

ORDINANCE NO. F-1780

AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING THREE PARKING SETBACK VARIATIONS FOR THE PROPERTY COMMONLY KNOWN AS 209 WEST ROOSEVELT ROAD - WILT

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure three parking setback variation in order to retain the existing structure for a one-story office building and construct four surface parking spaces, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 209 West Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on April 8, 2014 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following-described property from the R-4 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

LOT 9 IN BLOCK 4 IN W.I. AND F.E. WHEATON'S RESUBDIVISION OF LOT 2 IN BLOCK 1 AND ALL OF BLOCK 4 OF J.C. WHEATON'S 2ND ADDITION TO WHEATON, IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF RESUBDIVISION RECORDED MAY 9, 1914 AS DOCUMENT 116426, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-16-336-016

The subject property is commonly known as 209 West Roosevelt Road, Wheaton, IL 60187.

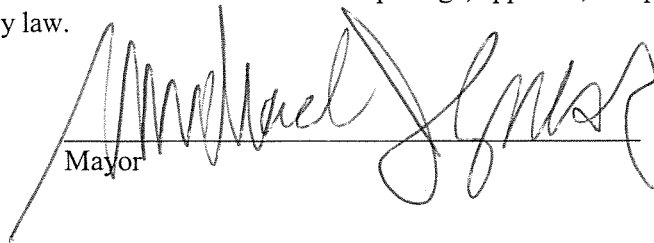
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, three parking setback variations are hereby granted allowing a rear yard parking setback of 13.7 feet in lieu of the required 15.0 feet; a west side yard parking setback of 6.0 feet in lieu of the required 10.0 feet; and an east side yard parking setback of 5.0 feet in lieu of the required 15.0 feet, in full compliance with the following plans: "Site Improvements For: John Wilt, 209 West Roosevelt Road" prepared by Architectural Planning & Services, Wheaton, IL, sheets A1, A2 and L1, dated January 22, 2014 and revised February 24, 2014, "209 West Roosevelt Road - Site Improvements" prepared by Roake and Associates, Naperville, IL, sheets 1-5, dated February 26, 2014, and in further compliance with the following conditions, restrictions, and requirements:

1. The landscape plan shall be revised to show the existing evergreen trees to be retained along the rear property line and some native plantings; and
2. A five foot tall solid wood privacy fence shall be installed along the north and east sides of the parking area.

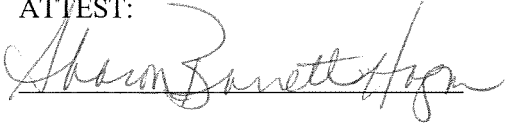
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

Mayor



ATTEST:



Roll Call Vote:

Ayes: Councilman Prendiville
Councilman Rutledge
Councilman Saline
Mayor Gresk
Councilwoman Pacino Sanguinetti
Councilman Scalzo
Councilman Sues

Nays: None

Absent: None

Motion Carried Unanimously

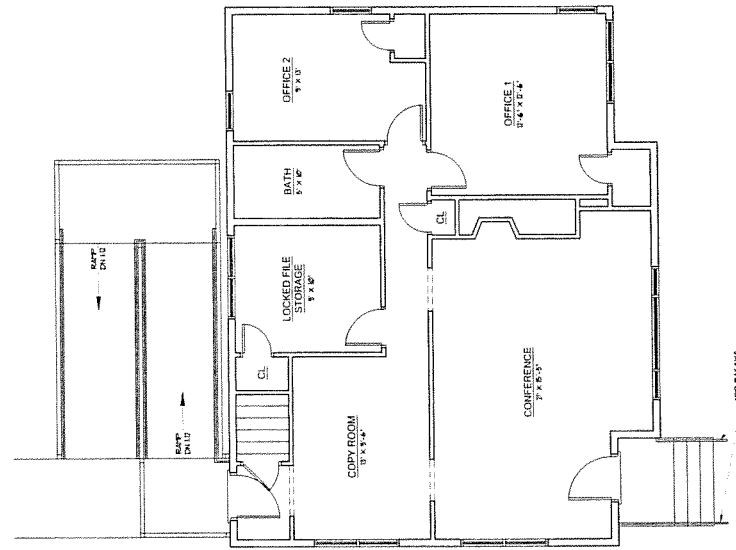
Passed: April 21, 2014
Published: April 22, 2014



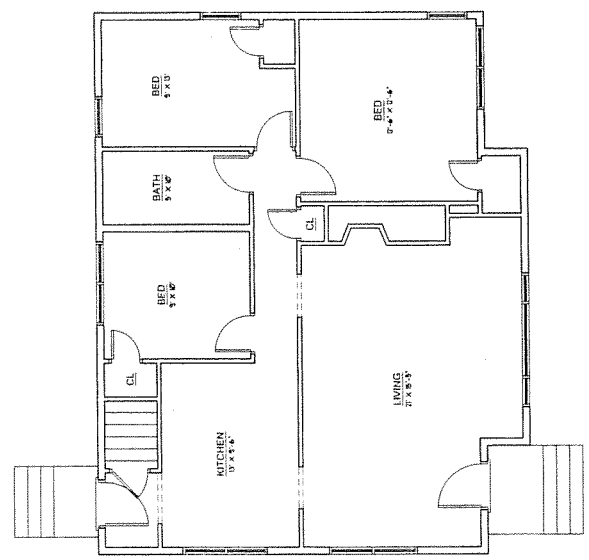
ARCHITECTURAL PLANNING & SERVICES, LTD.
 117 W. First St. Suite 202
 Wheaton, IL 60187
 TEL: 630.660.0298
 FAX: 630.660.0299
 www.apands.com

DATE: 05/14/10

JOHN WILT
 SITE IMPROVEMENTS FOR
 205 ROOSEVELT RD
 WHEATON, IL



1 PROPOSED PLAN
 SCALE: 1/4" = 1'-0"



2 EXISTING PLAN
 SCALE: 1/4" = 1'-0"

DATE:	05/14/10
PROJECT NO.:	14-015
DRAWN BY:	SS
CHECKED BY:	SS

EXISTING AND PROPOSED PLANS



ARCHITECTURAL PLANNING & SERVICES, LTD.
 123 W. Peachtree St., Suite 1000
 Atlanta, GA 30309
 TEL: 404.525.1234
 FAX: 404.525.1235
 WWW: www.apands.com

DATE: 05/15/19

PROJECT:

SCALE:

SITE IMPROVEMENTS FOR
 JOHN WILT
 209 ROOSEVELT RD.
 WHEATON, IL

DATE:

PROJECT NO: 14-019

DATE BY: MC

SCALE BY: SS

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SCALE: 1/4" = 1'-0"

DATE: 05/15/19

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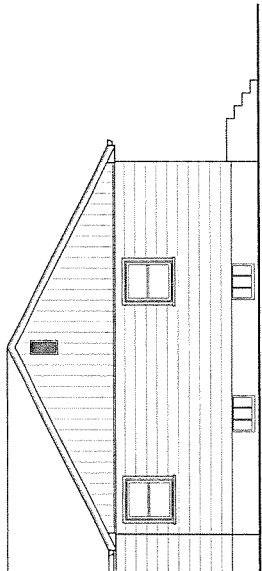
SCALE: 1/4" = 1'-0"

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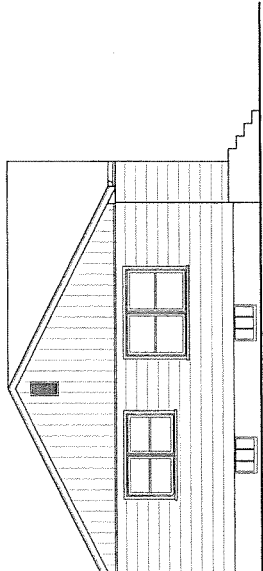
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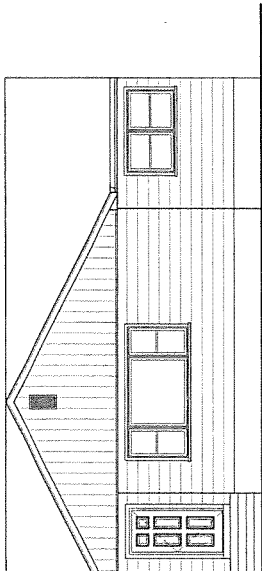
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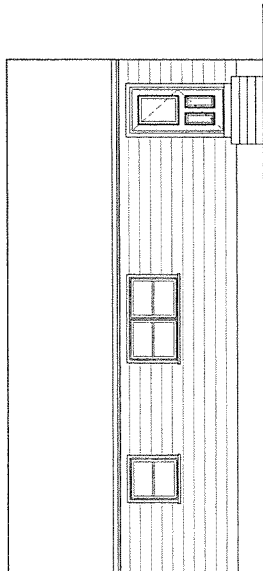
2. EXISTING EAST ELEVATION
 SCALE 1/4" = 1'-0"



1. EXISTING WEST ELEVATION
 SCALE 1/4" = 1'-0"



4. EXISTING SOUTH ELEVATION
 SCALE 1/4" = 1'-0"

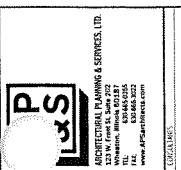


3. EXISTING NORTH ELEVATION
 SCALE 1/4" = 1'-0"

EXISTING ELEVATIONS

A2

19



ARCHITECTURAL PLANNING & SERVICES, LTD.
 209 ROOSEVELT RD.
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 www.plsarchitects.com

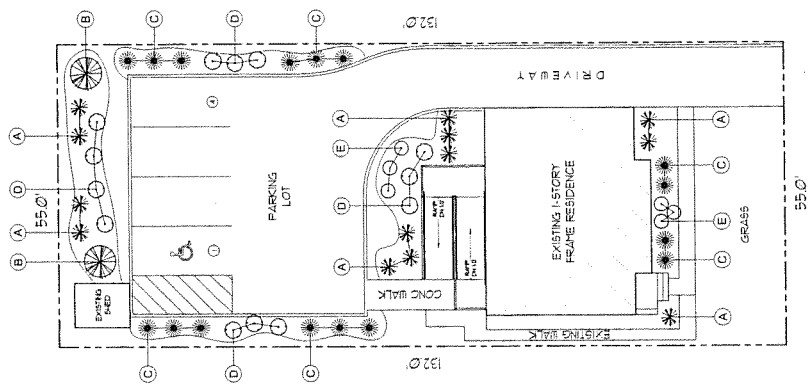
PROJECT
 JOHN WILT
 SITE IMPROVEMENTS FOR
 209 ROOSEVELT RD.
 WHEATON, IL

DATE: 11/21/11
 DRAWN BY: M
 CHECKED BY: S
 PROJECT NO: 14-013
 SHEET NO: 11

PROPOSED
 LANDSCAPE
 PLAN
 L1
 SHEET 11

PLANT LIST & KEY

KEY	COMMON NAME	BOTANICAL NAME	SIZE	QUANTITY
A	UPRIGHT YEW	TAXUS X MEDIA	30"	13
B	DWARF BURNING BUSH	LYONARIS ALATUS	5 GAL	2
C	DENSE YEW	TAXUS	24"	18
D	RANIBERRY	BERBERIS VILGOSIS	3 GAL	13
E	GOLDPLANE SPIREA	SPIREA JAPONICA	7 GAL	6



PROPOSED LANDSCAPE PLAN
 SCALE: 1/8" = 1'-0"



Know what's below. Call before you dig.

FINAL ENGINEERING PLANS AND SPECIFICATIONS

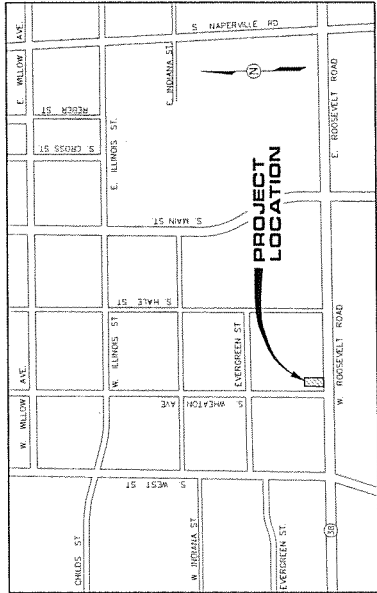
FOR

209 W. ROOSEVELT ROAD - SITE IMPROVEMENTS

WHEATON, ILLINOIS

LEGEND

Table with columns: ABBREVIATION, DESCRIPTION, EXISTING, PROPOSED. Lists various site features like manhole, catch basin, inlet, valve & vault, fire hydrant, cleanout, etc.



LOCATION MAP N.T.S.

STATE OF ILLINOIS COUNTY OF DUPAGE } SS



L. JAMES G. CAREY, AN ILLINOIS PROFESSIONAL ENGINEER, HEREBY CERTIFIES THAT THESE PLANS WERE PREPARED BY HIM OR UNDER HIS CLOSE PERSONAL SUPERVISION AND THAT HE IS A LICENSED PROFESSIONAL DESIGNER UNDER THE ILLINOIS PROFESSIONAL ENGINEERING ACT. HIS LICENSE EXPIRES APRIL 30, 2015, UNDER MY PERSONAL DIRECTION FOR THE EXCLUSIVE USE OF THE CLIENT NOTED BELOW. REPRODUCTION OR ALTERATION OF THESE PLANS WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED IS PROHIBITED.

DRAWN UNDER MY HAND AND SEAL THIS _____ DAY OF _____, 20____

ILLINOIS LICENSED PROFESSIONAL ENGINEER NO. 042422 REGISTRATION VALID THROUGH NOVEMBER 30, 2015 (NOT VALID WITHOUT ORIGINAL SIGNATURE)

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PREPARED FOR: REALSTAR REALTY 209 W. ROOSEVELT ROAD WHEATON, ILLINOIS 60187

ROAKE AND ASSOCIATES, INC. CONSULTING ENGINEERS AND ARCHITECTS 1000 N. WILSON AVENUE SUITE 200 WHEATON, ILLINOIS 60187

TEL: (630) 356-3332 • FAX: (630) 356-3287

TITLE SHEET SHEET NO. 1 OF 5

209 W. ROOSEVELT ROAD - SITE IMPROVEMENTS

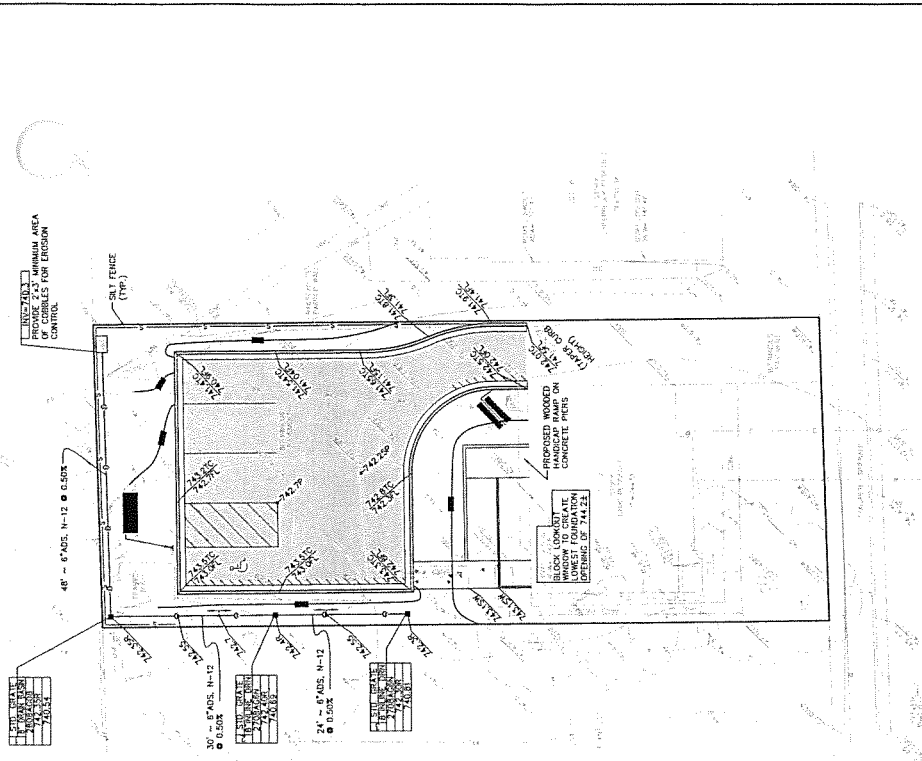
Table with columns: NO., DATE, DESCRIPTION, REVISIONS, DATE. Revision table for the drawing.

REFERENCE BENCHMARKS: DUPAGE COUNTY BM #108, BRASS DISK LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF LIBERTY DRIVE AND WHEATON AVENUE, DISK IS ON THE WEST SIDE OF A CONCRETE BASE 0.85 FEET ABOVE ROAD SURFACE. ELEVATION = 745.72

BEFORE/BEHIND MARKS: 1. CUT CORNER IN PUBLIC SIDEWALK 4.21 FEET SOUTH AND 34.30' FEET WEST OF THE SOUTHWEST PROPERTY CORNER OF ELEVATION = 744.05

2. CUT CORNER IN PUBLIC SIDEWALK 2.49 FEET SOUTH AND 16.71 FEET EAST OF THE SOUTHEAST PROPERTY CORNER OF SUBJECT SITE. ELEVATION = 741.16

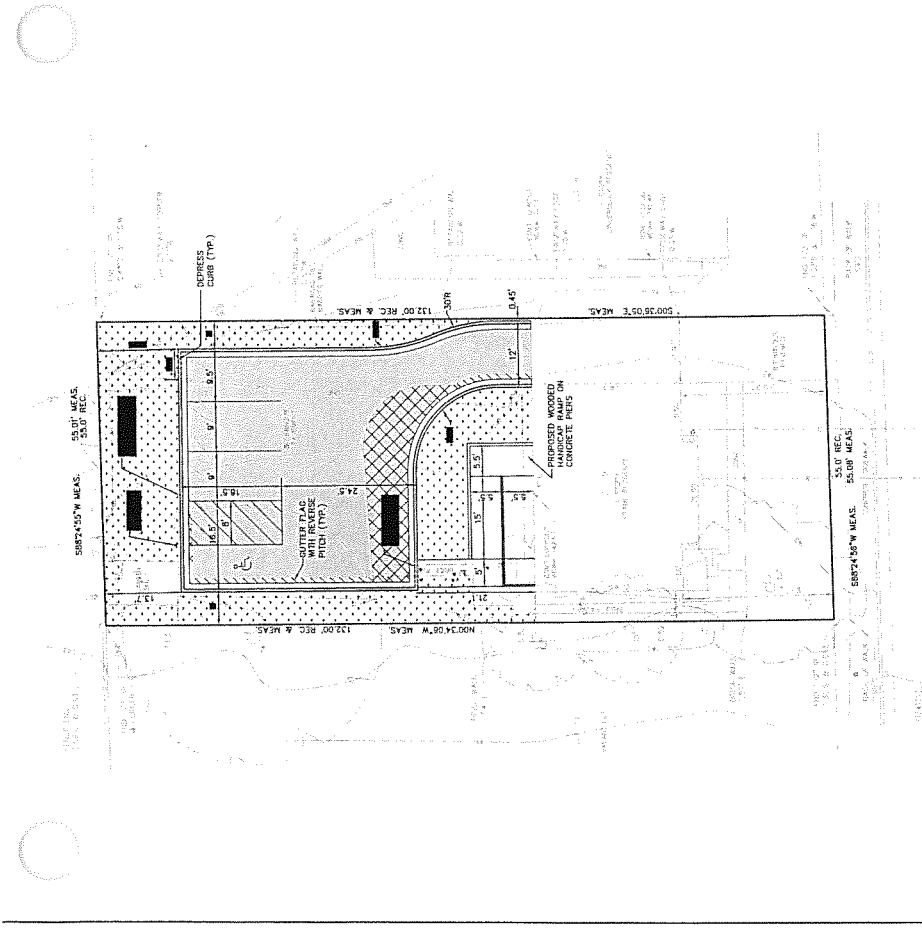
LINE TYPE LEGEND: EXISTING, PROPOSED. STRUCTURE CALLOUT, FIRE HYDRANT CALLOUT, SOIL BORING.



ROOSEVELT ROAD (IL RT. 38)
GRADING AND UTILITY PLAN

NOTE:
1. ALL WORK SHALL BE DONE IN GENERAL ACCORDANCE WITH THE MUNICIPAL "SOIL EROSION AND SEDIMENTATION CONTROL" ORDINANCE. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES THAT WILL PREVENT SOIL EROSION AND SEDIMENTATION FROM ROADWAYS AND ADJACENT PROPERTIES FROM CONSTRUCTION DANCES SHALL INCLUDE SALT FENCE, PAVERS, ETC.
2. ANY SEDIMENT DEPOSITED ON PUBLIC ADJACENT PUBLIC STREETS SHALL BE SWEEPED IMMEDIATELY, IF NOT DAILY, TO ELIMINATE DIRT AND SEDIMENT.

209 W. ROOSEVELT ROAD - SITE IMPROVEMENTS	
DIMENSION PLAN/ GRADING & UTILITY PLAN	
NO. 209	DATE 02/25/14
DATE 02/25/14	SCALE 1"=10'
SHEET NO. 4	OF 5



ROOSEVELT ROAD (IL RT. 38)
DIMENSION PLAN

NOTE:
1. UNLESS OTHERWISE NOTED, ALL CURB WORK SHALL BE 12" AND BE 1 1/2" HOT MIX ASPHALT BINDER COURSE, L-10, 150.
2. 1 1/2" HOT MIX ASPHALT BINDER COURSE, L-10, 150.
3. 2" COMPACTED AGGREGATE BASE COURSE (CA-6)
4. INDICATES AREAS REQUIRING RESTORATION TO BE RESTORED WITH 8" TOPSOIL, MATTING AND SEED, SEE P. TOPSOIL AND SOIL. CHANNELS SHALL BE RESTORED TO ORIGINAL CHANNELS AND CONVEYED THROUGH THE DEPRESSIONED CURB.

NO.	DATE	DESCRIPTION	REVISED	NO.	DATE	DESCRIPTION

PREPARED FOR:
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WHITON, ILLINOIS 60187
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FX. (630) 420-7771

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