

ORDINANCE NO. F-1886

AN ORDINANCE APPROVING A PRELIMINARY PLAT OF SUBDIVISION AND VARIATIONS FOR A CERTAIN PARCEL OF PROPERTY COMMONLY KNOWN AS 303 EAST PRAIRIE AVENUE - PATRICK J. MURPHY BUILDERS, INC.

WHEREAS, written application has been made for a subdivision and variation request, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 303 East Prairie Avenue ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on June 23, 2015 and July 14, 2015 to consider the zoning application;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-3 Residential District zoning classification:

LOT 1 OF YOUNGBERG'S CONSOLIDATION PLAT OF THAT PART OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, RECORDED NOVEMBER 13, 2008, AS DOCUMENT NUMBER R2008-165752, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-309-007

The subject property is commonly known as 303 East Prairie Avenue, Wheaton, IL 60187.

Section 2: The following variations are, hereby, granted for the subject property: Variations to Article 9.2.5 of the Wheaton Zoning Ordinance to allow and require front yard setbacks of 57.25 feet for proposed Lot 1, 80.0 feet for proposed Lot 2 and 120.0 feet for proposed Lot 3.

Section 3: The demolition of the existing structure located on the Subject Property shall be authorized by this Ordinance. Demolition of said structure, however, shall be carried out in conformance with Wheaton City Code Chapter 22, Article XIV, with the exception that the Developer shall not be required to wait 30 days prior to commencing demolition from the date of submitting a demolition permit application to the Building and Code Enforcement Department, and shall not be required to hold a "neighbor meeting" at least 30 days prior to submitting an application for building demolition. The Developer shall provide written notice to adjacent property owners prior to the building demolition.

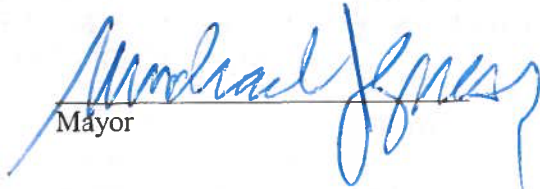
Section 4: The preliminary plat entitled "Preliminary Plat", prepared by Engineering Resources Associates, Inc., dated March 3, 2015 and revised June 8, 2015, June 18, 2015, and September 17, 2015, is hereby approved, subject to the following conditions, restrictions and requirements:

1. Front yard building setbacks shall be as provided for in Section 2 of this Ordinance.
2. All defective or damaged public sidewalks fronting the subdivision along Prairie Avenue and Scott Street shall be repaired as part of the required subdivision improvements.

Section 5: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 6: This ordinance shall become effective from and after its passage, approval, and

publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote

Ayes: Councilwoman Fitch
Councilman Prendiville
Councilman Rutledge
Mayor Gresk
Councilman Saline
Councilman Scalzo

Nays: Councilman Suess

Absent: None

Motion Carried

Passed: September 21, 2015
Published: September 22, 2015

PRELIMINARY PLAT

PARCEL 1: LOT 2 IN MARLETT FARRAR'S SUBDIVISION IN THE SOUTH 1/2 OF SECTION 8, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 24, 1982 AS DOCUMENT NO. 892-13714, IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS.

PARCEL 2: FOR THAT PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS, COMMENCING AT THE CENTER OF MAIN STREET AND HARRISON AVENUE IN THE CITY OF WHEATON (SAID POINT BEING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION) THENCE NORTH ALONG THE CENTER OF MAIN STREET 1254.0 FEET TO THE NORTH LINE OF PRAIRIE AVENUE, THENCE EAST ALONG SAID NORTH LINE OF PRAIRIE AVENUE, 329.9 FEET FOR A PLACE OF BEGINNING, THENCE NORTH PARALLEL WITH SAID MAIN STREET 378.0 FEET, THENCE EAST PARALLEL WITH SAID PRAIRIE AVENUE, THENCE WEST ALONG SAID NORTH LINE 152.3 FEET TO THE PLACE OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

COMMON ADDRESS: 303 EAST PRAIRIE AVENUE, WHEATON, ILLINOIS

EXISTING GRADE	---+---
EXISTING ELEVATION	---
PROPOSED GRADE	---+---
PROPOSED CONTOUR	---+---
PROPOSED FLOW	---
LEFT ELEVATION	---
RIGHT ELEVATION	---
CONSTRUCTION SAFETY	---
FENCE	---

TOP	---
1/2" = TOP OF CURB	---
1/2" = EDGE OF PAVEMENT	---
1/2" = TOP OF WALL	---
1/2" = BOTTOM OF WALL	---

LOT AREA 71,284 S.F.
P.L.N. = 05-09-302-004
05-09-309-005

- NOTES:**
- EXISTING RECORD GRADE FOUND ON NEPAUL AND CONCRETE SHALL BE REMOVED IN ACCORDANCE WITH THE CITY OF WHEATON'S ORDINANCES AND SPECIFICATIONS FOR DEMOLITION AND CONSTRUCTION WORK IN THE CITY.
 - THE PROPOSED WALK CAUSED BY THE EXISTING FOUNDATION DEMOLITION AND REMOVAL SHALL BE RECONSTRUCTED TO MEET EXISTING AND ALLOWED GRADE.
 - ALL EXISTING AND NEW UTILITIES SHALL BE REMOVED AND/OR PLACED IN THE PROPOSED CONDUITS.
 - GRAVEL AND CONSTRUCTION ENTRAINED SHALL BE SPREAD INTO LOT TO PROTECT EXISTING UTILITIES AND TO PROTECT NEW UTILITIES. GRAVEL SHALL BE 3/4" MAX. SIZE AND 1" MIN. DEPTH. A 2" DEPTH OF 3/4" GRAVEL SHALL BE REQUIRED UNDER ALL NEW CONDUITS.
 - CONSTRUCTION SHALL KEEP STREET CLEAR.
 - ALL EXISTING UTILITIES SHALL BE RELOCATED TO A DEPTH OF 18" TO 24" BELOW FINISHED GRADE.
 - NO WATER OR SEWER SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
 - IF THE USE OF SPECIAL SERVICES IS TO BE CONSIDERED TO PROTECT EXISTING PROPERTY OWNERS.
 - THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
 - PROPOSED WATER SERVICE SHALL BE 1" TYPE 4 COPPER ACCORDING TO WHEATON ORDINANCES.
 - SEWER SERVICE SHALL BE 4" PVC (SDR 35) 4" DEEP WITH 18" MIN. COVER ACCORDING TO WHEATON ORDINANCES.
 - SEWER SERVICE SHALL BE 4" PVC (SDR 35) 4" DEEP WITH 18" MIN. COVER ACCORDING TO WHEATON ORDINANCES.
 - EXISTENCE OF UTILITIES SHALL BE RELOCATED TO PROTECT EXISTING PROPERTY OWNERS.

- CONTACT PERSON FOR S.E.T. SHALL BE A LICENSED CONTRACTOR.
- PAVING SHALL BE DONE BY A LICENSED CONTRACTOR.
- ALL EXISTING AND NEW UTILITIES SHALL BE REMOVED AND/OR PLACED IN THE PROPOSED CONDUITS.
- GRAVEL AND CONSTRUCTION ENTRAINED SHALL BE SPREAD INTO LOT TO PROTECT EXISTING UTILITIES AND TO PROTECT NEW UTILITIES. GRAVEL SHALL BE 3/4" MAX. SIZE AND 1" MIN. DEPTH. A 2" DEPTH OF 3/4" GRAVEL SHALL BE REQUIRED UNDER ALL NEW CONDUITS.
- CONSTRUCTION SHALL KEEP STREET CLEAR.
- ALL EXISTING UTILITIES SHALL BE RELOCATED TO A DEPTH OF 18" TO 24" BELOW FINISHED GRADE.
- NO WATER OR SEWER SHALL BE STORED WITHIN 10 FEET OF ANY LOT LINE.
- IF THE USE OF SPECIAL SERVICES IS TO BE CONSIDERED TO PROTECT EXISTING PROPERTY OWNERS.
- THE PROPOSED PORTABLE TOILET SHALL NOT BE PLACED WITHIN 10 FEET OF ANY LOT LINE.
- PROPOSED WATER SERVICE SHALL BE 1" TYPE 4 COPPER ACCORDING TO WHEATON ORDINANCES.
- SEWER SERVICE SHALL BE 4" PVC (SDR 35) 4" DEEP WITH 18" MIN. COVER ACCORDING TO WHEATON ORDINANCES.
- SEWER SERVICE SHALL BE 4" PVC (SDR 35) 4" DEEP WITH 18" MIN. COVER ACCORDING TO WHEATON ORDINANCES.
- EXISTENCE OF UTILITIES SHALL BE RELOCATED TO PROTECT EXISTING PROPERTY OWNERS.

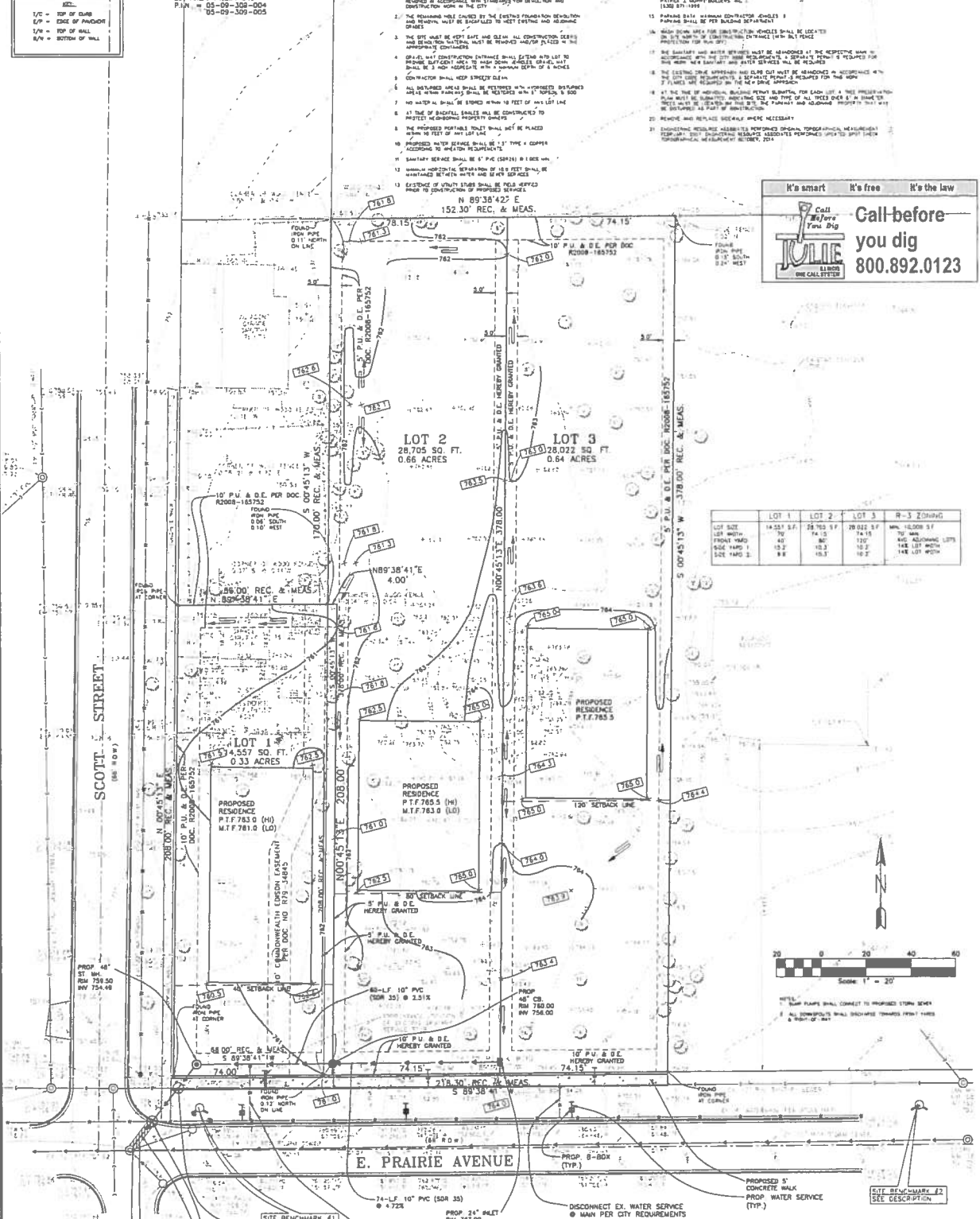
It's smart It's free It's the law

Call before you dig

800.892.0123

Call before you dig

800.892.0123



LOT 1	LOT 2	LOT 3	R-3 ZONING
LOT SIZE: 14,551 S.F.	28,705 S.F.	28,022 S.F.	MIN. 14,500 S.F.
LOT WIDTH: 74.15	74.15	74.15	75 MIN.
FRONT YARD: 40	40	40	40' MIN. ADJACENT LOTS
SIDE YARD: 15.2	15.2	15.2	14.5' MIN.
REAR YARD: 8.8	8.8	8.8	14.5' MIN. WIDTH

ENGINEERING RESOURCE ASSOCIATES, INC.
CONSULTING ENGINEERS ARCHITECTS & SURVEYORS
18701 WEST AVENUE, SUITE 1100, WILSON, ILLINOIS 60181
& GREENFIELD, ILLINOIS 62424
PHONE (630) 381-3000 FAX: (630) 381-2152
TEL: (312) 355-9900

PREPARED FOR: PATRICK J. MURPHY BUILDERS, INC.

ENGINEERING RESOURCE ASSOCIATES, INC.

DESIGNED BY: JC
CHECKED BY: JC
APPROVED BY: JC

SITE PLAN REVISED SEPTEMBER 17, 2015
SITE PLAN REVISED JUNE 18, 2015
SITE PLAN REVISED JUNE 8, 2015
SITE PLAN DATED: MARCH 3, 2015

ZONING R3

EXISTING TOPOGRAPHY: 5.41 (NOV 29) DATUM
CONVERSION: ELEV (NOV 29) - 0.33 = ELEV (MAY 88)

SITE BENCHMARKS:
SITE BENCHMARK #1: NORTHWEST BOLT ON FIRE HYDRANT AT THE NORTHWEST CORNER OF SCOTT STREET AND PRAIRIE AVENUE
ELEV: 780.74 (NOV 29)
SITE BENCHMARK #2: NORTHWEST BOLT ON FIRE HYDRANT ALONG THE NORTH SIDE OF PRAIRIE AVENUE EAST OF SITE
ELEV: 770.87 (NOV 29)

Jon P. Green, P.E.
ILL. P.E. NO. 062-052108
Expires November 30, 2015

PROFESSIONAL DESIGN FIRM NUMBER 184.001188

