

ORDINANCE NO. F-1883

AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION ON A CERTAIN  
PIECE OF PROPERTY COMMONLY KNOWN AS 2286 RICHMOND DRIVE -  
DEMOS

**WHEREAS**, written application has been made requesting a variation to Article 3.4A.6 of the Wheaton Zoning Ordinance to allow the construction of a patio with a rear yard setback of 11.0 feet in lieu of the required 25.0 feet, on certain property legally described herein and commonly known as 2286 Richmond Drive, Wheaton, Illinois 60189; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on August 25, 2015 to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a rear yard setback of 11.0 feet in lieu of the required 25.0 feet is granted for a patio in full compliance with the site plan on file in the Department of Planning and Economic Development, to allow the construction on the following-described real estate:

LOT 1 IN BLOCK 6 IN SCOTTDAL, UNIT NO. 3, BEING A SUBDIVISION OF PART OF THE NORTH ½ OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1978 AS DOCUMENT R78-54677 IN DU PAGE COUNTY, ILLINOIS.

P.I.N.: 05-34-114-007

The subject property is commonly known as 2286 Richmond Drive, Wheaton, IL 60189.

**Section 2:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

Roll Call Vote

Ayes: Councilman Sues  
Councilwoman Fitch  
Councilman Prendiville  
Councilman Rutledge  
Mayor Gresk  
Councilman Saline  
Councilman Scalzo

Nays: None

Absent: None

Motion Carried Unanimously

Passed: September 8, 2015  
Published: September 9, 2015

# Associated Surveying Group, LLC

Illinois Prof. Design Firm No. 184-004973  
 P.O. Box 810 Bolingbrook, IL 60440  
 PH: 630-759-0205 FAX: 630-759-9291

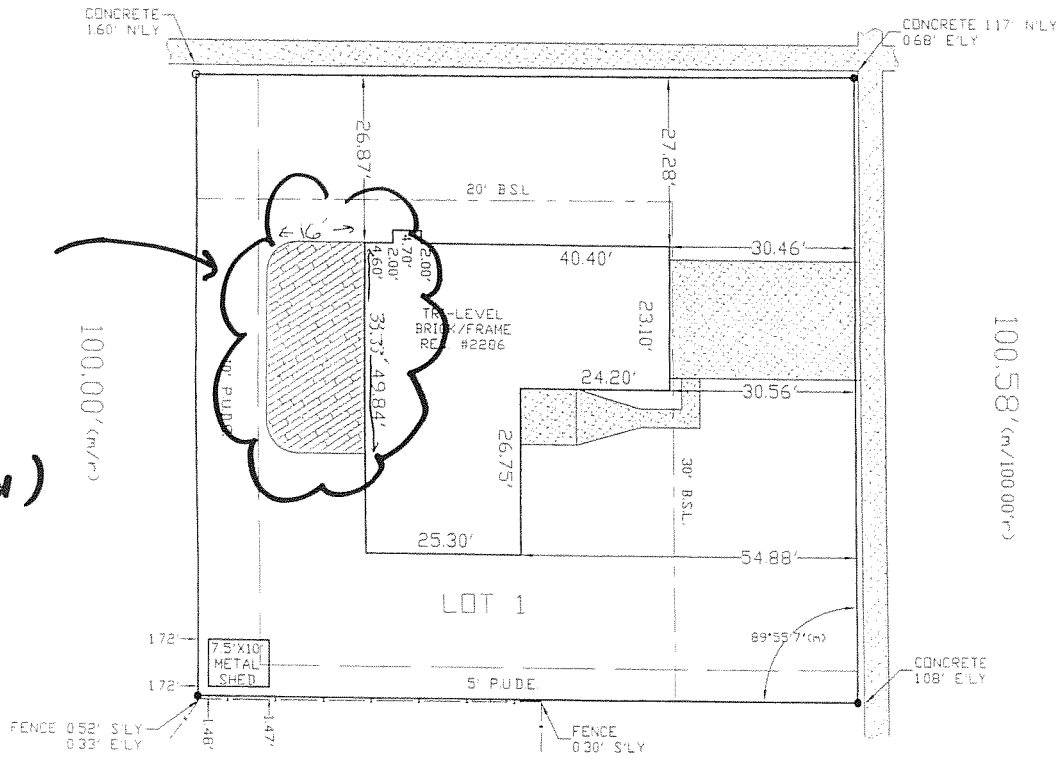
## PLAT OF SURVEY

LOT 1 IN BLOCK 6 IN SCOTTDALE, UNIT NO. 3, BEING A SUBDIVISION OF PART OF THE NORTH 1/2 OF SECTION 1, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 20, 1978 AS DOCUMENT R78-54677 IN DUPAGE COUNTY, ILLINOIS.



JASPER DRIVE

107.50' (m/r)



Existing Deck  
 (to be removed)



107.69' (m/107.50' r)

State of Illinois }  
 County of Will } SS

I, Michael G. Hervey, an Illinois Professional Land Surveyor, do hereby certify that "This professional service conforms to the current Illinois minimum standards for a boundary survey", and that the Plat hereon drawn is a correct representation of said survey.

Dated, this 6<sup>th</sup> day of AUGUST, A.D., 2012, FIELDWORK DATE: AUGUST 1, 2012

at Bolingbrook, Illinois.  
*Michael G. Hervey*  
 Illinois Professional Land Surveyor No. 35-002900  
 License Expires: November 30, 2012

CLIENT: SHEIKH  
 JOB NO.: 72024-12

**LEGEND**

	ASPHALT		BRICK
	WALL		CONCRETE
	WOOD/ PVC		ENCLOSED COVERED
	SET		IRON PIPE
	IRON PIPE		RESAR/ROD
	PIPE		PK NAILS AS NOTCH
	CHAIN LINK FENCE		WOOD FENCE
	ALL OTHER FENCE TYPES		CROSS
			NOTCH

**ABBREVIATIONS:**

A = ARC LENGTH	N'LY = NORTHERLY
R = RADIUS	S'LY = SOUTHERLY
CH = CHORD LENGTH	E'LY = EASTERLY
(r) = RECORD VALUE	W'LY = WESTERLY
(m) = MEASURED VALUE	TYP = TYPICAL
B.S.L. = BUILDING SETBACK LINE	
P.U.E. = PUBLIC UTILITY EASEMENT	
P.U.D.E. = PUBLIC UTILITY & DRAINAGE EASEMENT	

- NOTES**
- COMPARE THE LEGAL DESCRIPTION ON THIS PLAT WITH YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE; ALSO, COMPARE ALL FIELD MEASURED LOT CORNERS & BUILDING TIES WITH THIS PLAT BEFORE CONSTRUCTION AND REPORT ANY DIFFERENCE AT ONCE.
  - BUILDING LINES AND EASEMENTS ARE SHOWN ONLY WHERE THEY ARE SO DEPICTED ON THE RECORDED SUBDIVISION PLAT. REFER TO YOUR DEED, ABSTRACT, OR CERTIFICATE OF TITLE FOR ADDITIONAL ENCUMBRANCES.
  - MEASURED LOT DIMENSIONS ARE SHOWN ONLY WHEN THEY DIFFER FROM RECORD DIMENSIONS BY 0.15 FEET OR MORE.
  - CURVED LINES DENOTED WITH ARC LENGTHS UNLESS OTHERWISE NOTED. ALSO, ALL ARCS ARE TANGENT UNLESS OTHERWISE NOTED.

