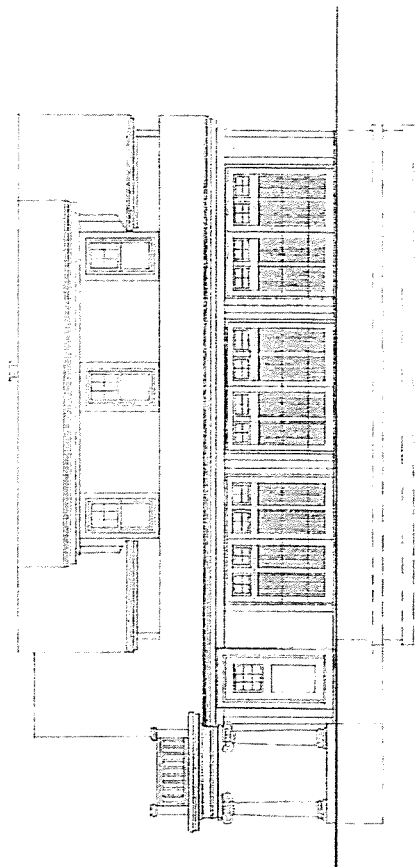
Steinbrecher Land Surveyors
Professional Engineering and Professional Land Surveying
Design Firm Corporation No. 184-00326
141 S. Nelmer Blvd., West Chicago, IL 60185-2844
(630) 293-8900 Fax 293-8902

West Chicago, Illinois, July 29, 2004.

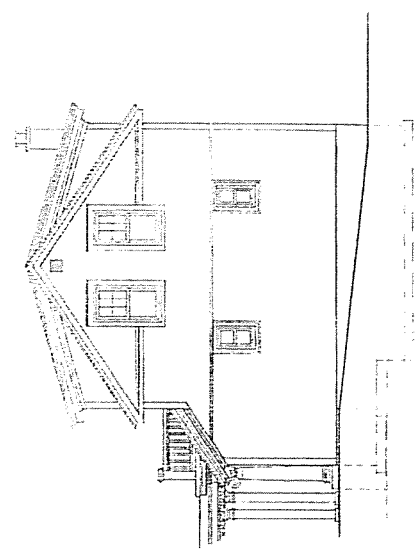
Harold F. Steinbrecher, Jr.
Harold F. Steinbrecher, Jr.
Registered Professional Engineer 22924
Professional Land Surveyor 1594




PROP. LEFT ELEVATION 1/4" = 1'-0"
(WEST SIDE)

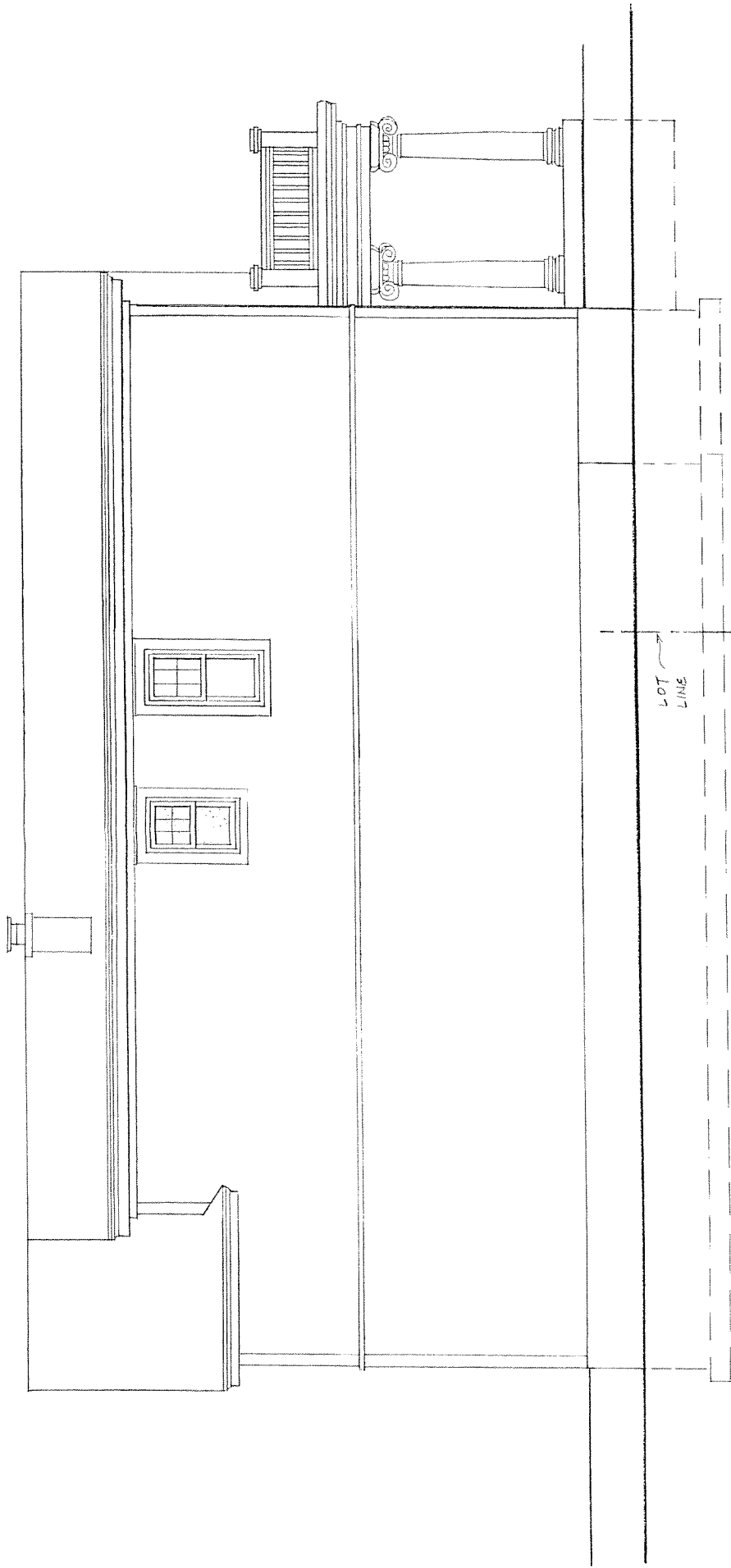


PROP. FRONT ELEVATION 1/4" = 1'-0"
(SOUTH SIDE)



PROP. RIGHT SIDE ELEVATION 1/4" = 1'-0"
(EAST SIDE)

	Ronald T. Innes & Associates, Inc. ARCHITECTS 100 N. LAUREL AVE. SUITE 100 CHICAGO, ILL. 60610
	PROJECT NO. 100-100 DRAWING NO. 100-100-100 DATE: 10-28-10



(NEW) PROP. REAR ELEVATION $\frac{1}{4}'' = 1'-0''$

(NORTH SIDE)

9-20-15

