

ORDINANCE NO. F-1877

AN ORDINANCE GRANTING PLANNED UNIT DEVELOPMENT APPROVAL TO ALLOW THE CONSTRUCTION AND USE OF 3 ADDITIONAL ONE-BEDROOM APARTMENTS AND 1 ADDITIONAL STUDIO APARTMENT IN THE BASEMENT OF THE EXISTING APARTMENT BUILDING LOCATED AT 720 CRESCENT STREET - 720 W. CRESCENT STREET LLC

WHEREAS, written application has been made requesting a special use permit for a planned unit development to allow the construction and use of 3 additional one-bedroom apartments and 1 additional studio apartment in the basement of the existing apartment building located at 720 Crescent Street, Wheaton, IL (“Subject Property”); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 9, 2015 to consider the PUD request; and the Planning and Zoning Board has recommended that the request be granted and approved.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, PUD approval is granted to allow the construction and use of 3 additional one-bedroom apartments and 1 additional studio apartment in the basement of the existing apartment building on the following-described property:

LOTS 17, 18, 19, 20, 21, 22, 23, 24 AND 25 AND THOSE PORTIONS OF LOTS 26 AND 27 LYING SOUTH OF THE SOUTH LINE OF CRESENT STREET, AND NOW LOCATED IN BLOCK 2 AND THE WEST HALF OF THAT PART OF VACATED FISCHER STREET LYING SOUTH OF THE SOUTH LINE OF MICHIGAN STREET, ALL IN THE RESUBDIVISION OF BLOCK 14 OF COLLEGE ADDITION TO WHEATON, IN THE EAST HALF OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED MAY 14, 1890 AS DOCUMENT 42714, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-16-403-009

The subject property is commonly known as 720 Crescent Street, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, PUD approval is granted in full compliance with the following plans: “720 W. Crescent LLC, Proposed Parking/ Site Plan”, prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015, “720 W. Crescent LLC, Proposed Partial Lower Level Floor Plan”, prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015 and “720 W. Crescent LLC, Elevations” prepared by LaPage Architects, Ltd., Wheaton, IL, dated April 30, 2015, subject to the following conditions:

1. A landscape plan subject to the reasonable approval of the Director of Planning and Economic Development shall be submitted which includes a hedge along the south side of the parking lot expansion to screen the parking area from Michigan Street, foundation plantings and benches along the front of the building and a small grilling and seating area for tenant use; and

2. A lease restriction limiting on-site parking to 1 vehicle per apartment subject to the reasonable approval of the City Attorney shall be added to each apartment lease; and
3. Any off-site parking on property owned by Wheaton College shall be subject to the College's written approval.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote

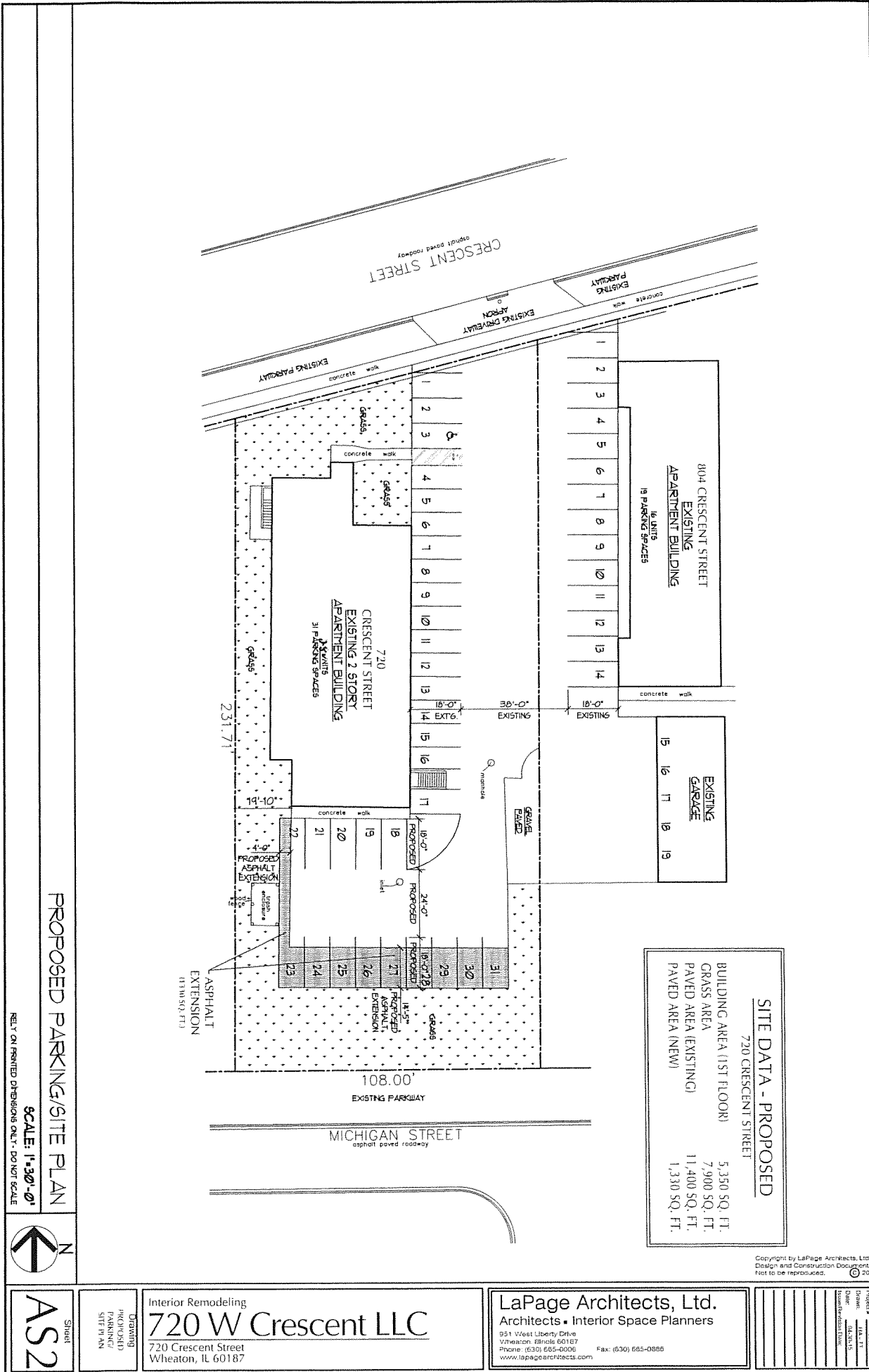
Ayes: Councilwoman Fitch
Councilman Prendiville
Councilman Rutledge
Mayor Gresk
Councilman Saline
Councilman Scalzo
Councilman Sues

Nays: None

Absent: None

Motion Carried Unanimously

Passed: July 6, 2015
Published: July 7, 2015



SITE DATA - PROPOSED
 720 CRESCENT STREET

BUILDING AREA (1ST FLOOR)	5,350 SQ. FT.
GRASS AREA	7,900 SQ. FT.
PAVED AREA (EXISTING)	11,400 SQ. FT.
PAVED AREA (NEW)	1,330 SQ. FT.

PROPOSED PARKING/SITE PLAN

SCALE: 1"=30'-0"
 RELY ON PERMITTED DIMENSIONS ONLY - DO NOT SCALE



Street
AS2

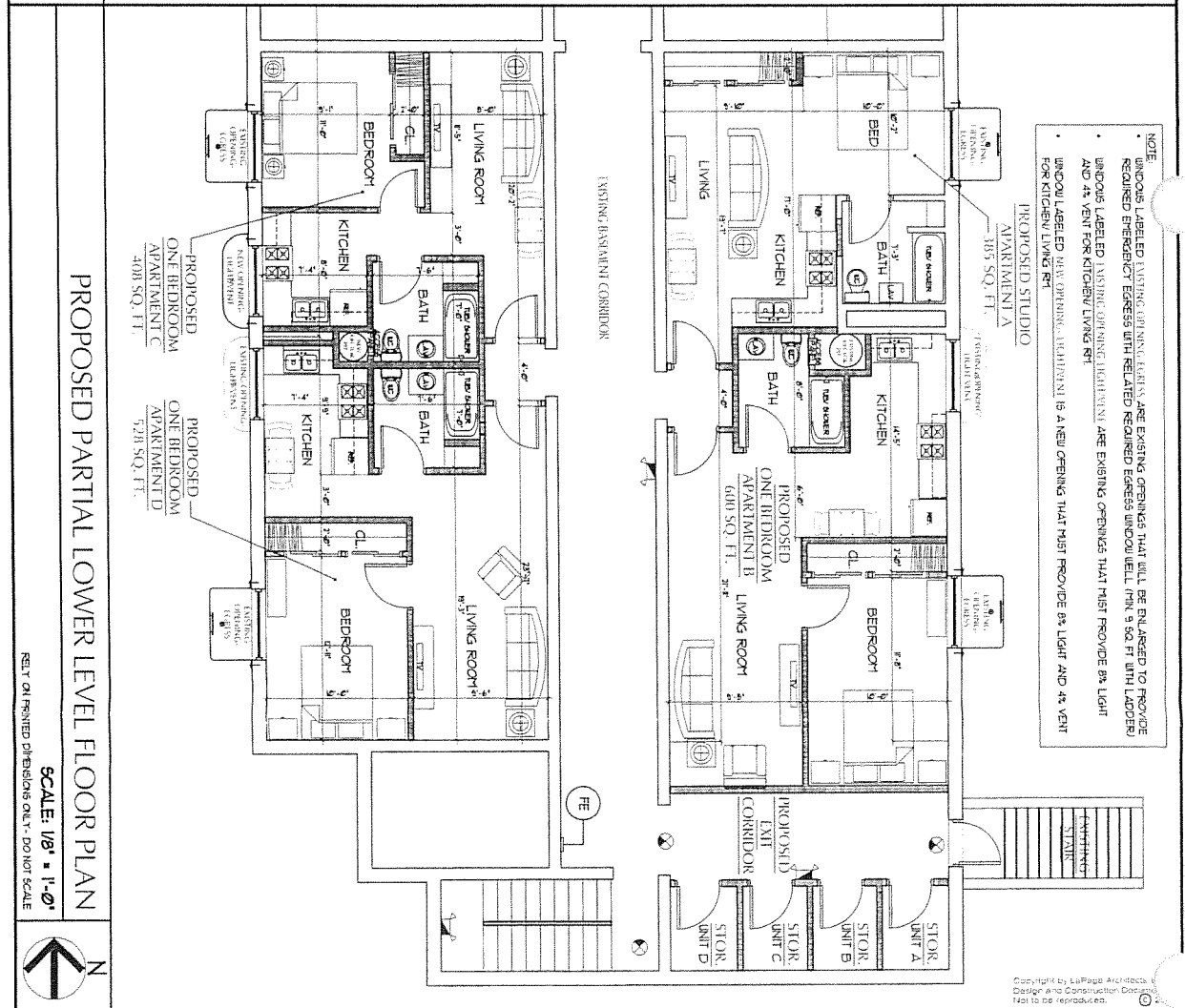
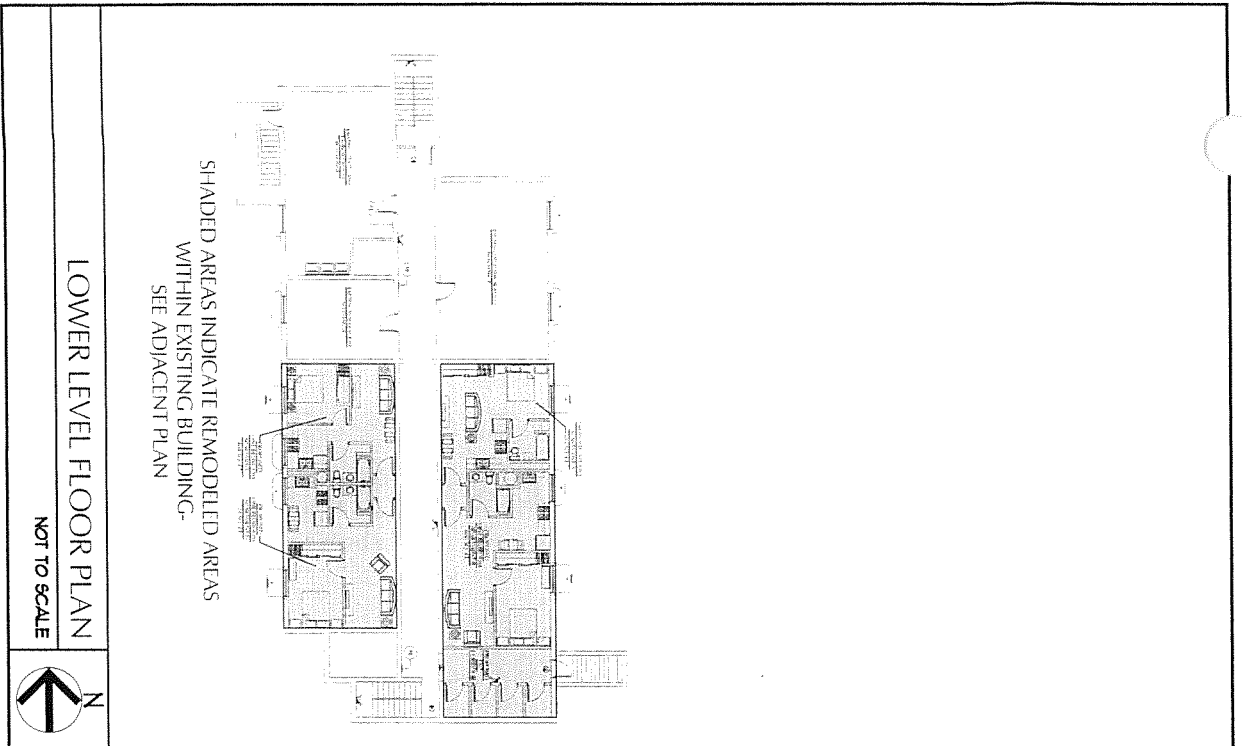
Drawing
 PROPOSED
 PARKING/
 SITE PLAN

Interior Remodeling
720 W Crescent LLC
 720 Crescent Street
 Wheaton, IL 60187

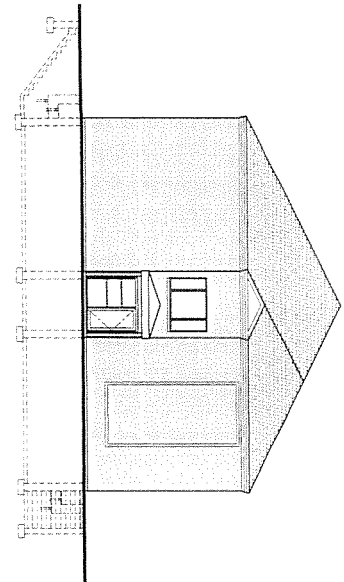
LaPage Architects, Ltd.
 Architects • Interior Space Planners
 951 West Liberty Drive
 Wheaton, Illinois 60187
 Phone: (630) 665-0006 Fax: (630) 665-0886
 www.lapagearchitects.com

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Project #	1148
Date	10/20/15
Drawn by	W. J. J. J.
Checked by	W. J. J. J.
Scale	1"=30'-0"
Sheet	AS2

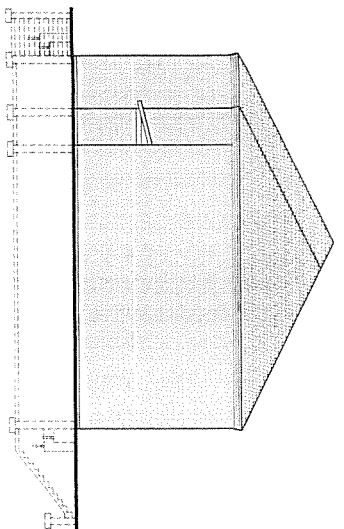


Sheet A1	Drawing PROPOSED LOWER LEVEL FLOOR PLAN	Interior Remodeling 720 W Crescent LLC 720 Crescent Street Wheaton, IL 60187	LaPage Architects, Ltd. Architects • Interior Space Planners 951 West Liberty Drive Wheaton, Illinois 60187 Phone: (630) 665-0000 Fax: (630) 665-0980 www.lapagearchitects.com	Project # Date Drawn Check Scale Revision
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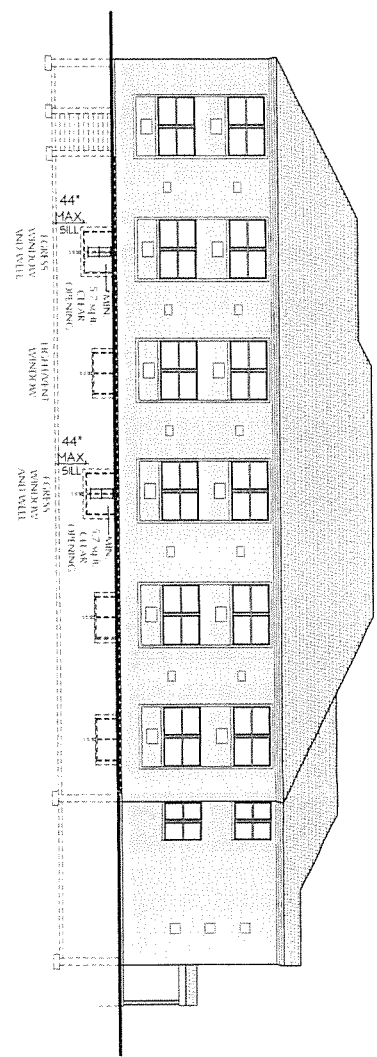
NORTH ELEVATION

SCALE: 1/8" = 1'-0"
RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE



SOUTH ELEVATION

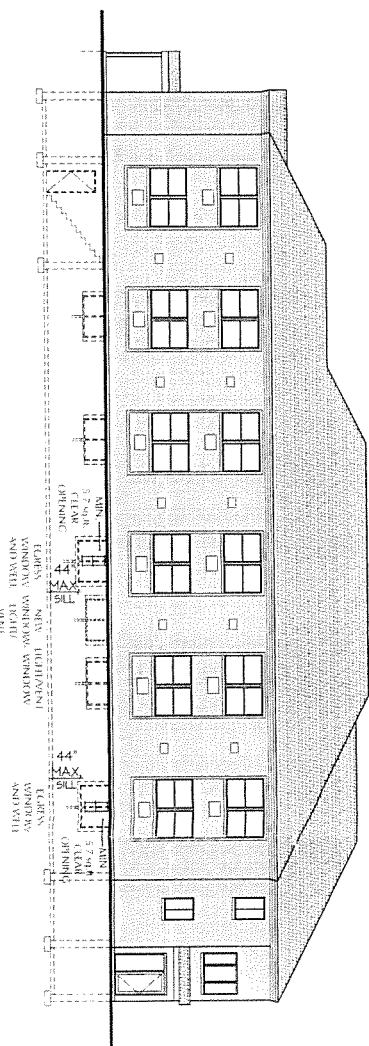
SCALE: 1/8" = 1'-0"
RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE



EAST ELEVATION

SCALE: 1/8" = 1'-0"
RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE

EXTERIOR REMODELING IS AT SUB-GRADE WINDOW WELLS ONLY - NO REMODELING WORK WILL BE VISIBLE ABOVE GRADE



WEST ELEVATION

SCALE: 1/8" = 1'-0"
RELY ON PRINTED DIMENSIONS ONLY - DO NOT SCALE

EXTERIOR REMODELING IS AT SUB-GRADE WINDOW WELLS ONLY - NO REMODELING WORK WILL BE VISIBLE ABOVE GRADE

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<p>Sheet</p> <p>A2</p>	<p>DRAWING</p> <p>PROPOSED</p> <p>INTERIOR</p> <p>REMODELING</p> <p>11/24/15</p>	<p>Interior Remodeling</p> <p>720 W Crescent LLC</p> <p>720 Crescent Street</p> <p>Wheaton, IL 60187</p>	<p>LaPage Architects, Ltd.</p> <p>Architects • Interior Space Planners</p> <p>951 West Liberty Drive</p> <p>Wheaton, Illinois 60187</p> <p>Phone: 630-655-0034</p> <p>www.lapagearchitects.com</p> <p>Fax: (630) 605-0886</p>	<p>Project #</p> <p>Date</p> <p>Scale</p> <p>Revision/Description</p>
		<p>-- PROPOSED REMODELING FOR P.U.D. APPLICATION -- NOT FOR CONSTRUCTION --</p>		

