

ORDINANCE NO. F -1605

AN ORDINANCE GRANTING A REAR YARD SETBACK VARIATION AND A PLAT OF CONSOLIDATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 809 EAST ROOSEVELT ROAD - AUTOZONE

WHEREAS, written application has been made requesting a variation to Article 18.5D of the Wheaton Zoning Ordinance to allow the construction of a 6,267 square foot addition with a rear yard setback of 5.4 feet in lieu of the required 15.0 feet, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 809 East Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on December 13, 2011 to consider the requested zoning variation; and the Board has recommended approval of the variation request.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-3 General Commercial District zoning classification:

THE SOUTH HALF OF LOT 23 AND THE SOUTH HALF OF LOT 24 AND LOT 25 (EXCEPT THE NORTH HALF AND EXCEPT THE WEST 50 FEET OF THE SOUTH HALF THEREOF) IN THE 2ND LINCOLN HIGHWAY SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 1921 AS DOCUMENT 150857, IN DUPAGE COUNTY, ILLINOIS; EXCEPTING FROM THE ABOVE DESCRIBED TRACT THAT PART THEREOF TAKEN FOR ROOSEVELT ROAD IN CONDEMNATION CASE 88ED189 AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTH HALF OF SAID LOT 23; THENCE SOUTH 01 DEGREES 06 MINUTES 51 SECONDS WEST (ASSUMED BEARING) ALONG THE EAST LINE OF SAID LOT 23, 167.56 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF ROOSEVELT ROAD; THENCE NORTH 90 DEGREES 00 MINUTES 00 SECONDS WEST, ALONG SAID NORTH RIGHT OF WAY LINE, 325.74 FEET TO A POINT ON THE EAST LINE OF THE WEST 50 FEET OF SAID LOT 25; THENCE NORTH 00 DEGREES 55 MINUTES 37 SECONDS EAST, ALONG SAID EAST LINE, 167.62 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID LOT 25; THENCE SOUTH 89 DEGREES 59 MINUTES 17 SECONDS EAST 326.28 FEET TO THE POINT OF BEGINNING.

P.I.N.: 05-16-424-037; -038; -0393

The subject property is commonly known as 809 East Roosevelt Road, Wheaton, IL 60187.

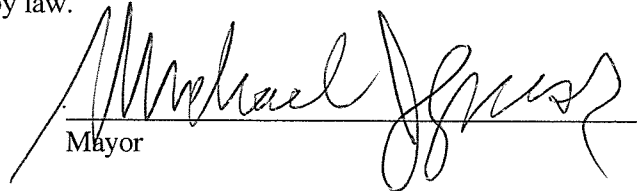
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a rear yard setback to allow the construction of a 6,267 square foot addition is hereby granted, in full compliance with the following plans: "Site Plan", sheet C1.0, prepared by Kimley-Horn and Associates, Chicago, IL, dated October 7, 2011 and revised December 7, 2011; "Landscape Plan", sheet L1.0, prepared by Norris Design, Glen Ellyn, IL, dated November 23, 2011 and revised December 7, 2011; "Color Elevations", sheet CE-1, prepared by Phillip Pecord, Memphis, TN, dated June 16, 2011; and "Floor Plan", sheet PS1, prepared by Phillip Pecord, Memphis, TN, dated October 5, 2011, and in further compliance with the following conditions, restrictions, and requirements:

1. The dumpster enclosure and final landscaping plan is subject to the approval of staff.

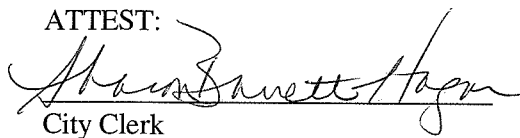
Section 3: The AutoZone Plat of Consolidation, as prepared by Vasconcelles Engineering Corporation, an Illinois Professional Land Surveyor, dated November 29, 2011 is hereby approved. The Mayor is authorized to sign the AutoZone Plat of Consolidation and the City Clerk is authorized and directed to attest to the signature of the Mayor.

Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:


City Clerk

Roll Call Vote:

Ayes: Councilman Mouhelis
Councilman Rutledge
Mayor Gresk
Councilwoman Pacino Sanguinetti
Councilman Scalzo
Councilman Suess
Councilwoman Ives

Nays: None

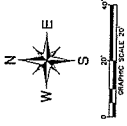
Absent: None

Motion Carried Unanimously

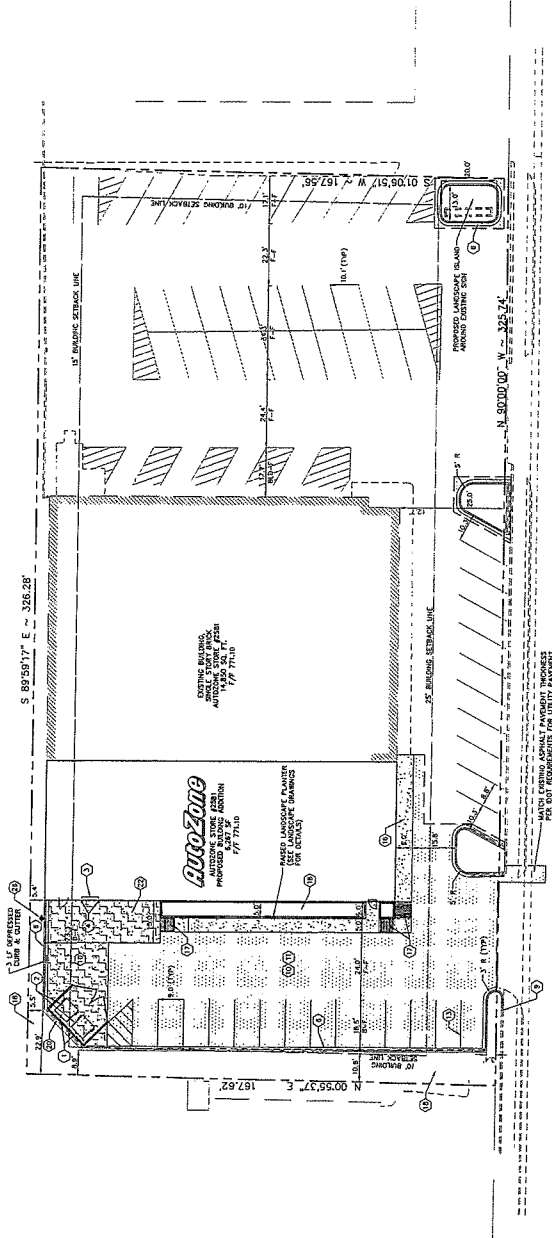
Passed: December 19, 2011
Published: December 20, 2011



1-800-492-0123



- ### KEY NOTES
- BUILDING AND PAVING**
1. PAVEMENT - SEE DETAIL 18 / C/A
 2. COMPACT LAYERS - SEE DETAILS 9, 10, 11 / C/A
 3. SERVICE CURB PAVEMENT - SEE DETAIL 15 / C/A
 4. BELLOTT PAVEMENT - SEE DETAIL 14 / C/A
 5. EXISTING CONCRETE LIGHT POLE BASE - SEE DETAIL 13 / C/A
 6. SEE DIMENSIONS FOR TYPICAL DETAIL
 7. CURB AND GUTTER (TYP) AT CONCRETE PAVING - SEE DETAIL 3 / C/A
 8. ALTERNATE 2.0' - CONTRACTOR MAY PROVIDE ALTERNATE FOR FLASHPAN EXPANSION JOINTS - LOCATIONS: REFER TO GROUND FOR TYPICAL PAVING
 9. SLOPE END OF CURB 4:1
 10. KEY CURB OUT AND APPROACH
 11. CONCRETE PAVING - SEE DETAIL 4 / C/A, EXPANSION AND CONTROL JOINTS - SEE DETAIL 5 / C/A
 12. ASPHALT PAVING - SEE DETAIL 3 / C/A
 13. 1" MIN. CONCRETE WEED STOP PAVED TO PERMIT (TYP), LOCATE 2' FROM CURB AND GUTTER (TYP)
 14. 4" WIDE ORIGINAL STRIPES PAINTED WHITE AT 2' OC
 15. 4" WIDE ORIGINAL STRIPES PAINTED WHITE AT 2' OC
 16. ACCESSIBLE PAVEMENT - SEE DETAIL 12 / C/A
 17. CONCRETE SIDEWALK - SEE DETAIL 2 & 2A / C/A FOR SIDEWALK FINISH
 18. SIDEWALK - SEE DETAIL 19 / C/A FOR SIDEWALK FINISH
 19. SIDEWALK - SEE DETAIL 19 / C/A FOR SIDEWALK FINISH
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 49. SIDEWALK - SEE DETAIL 19 / C/A FOR SIDEWALK FINISH
 50. SIDEWALK - SEE DETAIL 19 / C/A FOR SIDEWALK FINISH



- ### GENERAL NOTES
1. REVIEW ALL UTILITIES AND ALL PAVING AREAS. NOTIFY APPLICABLE AGENCIES.
 2. EDGE OF NEW PAVEMENT TO BE TYPICAL WITH EXISTING PAVEMENT.
 3. ALL SIDEWALKS, CURBS AND GUTTERS, STREET PAVING, CURB CURBS, UTILITY TRENCHES, AND ALL OTHER ITEMS SHALL BE CONFORM TO ALL APPLICABLE CODES AND REGULATIONS.
 4. FOR ALL SIDEWALKS AND GUTTERS, SEE DETAIL 19 / C/A FOR SIDEWALK FINISH AND DETAIL 3 / C/A FOR GUTTER FINISH.
 5. FOR PROPOSED UTILITY LOCATIONS, SEE UTILITY PLAN.
 6. ALL SIDEWALKS SHALL BE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 7. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
 8. CONTRACTOR SHALL PROVIDE CLEAN JOINTS AND PROTECT PAVEMENT FROM DAMAGE DURING CONSTRUCTION.
 9. THREE (3) SHOULDER AND GRADES NO. 5 SUPERPAVING BASES FOR EXPANSION JOINTS SHALL BE CONFORM TO DETAIL 5 / C/A.
 10. PAVEMENT ADJUSTMENT TO MATCH EXISTING SHALL NOT BE DISCUSSED ON THIS PLAN.
 11. SHALL BE 3'-TYPICAL.
 12. ELECTRICAL UTILITIES.
 13. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING REQUIREMENTS.
 14. IF PROVISIONS OR CONDITIONS ON SITE ALL INTERFERE WITH ALIGNMENT OF SIDEWALKS OR GUTTERS, THE CONTRACTOR SHALL ADVISE THE ARCHITECT IMMEDIATELY.
 15. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
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REVISIONS

NO.	DATE	DESCRIPTION
1	10-07-11	REVISED PER CITY REVIEW
2	11-03-11	REVISED PER CITY REVIEW
3	12-07-11	REVISED PER CITY REVIEW

DATE
10-07-11

PROTOTYPE SIZE
C1.0

SCALE 1"=20'-0"

SITE PLAN
WHEATON
809 E. ROOSEVELT RD.
Store No. 2581

Prepared For:
AutoZone Store Development
123 South Front Street
Memphis, Tennessee 38103
TEL: (901)495-8714 FAX: (901)495-8424

DATA SUMMARY

SITE AREA = 6,433 SF (0.146 AC)
 BUILDING AREA (WITHOUT DRIVE) = 4,287 SF
 TOTAL PAVED AREA (WITH DRIVE) = 10,000 SF
 TOTAL UNPAVED AREA (WITH DRIVE) = 1,133 SF
 TOTAL PAVED AREA (WITHOUT DRIVE) = 8,813 SF
 TOTAL UNPAVED AREA (WITHOUT DRIVE) = 2,620 SF
 TOTAL PAVED AREA = 15,846 SF (0.36 AC)
 TOTAL UNPAVED AREA = 2,620 SF (0.06 AC)
 TOTAL AREA = 18,466 SF (0.42 AC)

BENCHMARK

BENCHMARK "A": LOCAL HIGHWAY OF 50' DOWNTOWN ROOSEVELT ROAD
 (MEMPHIS COUNTY) ELEV. = 172.725

PARKING SUMMARY

REGULAR PARKING SPACES = 31
 DISABLED PARKING SPACES = 5
 BICYCLE PARKING SPACES = 5
 DELIVERIES AND SERVICE SPACES = 50
 TOTAL PARKING SPACES = 96

ELEV. PARKING SPACES FOR 1000 SF OF FLOOR AREA = 4 ACCESSIBLE SPACES

PAVING AND CURB LEGEND

	CONCRETE PAVING - LIGHT GRAY SEE DETAIL 12 / C/A
	CONCRETE PAVING - HEAVY GRAY SEE DETAIL 13 / C/A
	CONCRETE PAVING - DARK GRAY SEE DETAIL 14 / C/A
	CONCRETE PAVING - BLACK SEE DETAIL 15 / C/A
	CONCRETE PAVING - WHITE SEE DETAIL 16 / C/A
	CONCRETE PAVING - YELLOW SEE DETAIL 17 / C/A
	CONCRETE PAVING - RED SEE DETAIL 18 / C/A
	CONCRETE PAVING - GREEN SEE DETAIL 19 / C/A
	CONCRETE PAVING - BLUE SEE DETAIL 20 / C/A
	CONCRETE PAVING - PURPLE SEE DETAIL 21 / C/A
	CONCRETE PAVING - BROWN SEE DETAIL 22 / C/A
	CONCRETE PAVING - PINK SEE DETAIL 23 / C/A
	CONCRETE PAVING - TAN SEE DETAIL 24 / C/A
	CONCRETE PAVING - LIGHT BLUE SEE DETAIL 25 / C/A
	CONCRETE PAVING - MEDIUM BLUE SEE DETAIL 26 / C/A
	CONCRETE PAVING - DARK BLUE SEE DETAIL 27 / C/A
	CONCRETE PAVING - VERY DARK BLUE SEE DETAIL 28 / C/A
	CONCRETE PAVING - BLACK SEE DETAIL 29 / C/A
	CONCRETE PAVING - WHITE SEE DETAIL 30 / C/A
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	CONCRETE PAVING - WHITE SEE DETAIL 100 / C/A

OWNER: AutoZone, Inc.
123 S. FRONT STREET, 3RD FLOOR
MEMPHIS, TENNESSEE 38103



Autzone STORE DEVELOPMENT
809 E. Riverchase Blvd.
Weston, Louisiana 70187

PREPARED FOR: AutoZone, Inc.

SCALE: 1" = 20'-0"

DATE: 11/20/17

DESIGNER: [Redacted]

1. Per City Engineer 12-07-15

2.

3.

4.

5.

6.

7.

8.

ARCHITECT: JMH

DRAFTSMAN: BJS

CHECKED BY: MSD

DATE: 11/20/17

PROJECT FILE

NOVUS DESIGN
410 South Street
New Orleans, LA 70112
P: 504.581.1117
www.novusdesign.com

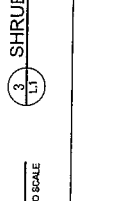
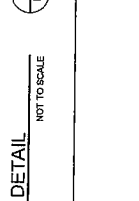
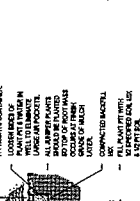
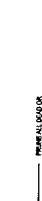
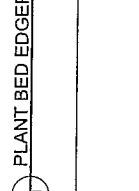
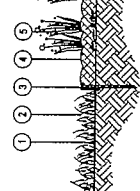
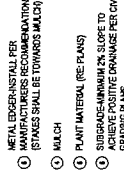
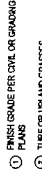
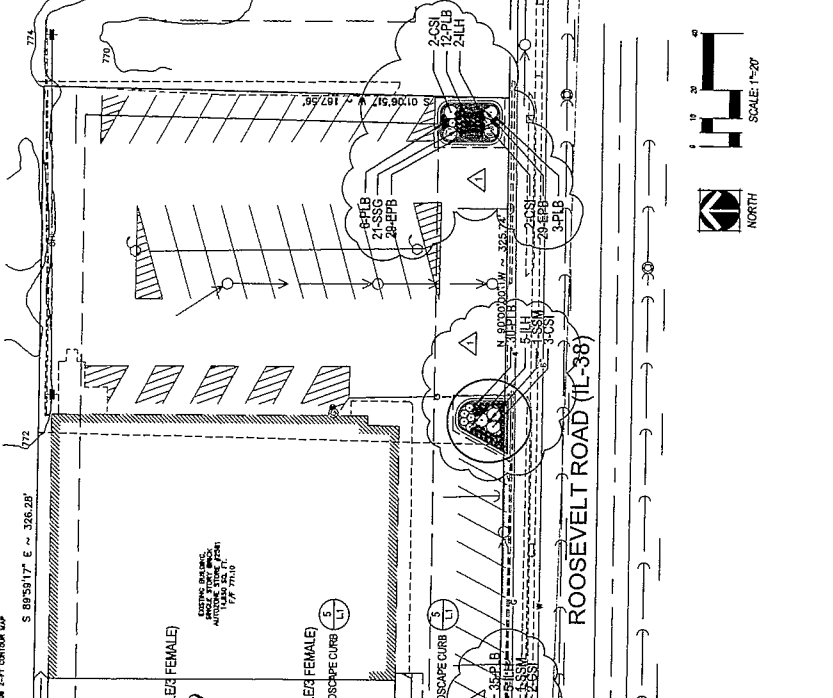
L1.0

Plant List

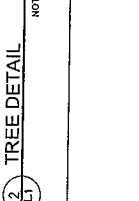
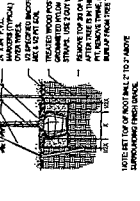
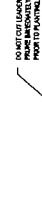
ID	Sym	Common Name	Botanical Name	Planting Size
CANOPY TREES				
1	(Symbol)	Live Oak	<i>Quercus laevis</i>	12" OAL
2	(Symbol)	Live Oak	<i>Quercus laevis</i>	12" OAL
EVERGREEN TREES				
3	(Symbol)	Dwarf Noyah	<i>Podocarpus neriifolius</i>	18" x 18"
ORNAMENTAL TREES				
4	(Symbol)	Flamingo Palm	<i>Chlorophytum baccatum</i>	12" OAL
DECIDUOUS SHRUBS				
5	(Symbol)	Flowering Dogwood	<i>Cornus florida</i>	18" x 18" B&B
6	(Symbol)	Flowering Dogwood	<i>Cornus florida</i>	18" x 18" B&B
EVERGREEN SHRUBS				
7	(Symbol)	Boxwood	<i>Buxus microcarpa</i>	18" x 18" B&B
GRASSES				
8	(Symbol)	St. Augustine	<i>St. Augustine Grass</i>	1" Container
9	(Symbol)	St. Augustine	<i>St. Augustine Grass</i>	1" Container
PERENNIALS				
10	(Symbol)	Hosta	<i>Hosta Plantain</i>	1" Container
11	(Symbol)	Hosta	<i>Hosta Plantain</i>	1" Container

Landscape and Planting Notes

- The Landscape Contractor shall be responsible for installing, maintaining, and protecting the hardscape elements shown on the hardscape plan.
- All hardscape elements shall be installed, finished, and protected in accordance with the manufacturer's instructions. Hardscape materials shall be installed and finished in accordance with the manufacturer's instructions. Hardscape materials shall be installed and finished in accordance with the manufacturer's instructions. Hardscape materials shall be installed and finished in accordance with the manufacturer's instructions.
- Contractor shall be responsible for providing and installing all necessary drainage systems, including downspouts, gutters, and floor drains. All drainage systems shall be installed and finished in accordance with the manufacturer's instructions.
- Contractor shall be responsible for providing and installing all necessary irrigation systems, including valves, pipes, and emitters. All irrigation systems shall be installed and finished in accordance with the manufacturer's instructions.
- Soil shall be amended with 25% peat moss and 25% perlite to a depth of 18 inches. All amendments shall be applied to the soil before any plants are installed.
- A 4" x 4" plastic mulch shall be applied to all areas not to be planted. The plastic mulch shall be applied to the soil before any plants are installed.
- A 4" x 4" plastic mulch shall be applied to all areas not to be planted. The plastic mulch shall be applied to the soil before any plants are installed.
- Contractor shall be responsible for providing and installing all necessary hardscape elements, including concrete curbs, walkways, and patios. All hardscape elements shall be installed and finished in accordance with the manufacturer's instructions.
- Contractor shall be responsible for providing and installing all necessary irrigation systems, including valves, pipes, and emitters. All irrigation systems shall be installed and finished in accordance with the manufacturer's instructions.
- Contractor shall be responsible for providing and installing all necessary drainage systems, including downspouts, gutters, and floor drains. All drainage systems shall be installed and finished in accordance with the manufacturer's instructions.
- Contractor shall be responsible for providing and installing all necessary landscape elements, including plants, mulch, and soil amendments. All landscape elements shall be installed and finished in accordance with the manufacturer's instructions.



- PERENNIAL DETAIL: NOT TO SCALE
- TREE DETAIL: NOT TO SCALE
- SHRUB DETAIL: NOT TO SCALE
- PLANT BED EDGER DETAIL: NOT TO SCALE
- LANDSCAPE CURB: NOT TO SCALE



- PERENNIAL DETAIL: NOT TO SCALE
- TREE DETAIL: NOT TO SCALE
- SHRUB DETAIL: NOT TO SCALE
- PLANT BED EDGER DETAIL: NOT TO SCALE
- LANDSCAPE CURB: NOT TO SCALE

CE-1

HUB EXPANSION

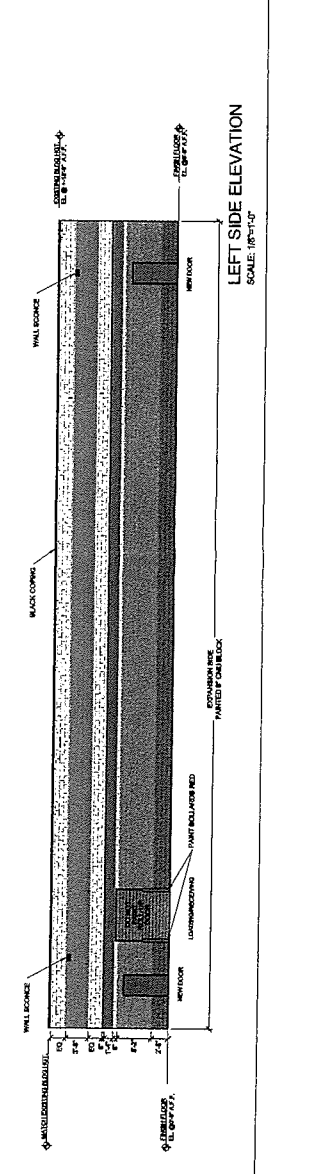
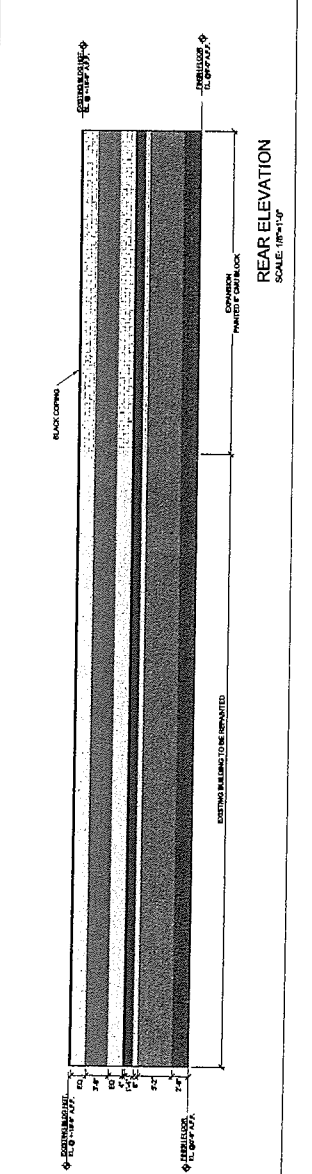
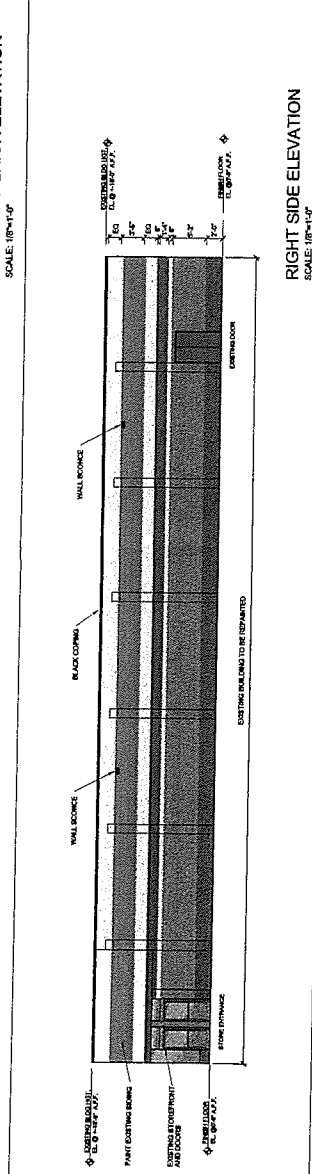
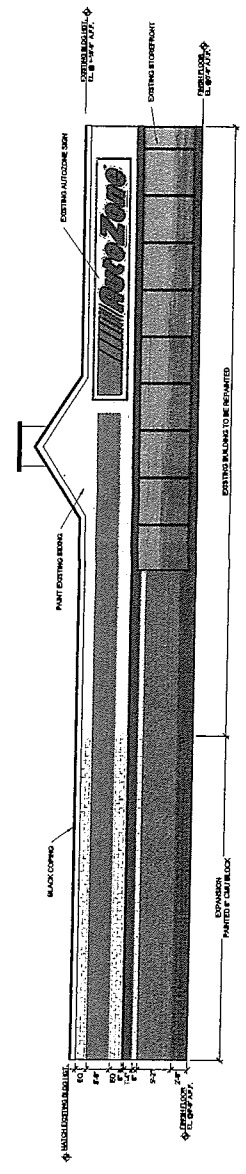
06/16/11

Architect: PHILLIP PCORD
 123 South Front Street
 Memphis, Tennessee 38103
 TEL: 495-8706 FAX: (901) 495-8969

Autozone Store No. 2881
 809 E ROOSEVELT RD
 WHEATON IL 60189

REVISIONS	NO.	DESCRIPTION
1	4	
2	5	
3	6	

- PAINT COLORS**
- PAINT AUTOTONE BLACK
 - PAINT AUTOTONE WHITE
 - PAINT AUTOTONE GRAY
 - PAINT AUTOTONE RED
 - PAINT AUTOTONE MEDIAN GRAY
 - PAINT AUTOTONE DARK GRAY



PS1

HUB EXPANSION

10/05/11

Architect: PHILLIP RECORD
123 South Front Street
Memphis, Tennessee 38103
TEL: 495-8706 FAX: (901) 495-8969

Autozone Store No. 2581
809 E ROOSEVELT RD
WHEATON IL 60189

PROPOSED FLOOR PLAN

REVISIONS

1	4
2	5
3	6

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONSTRUCTION

PROPOSED FLOOR PLAN
SCALE: 1/8"=1'-0"

ROOSEVELT ROAD

