

ORDINANCE NO. F-1561

AN ORDINANCE APPROVING PRELIMINARY PLAT OF SUBDIVISION AND VARIATIONS FOR CERTAIN PARCELS OF PROPERTY COMMONLY KNOWN AS THE NORTHEAST CORNER OF CROSS STREET AND SEMINARY AVENUE - ST. JOHN LUTHERAN CHURCH

WHEREAS, written application has been made for a subdivision and variation request, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as the northeast corner of Cross Street and Seminary Avenue ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on March 8, 2011 and March 22, 2011 to consider the zoning application; and the Board has recommended approval of the subdivision and variation request.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-4 Residential District zoning classification:

LOT 4, 5, 6, 7, 8 AND 9 IN BLOCK 18 IN LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON, BEING A SUBDIVISION IN THE EAST HALF OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 8, 1857 AS DOCUMENT NUMBER 11622, IN DUPAGE COUNTY ILLINOIS.

The Subject Property is commonly known as the northeast corner of Cross Street and Seminary Avenue, Wheaton, IL 60187.

Section 2: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, preliminary plat of subdivision of St. John Lutheran Subdivision, prepared by Dave Johnson and Associates, dated January 11, 2011 is hereby approved on the Subject Property subject to the following conditions, restrictions and requirements:

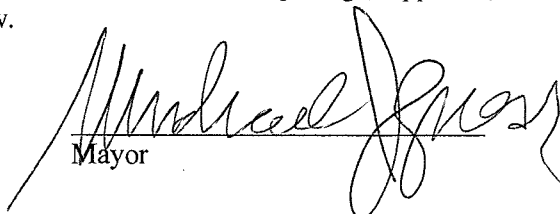
1. A variance is hereby granted from Section 62-286, street lighting, of the City Code to waive the requirement to construct a City street lighting system along Cross Street and Union Avenue as part of the required subdivision improvements.
2. The existing stormwater detention volume on the site shall be retained as part of the new development of the site.
3. The owner shall remove the gate system(s) from the public right-of-way used for closing Cross Street.
4. All defective or damaged public sidewalks fronting the subdivision along Cross Street, Union Avenue and Seminary Street shall be repaired as part of the required subdivision improvements.

Section 3: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, the following variations are granted for the existing house at 203 East Seminary Avenue: A variation to Article 10.2.5 of the Wheaton Zoning Ordinance to allow a front yard setback for the existing house of 27.96 feet in lieu of the required 30.0 feet; a variation to Article 3.4A.5d of the Wheaton Zoning Ordinance to allow a corner side yard setback for the existing house of 13.75 feet in lieu of the required 20.0 feet; a variation to Article 3.4A.5d of the Wheaton Zoning Ordinance to allow a corner side yard

setback for the existing detached garage of 11.89 feet in lieu of the required 20.0 feet; and a variation request is to Article 3.4A.8a of the Wheaton Zoning Ordinance to allow an interior side yard setback for the existing shed of 2.0 feet in lieu of the required 3.0 feet.

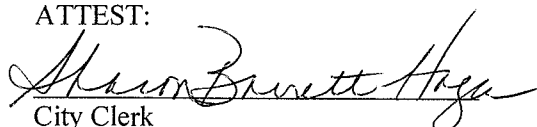
Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote

Ayes: Councilman Prendiville
Mayor Gresk
Councilman Rutledge
Councilman Scalzo
Councilwoman Corry

Nays: None

Absent: Councilman Mouhelis
Councilman Suess

Motion Carried Unanimously

Passed: April 18, 2011

Published: April 19, 2011

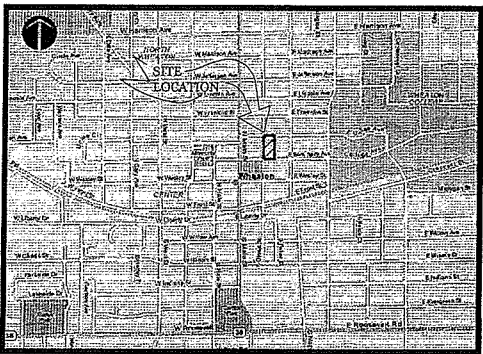
8th F-361

ST JOHN LUTHERAN SUBDIVISION WHEATON, IL 60187

LEGEND

EXISTING	
CURB & GUTTER	=====
WATER	— W —
ELECTRIC	— E —
GAS	— G —
SANITARY SEWER	— S —
STORM SEWER	— ST —
STORM MANHOLE	⊕
SANITARY MANHOLE	⊙
CATCH BASIN	⊖
INLET	⊠
VALVE VAULT	⊗
BUFFALO BOX	⊙
GAS VALVE	⊕
HYDRANT	⊖
CONTOUR	--- XXX ---
FLOW	→
CONCRETE MONUMENT	■
ELECTRIC TRANSFORMER	⊠
ELECTRIC METER	⊕
WELL	+
FLAGGED END SECTION	⊕
FLAG POLE	P
GUY WIRE	— X —
LIGHT POLE	⊕
STREET LIGHT	⊕
PARKING SPACE COUNT	⊕
MAIL BOX	⊕
POST	⊕
POWER POLE	⊕
SIGN	⊕
TREE DECIDUOUS	⊕
TREE CONIFER	⊕
GAS METER	⊕
CULVERT	===

PROPOSED	
CURB & GUTTER	=====
WATER	— W —
ELECTRIC	— E —
GAS	— G —
SANITARY SEWER	— S —
STORM SEWER	— ST —
MANHOLE	⊕
ELEVATION	+ XXXX
CATCH BASIN	⊖
CONTOUR	--- XXX ---
INLET	⊠
FLOW	→
VALVE VAULT	⊗
VALVE & BOX	⊙
BUFFALO BOX	⊙
GAS VALVE	⊕
HYDRANT	⊖
HANDICAPPED RAMP	⊕
ADJUST STRUCTURE	⊕

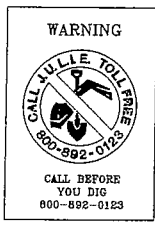


SITE LOCATION MAP (N.T.S.)

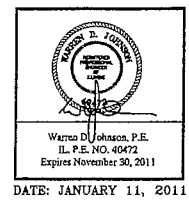
PREPARED FOR:
ST JOHN LUTHERAN CHURCH
 125 EAST SEMINARY AVENUE
 WHEATON, IL 60187
 (630) 668-0701

INDEX TO DRAWINGS

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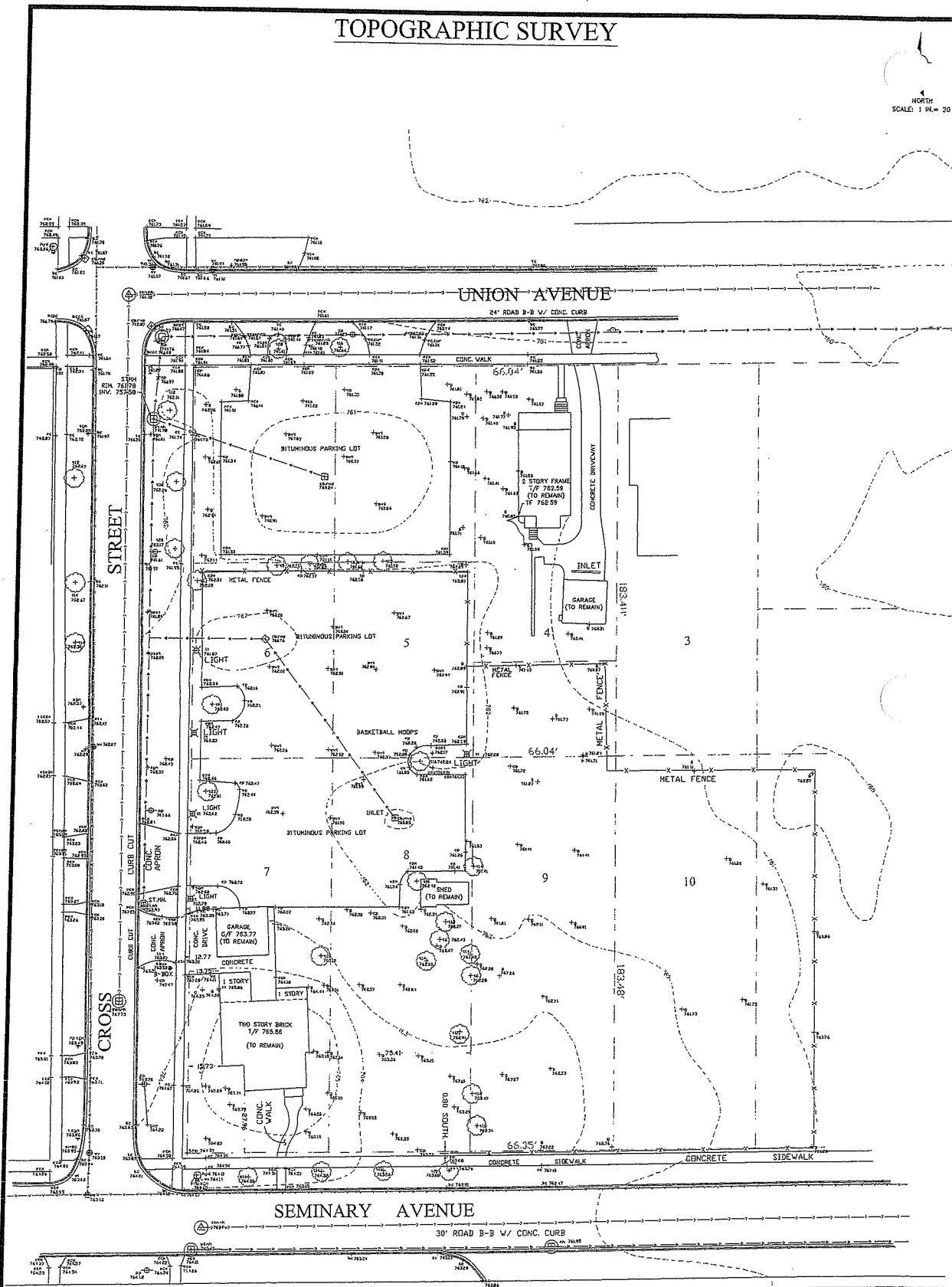


ENGINEER:
DJA CIVIL ENGINEERS & SURVEYORS
 DAVE JOHNSON and ASSOCIATES, Ltd.
 312 S. Hale Street Wheaton, IL 60187
 ph. 630 752 8600 fax. 630 752 9556



TOPOGRAPHIC SURVEY

NORTH
SCALE: 1 IN. = 20 F



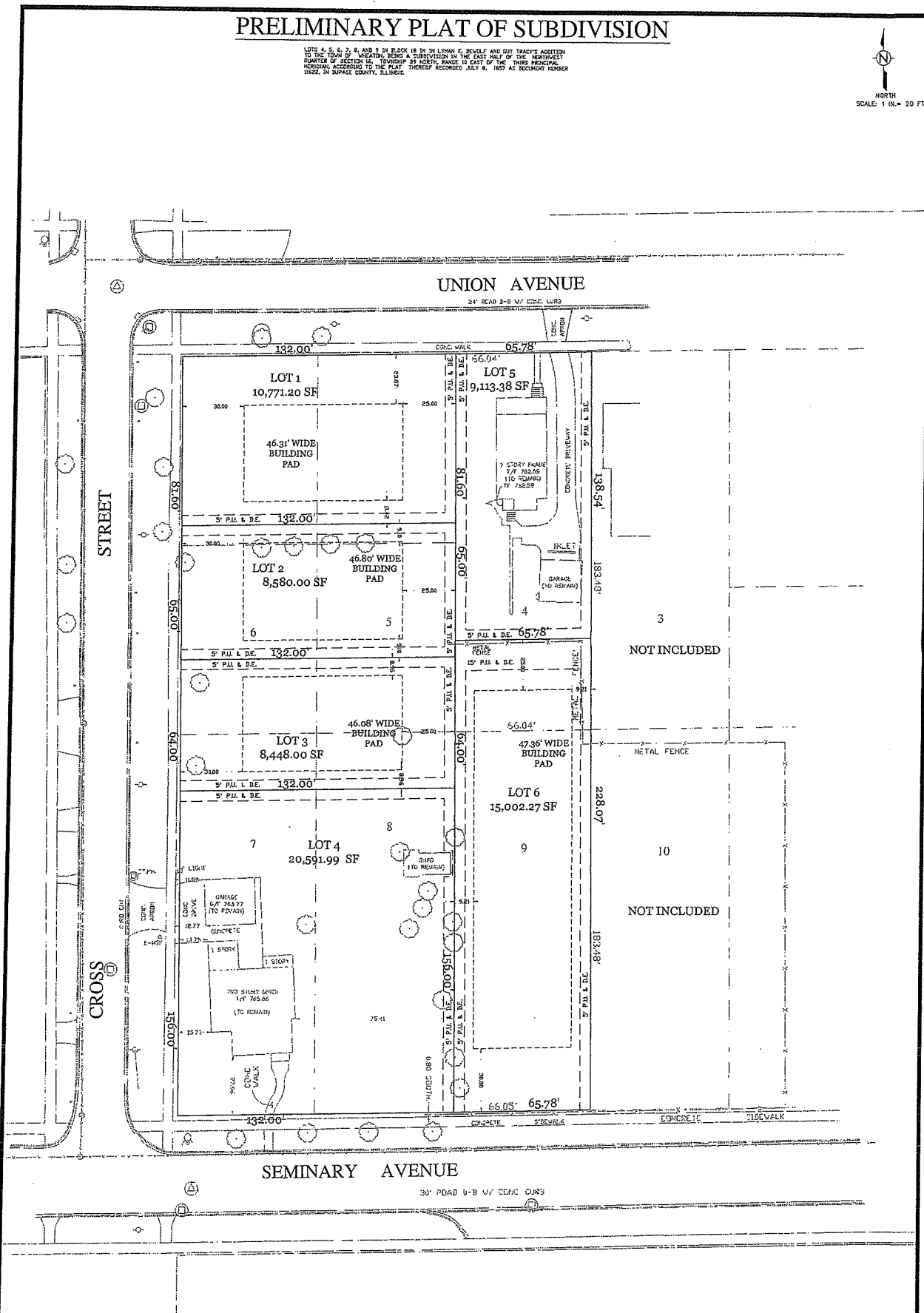
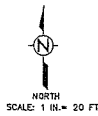
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SHEET 2 OF 6

DJA CIVIL ENGINEERS & SURVEYORS
1114 AVENUE OF THE ARTS, SUITE 100
DALLAS, TEXAS 75241
PH: 972.721.8500 FAX: 972.721.8555
WWW.DJASURVEYING.COM

Ex 1 F-1561

PRELIMINARY PLAT OF SUBDIVISION

LOTS 4, 5, 6, 7, 8 AND 9 IN BLOCK 18 IN THE LYNN C. BEVELL AND SON TRACT ADJOINING TO THE TOWN OF WEAVER, BEING A SUBDIVISION IN THE EAST HALF OF THE NEARLY EAST QUARTER OF SECTION 14, TOWNSHIP 33 NORTH, RANGE 12 EAST OF THE THIRD MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 6, 1957 AS DOCUMENT NUMBER 1162, IN SUFFOLK COUNTY, ILLINOIS.

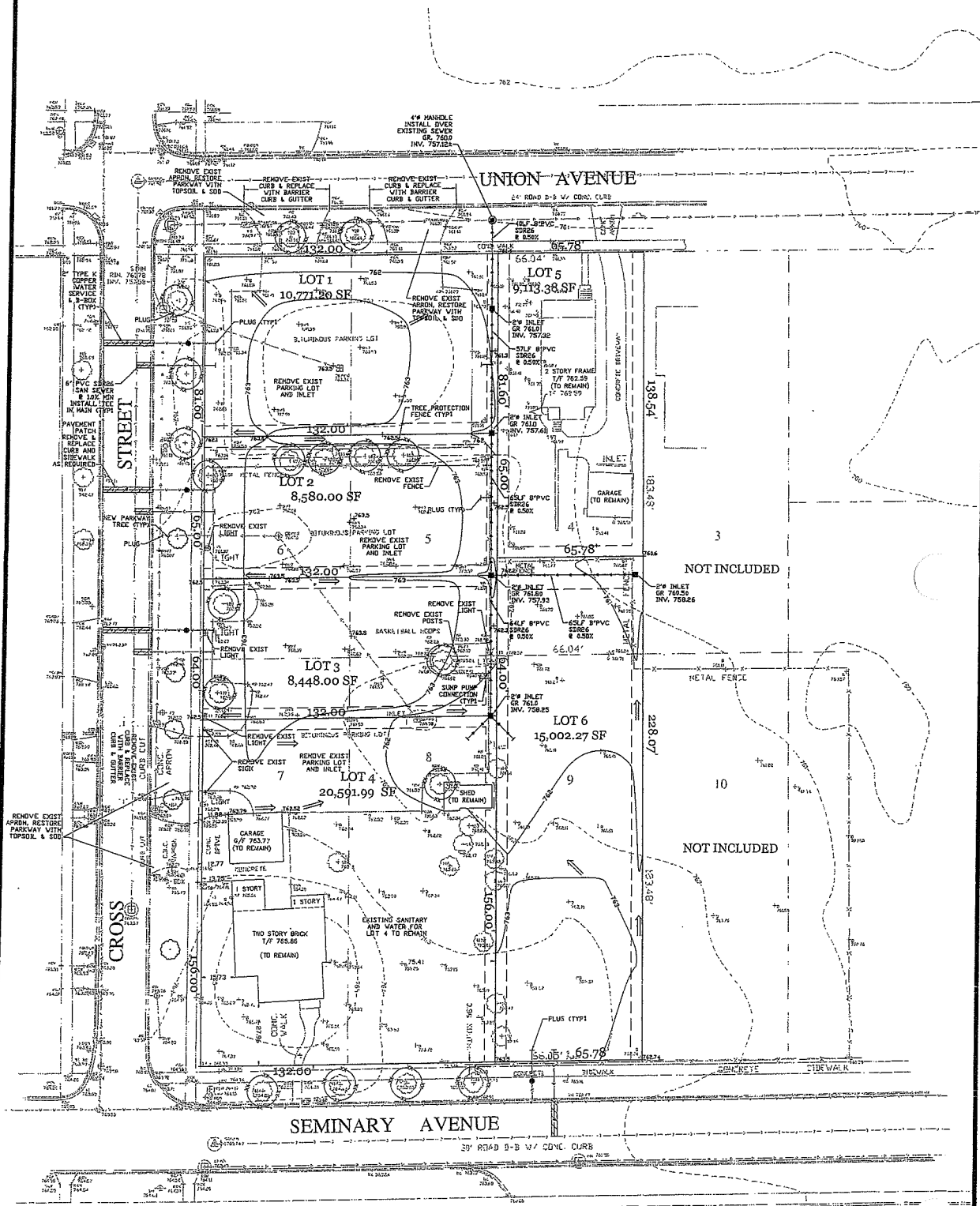


ORDER NO.: 2953
SHEET 3 OF 6

DJA **ENGINEERS & SURVEYORS**
D.J. Johnson and Associates, L.P.
P.O. Box 200
Windsor, Illinois 61890
PH: 618/727-8600 FAX: 618/727-1858

SUBDIVISION IMPROVEMENT PLAN

NORTH
SCALE: 1 IN. = 20 FT.

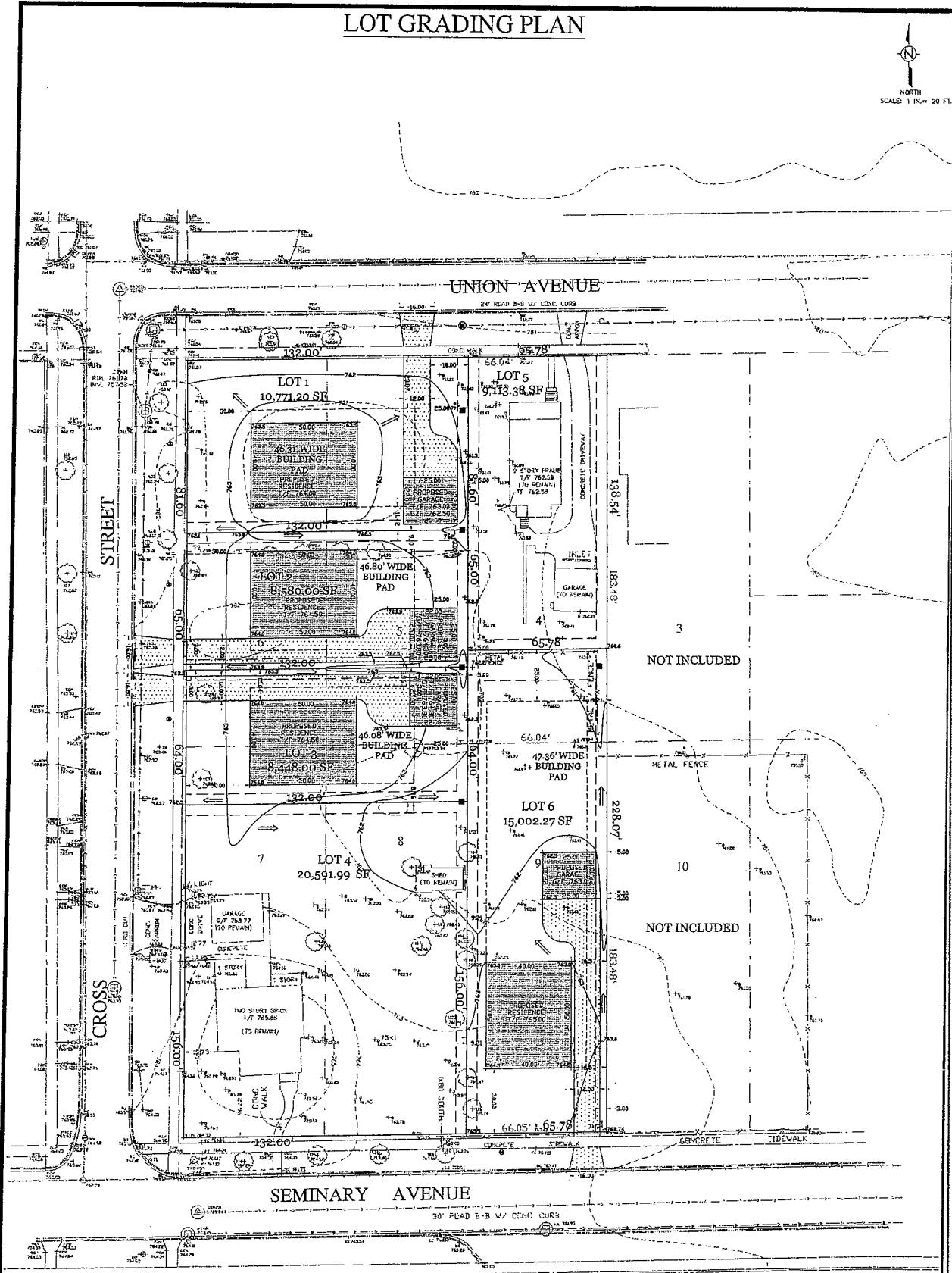
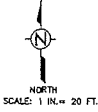


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DJA CIVIL ENGINEERS & SURVEYORS
INC. 2000 W. 100th St., Suite 100
Minnetonka, MN 55345
Ph: 952-722-8500 Fax: 952-722-8555

Sub P-1901

LOT GRADING PLAN



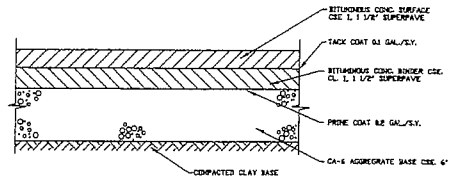
ORDER NO.: 2953
SHEET 5 OF 6

DJA CIVIL ENGINEERS & SURVEYORS
 1015 N. 10th Street
 Suite 200, Lincoln, NE 68502
 Phone: (402) 441-1111 Fax: (402) 441-1112

GENERAL NOTES AND DETAILS

EXISTING GRADE	+ XXX.XX
EXISTING CONTOUR	--- XXX ---
PROPOSED GRADE	XXX.XX
PROPOSED CONTOUR	--- XXX ---
DRAINAGE FLOW	→
SILT FENCE	--- XX --- XX ---
DOWN SPOUT	o
DECORATIVE STONE	DES

- 1 Portable Toilet
- 2 Refuse Dumpster
- 3 Construction Material Storage



BITUMINOUS DRIVEWAY DETAIL
N.T.S.

EROSION CONTROL PLAN

SEDIMENT AND EROSION CONTROL DEVICES SHALL BE FUNCTIONAL BEFORE LAND IS OTHERWISE DISTURBED ON THIS SITE.

THE SURFACE OF STRIPPED AREAS SHALL BE PERMANENTLY OR TEMPORARILY PROTECTED FROM SOIL EROSION WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED. STRIPPED AREAS NOT AT FINAL GRADE THAT WILL REMAIN UNDISTURBED FOR MORE THAN 15 DAYS AFTER INITIAL DISTURBANCE SHALL BE PROTECTED FROM EROSION.

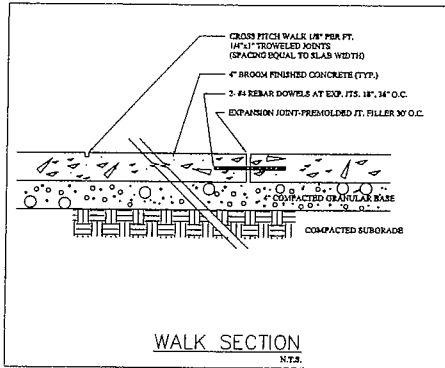
IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 15 DAYS, THEN SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PROVIDED FOR SAID STOCKPILE.

STORM SEWER ORLETS SHALL BE PROTECTED WITH SEDIMENT TRAPPING OR FILTER DEVICES DURING CONSTRUCTION. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED.

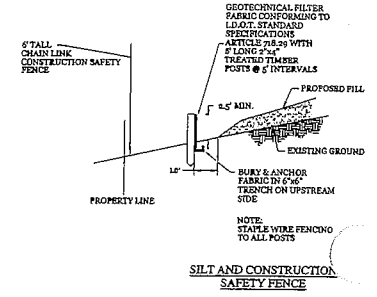
ANY SOIL AND/OR DEBRIS WASHED, TRACKED, OR DEPOSITED ONTO THE STREET SHALL BE REMOVED PRIOR TO THE END OF EACH WORK DAY. VEHICULAR ACCESS TO THE SITE SHALL BE RESTRICTED TO A GRAVEL DRIVE, SAID GRAVEL DRIVE SHALL BE INSTALLED BEFORE ANY CONSTRUCTION BEGINS ABOVE THE TOP OF FOUNDATION.

GENERAL NOTES

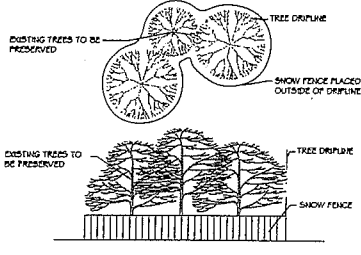
- PROVIDE PROTECTIVE FENCING AROUND ALL PARKWAY TREES. PROTECTIVE FENCING SHALL BE DOWN PILES INSTALLED UNDER THE CRIP LINE OF EACH TREE. THERE SHALL BE NO CONSTRUCTION MATERIALS, DEBRIS, OR EQUIPMENT STORED WITHIN THE LIMITS OF THE FENCING. THE PROTECTIVE FENCING SHALL BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- RESTORE ALL OPEN-CUT PORTIONS OF THE STREET IN-KIND WITH THE EXISTING MATERIALS. NEW CURBS SHALL BE DOWELED INTO THE EXISTING CURBS.
- RESTORE ALL EXCAVATED PORTIONS OF THE PARKWAY TO THE CITY OF WHEATON STANDARDS AND SPECIFICATIONS.
- GRADE THE SLOPE ON A P.C. OR METAL DECK IF IT FALLS WITHIN THE LIMITS OF A CONCRETE WALK OR DRIVEWAY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WHEATON STANDARDS AND SPECIFICATIONS.
- UTILITY WORK SHALL CONFORM WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS, "CURRENT EDITION".
- ALL DEFECTIVE OR DAMAGED SIDEWALK MUST BE REMOVED AND REPLACED PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
- EROSION CONTROL SILT FENCE MUST BE INSTALLED PRIOR TO ANY WORK ON SITE BEING PERFORMED ON SITE. MAINTAIN SILT FENCE UNTIL FINAL VEGETATION IS ESTABLISHED.
- CONSTRUCTION/BACKFILL OF THE OF THE BASEMENT SHALL BE COMPLETED WITHIN THE METHODOLOGY OUTLINED IN FEMA'S TECHNICAL BULLETIN 10-01, GEO-TECHNICAL INSPECTION AND REPORTS SHALL BE PROVIDED TO THE CITY OF WHEATON BUILDING DEPARTMENT AT THE TIME OF FINISH INSPECTION AND BACKFILL. MONOLITHIC WINDOW WELLS ARE RECOMMENDED.



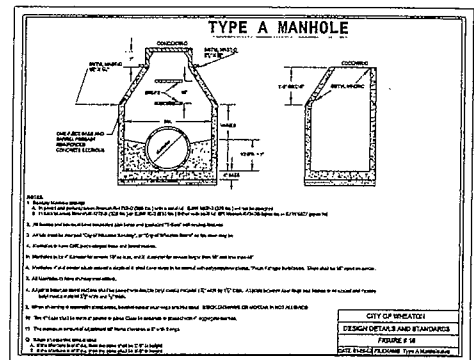
WALK SECTION
N.T.S.



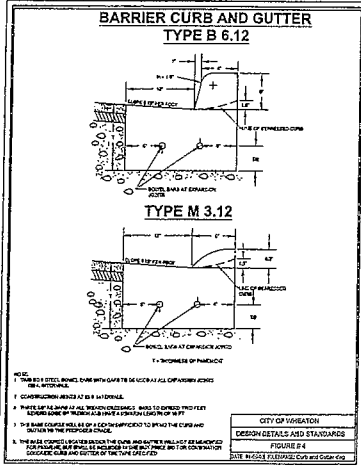
SILT AND CONSTRUCTION SAFETY FENCE



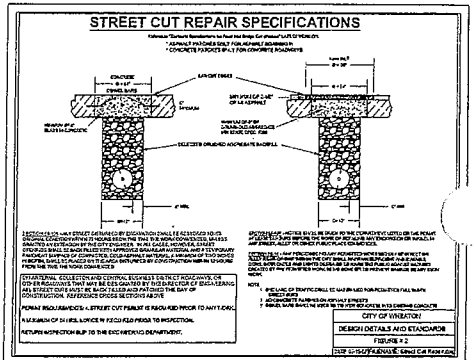
PROTECTIVE TREE FENCING



TYPE A MANHOLE



BARRIER CURB AND GUTTER
TYPE B 6.12
TYPE M 3.12



STREET CUT REPAIR SPECIFICATIONS

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SHEET 6 OF 6
DJA CIVIL ENGINEERS & SURVEYORS
201 E. High Street
Wheaton, Illinois 60187
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CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE 6-1
DATE: 10/15/2010 (REVISED CURB AND GUTTER)

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE 6-2
DATE: 10/15/2010 (REVISED CURB AND GUTTER)