

ORDINANCE NO. F-1508

AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING TWO PERIMETER LANDSCAPING SETBACK VARIATIONS FOR PROPERTY COMMONLY KNOWN AS 1621 AND 1703 EAST ROOSEVELT ROAD – SIDDIQUI

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure two perimeter landscaping setback variations in order to construct a 6,000 square foot medical office building, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 1621 and 1703 East Roosevelt Road ("Subject Property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on July 27, 2010 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the C-3 General Business District and the R-7 Residential District and adding the subject property in the O-R Office Research District Zoning classification:

LOT 12 AND 13 IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, IN THE SOUTH ½ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925, IN BLOCK 14 OF PLATS, PAGE 36, AS DOCUMENT NO. 202765, AND THE CERTIFICATE OF CORRECTION RECORDED OCTOBER 29, 1927 AS DOCUMENT NO. 245767 (EXCEPT THE SOUTH 5.0 FEET THEREOF TAKEN FOR HIGHWAY PURPOSES PER DOCUMENT NO. R88-024313), IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS.

LOT 14 (EXCEPT THE SOUTH 5 FEET TAKEN BY CONDEMNATION CASE 89ED14) IN BLOCK 21 IN ARTHUR T. MCINTOSH AND CO.'S LORRAINE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTH ½ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925 AS DOCUMENT NO. 202765, AND THE CERTIFICATE OF CORRECTION FILED OCTOBER 29, 1927 AS DOCUMENT NO. 245767 IN DUPAGE COUNTY, ILLINOIS.

05-15-327-036; -037; -038

The Subject Property is commonly known as 1621 and 1703 East Roosevelt Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, rezoning of the property and two variations to the Wheaton Zoning Ordinance for perimeter landscaping setbacks are hereby granted, in full compliance with the following plans: "Site Plan" and "Preliminary Engineering Plan", prepared by Webster, McGrath & Ahlberg, Wheaton, IL, dated June 11, 2010; "Elevations and Floor Plans" and "Landscape Plan", prepared by Suber F. Zummerwala &

Associates, Roselle, IL, dated June 11, 2010 and in further compliance with the following conditions, restrictions, and requirements:

1. The applicant shall provide a plan for the required screening of the AC units for staff approval.
2. The two crabapples trees shown on the Landscape Plan shall be replaced by another species of tree included on the City's permitted parkway tree list.
3. The six foot tall wood fence shown on the Landscape Plan shall be a solid board-on-board fence.
4. Prior to issuance of a certificate of occupancy, the applicant shall submit a report to the City outlining what environmentally friendly practices were incorporated into the construction of the project.
5. The proposed monument and wall signs shall be revised to comply with Article 23 of the Wheaton Zoning Ordinance.
6. The applicant shall submit a plat of consolidation of the Subject Property prior to issuance of a stormwater management permit for the construction of the building. The plat shall indicate a stormwater management easement over the stormwater detention areas.
7. The applicant shall secure a permit from the Illinois Department of Transportation for the construction of improvements located within the right-of-way of Roosevelt Road, including the connection to the storm sewer.
8. The Site Plan shall include parking lot lighting in accordance with the City Zoning Ordinance parking standards.
9. The applicant shall provide color samples of the exterior building materials for staff approval.
10. The applicant shall donate the cost of public sidewalk construction to the City in lieu of constructing public sidewalk along Roosevelt Road.

Section 3: The owner of the Subject Property shall maintain all landscaping and plantings on the Subject Property so that the number, quality, and character of the landscaping shall not be less than that which is illustrated on the Landscape Plan. In the event any landscaping, plantings, or vegetation on the subject property dies, in whole or in part, at any time, the owner shall, forthwith, replace the non-viable landscape vegetation

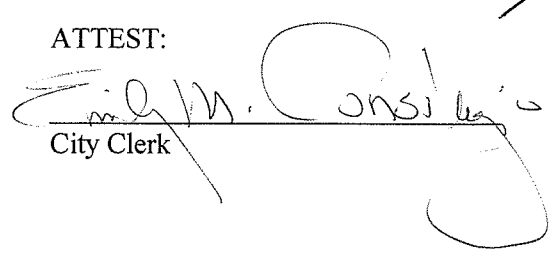
Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilman Suess
Councilwoman Corry
Councilman Mouhelis
Mayor Gresk
Councilman Prendiville
Councilman Scalzo

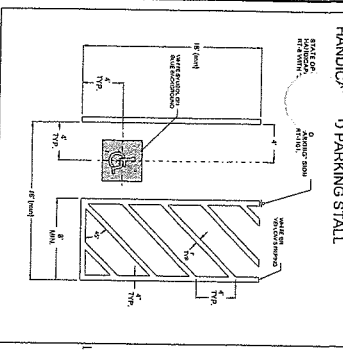
Nays: None

Absent: Councilman Levine

Motion Carried Unanimously

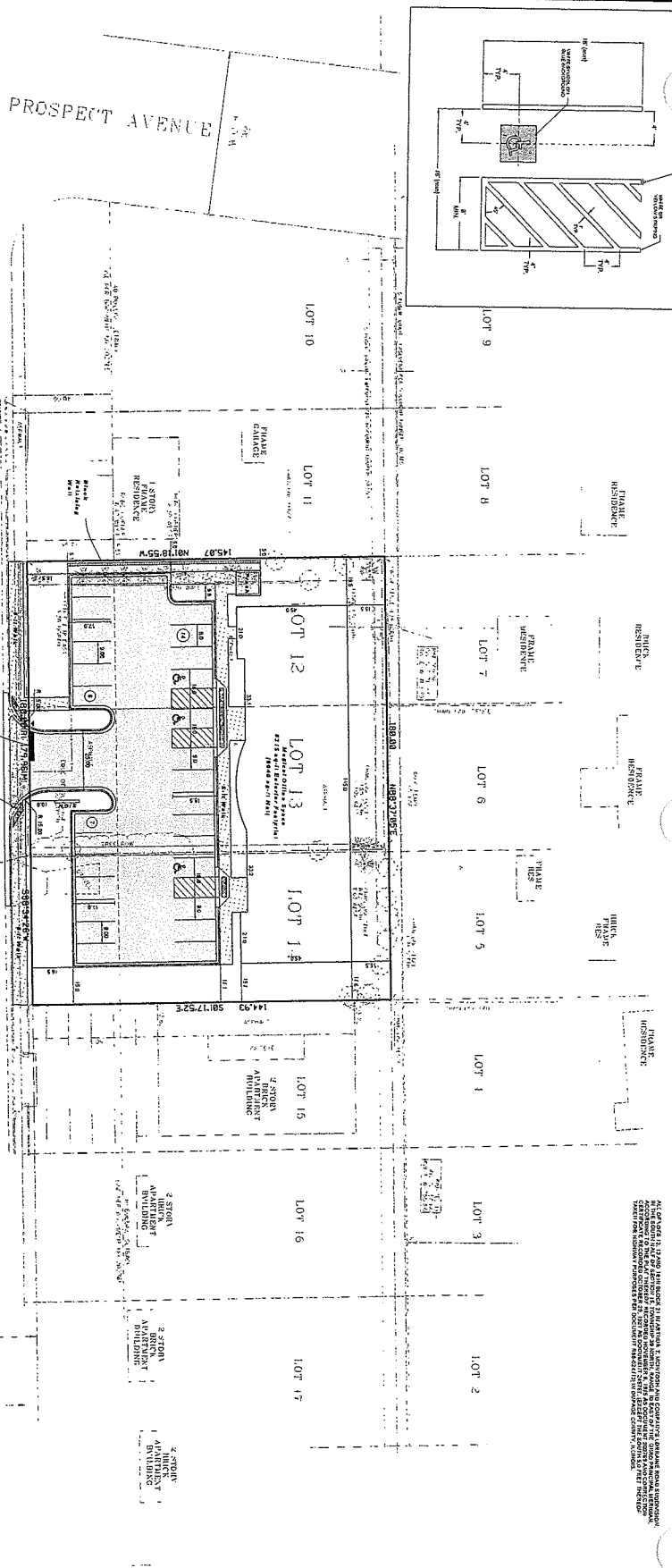
Passed: September 7, 2010
Published: September 8, 2010

HANDICAPPED PARKING STALL



SITE PLAN

NOT TO SCALE. THIS PLAN IS A GENERAL ILLUSTRATION OF THE PROPOSED DEVELOPMENT. THE EXACT LOCATION AND DIMENSIONS OF THE PROPOSED DEVELOPMENT SHALL BE DETERMINED BY THE SURVEYOR'S FIELD NOTES AND THE SURVEYOR'S FIELD BOOK. THE SURVEYOR'S FIELD BOOK IS THE AUTHORITY FOR THE LOCATION AND DIMENSIONS OF THE PROPOSED DEVELOPMENT.

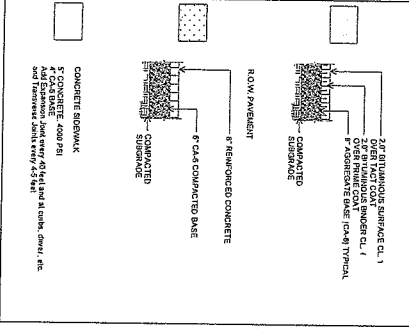


PROSPECT AVENUE

ROOSEVELT ROAD



PAVEMENT SECTIONS



PARKING TABLE

NOTE: DIMENSIONS ARE TO PARTS OF CURB UNLESS NOTED OTHERWISE.

TYPE	NO.	AREA (SQ. FT.)	PERCENT	TOTAL
Handicapped	2	144.00	2.00	2
Other	15	1260.00	18.00	15
Total	17	1404.00	20.00	17

WERSTER, McGRATH & AHLBERG, LTD.
LAND SURVEYING - CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE

WMA
387 South Tipton Road, Winona, MN 55911
Tel: 507-535-1500 Fax: 507-535-1508
E-mail: WMA@werster.com

RMA BUILDERS
6325 56th Court
Chaska, MN 55318
612-835-1728

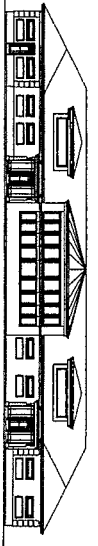
1621 & 1703 EAST ROOSEVELT ROAD

Prepared For:
RMA BUILDERS

SITE PLAN

DATE: 1 OF 1

NOTICE: This set of drawings for a custom designed STRUCTURE is the copyrighted INTELLECTUAL property of SUBER F ZUMMERWALA & ASSOCIATES, ARCHITECTS. These drawings are not to be reproduced by anyone by any method, including blueprinting, scanning, tracing, photography, electronic, retreating, or by other means without written consent of THE ARCHITECT. They may not be knowingly furnished to others for ANY OTHER BUILDING FROM THESE PLANS.

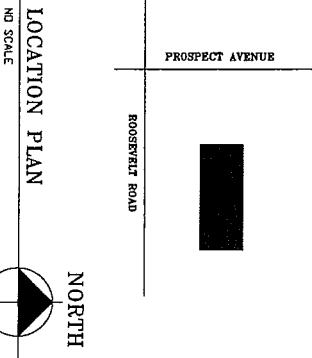


Women's & Children's Clinic (by Women MDs)

1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

DRAWING INDEX

NO.	DESCRIPTION
1	TITLE SHET, LOCATION PLAN
2	BUILDING ELEVATIONS
3	FLOOR PLAN
4	SIGN DETAILS

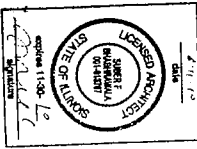


Suber F. Zimmerwala & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite # 202
Roselle, IL 60017-2
PH 630.351.1593

**PRELIMINARY -
NOT FOR CONSTRUCTION**

PROJECT DATA

USE AND OCCUPANCY CLASS: BUSINESS GROUP 3
PROPOSED BUILDING FLOOR AREA: 4215 SF
CONSTRUCTION TYPE: IIB
NUMBER OF FLOORS: 1
TOTAL BUILDING HEIGHT: 24 FT.
BUILDING CODE: SMA
CODES APPLIED:
2003 INTERNATIONAL BUILDING CODE
2003 INTERNATIONAL FIRE AND SAFETY CODE
2003 INTERNATIONAL MECHANICAL CODE
2003 INTERNATIONAL PLUMBING AND MECHANICAL CODE
2003 INTERNATIONAL ENERGY CONSERVATION CODE
1997 ACCESSIBILITY CODE
ALL CODES WITH CITY OF WHEATON AMENDMENTS
FIRE PROTECTION:
EXITING MARKING VAULTS: 2 HR
FIRE STOPPING MARKING VAULTS: 2 HR
FIRE STOPPING MARKING VAULTS: 2 HR
CEILING/ROOF CONSTRUCTION: 2 HR
PARTICLE BOARD PROTECTION IN RATED ASSEMBLIES: 5/8" AS RATED ASSEMBLIES

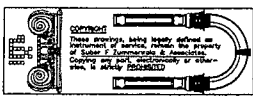


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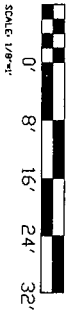
NO.	REVISION	DATE

Women's & Children's Clinic
(by Women MDs)
1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

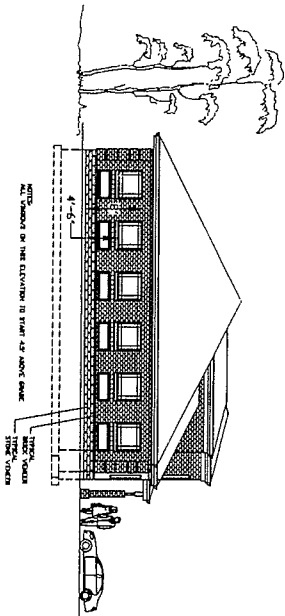
Suber F. Zimmerwala & Associates
ARCHITECTS & PLANNERS
333 W. Irving Park Road, Suite # 202
Roselle, IL 60017-2
PH 630.351.1593
DESIGN FIRM L.L.C. NO. 184-96-4407



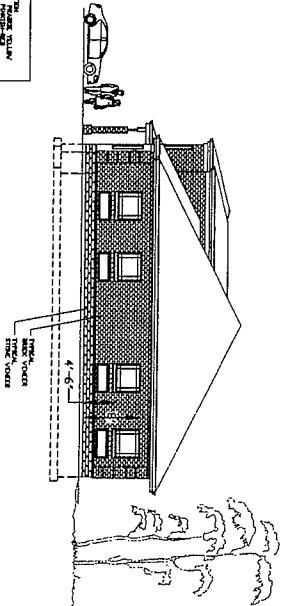
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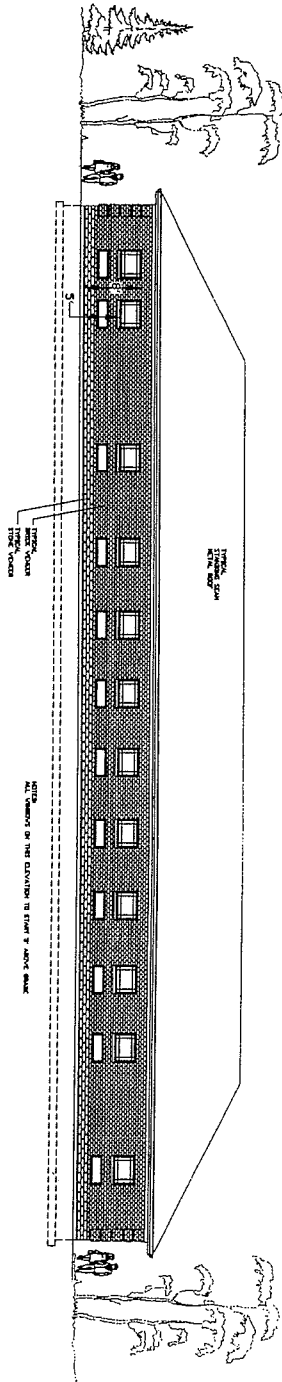
LEFT SIDE ELEVATION



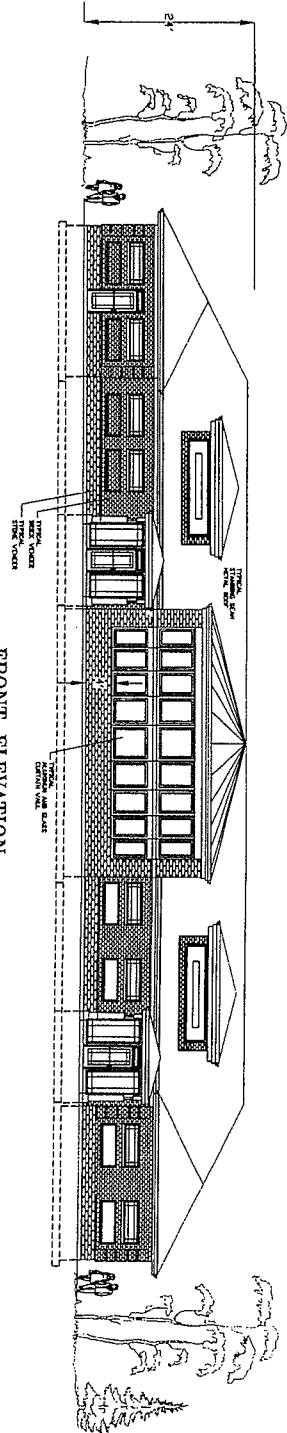
RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



PRELIMINARY-
NOT FOR CONSTRUCTION

EXISTING MATERIALS: EXTERIOR: BRICK, INTERIOR: GYP. PLASTER, FLOORING: CARPET, CEILING: POP, LIGHTING: RECESSED, CASEWORK: WOOD, SINKS: ENAMEL, TUBS: ENAMEL, STAIRS: WOOD, DOORS: WOOD, WINDOWS: ALUMINUM, GLASS

2

NO.	REVISION	DATE

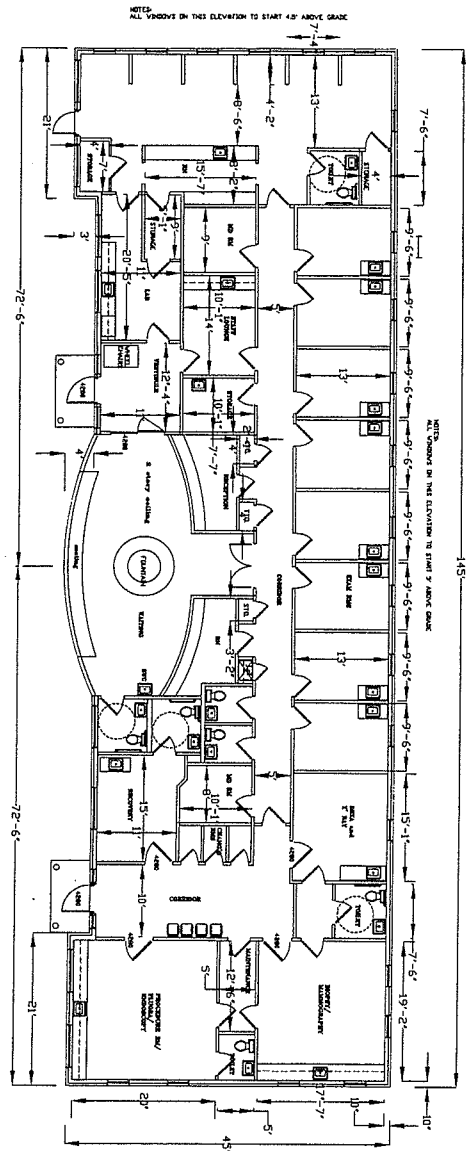
NO.	REVISION	DATE

Women's & Children's Clinic
(by Women MDs)
1621 E. ROOSEVELT ROAD
WHEATON, ILLINOIS

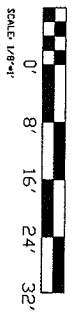
Suber F Zimmerwala & Associates
ARCHITECTS & PLANNERS
333 W. FULTON PARK ROAD, SUITE # 200
ROOSEVELT, ILL. 60172
PH: 630.351.1593
DESIGN: F150, L.L.C. NO. 184204-1087

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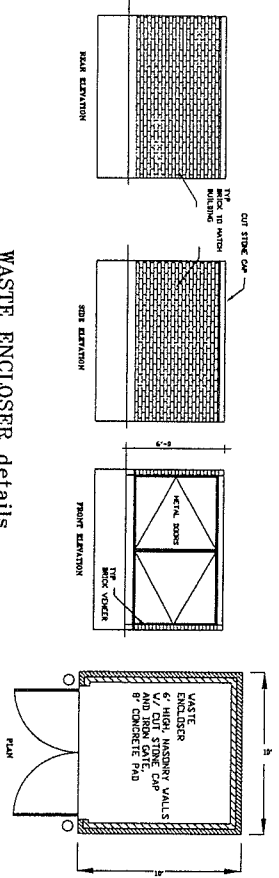


FLOOR PLAN



DO NOT SCALE - VERIFY DATA BY
 FIELD SURVEYING
 ALL DIMENSIONS SHOWN ARE TO BE EXACTLY AS SHOWN UNLESS OTHERWISE NOTED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED

WASTE ENCLOSER details



PRELIMINARY -
 NOT FOR CONSTRUCTION

	3	6/11/70	SZ	MK	10238
	3	6/11/70	SZ	MK	10238

REVISION	DATE

Women's & Children's Clinic
 (by Women MDs)
 1621 E. ROOSEVELT ROAD
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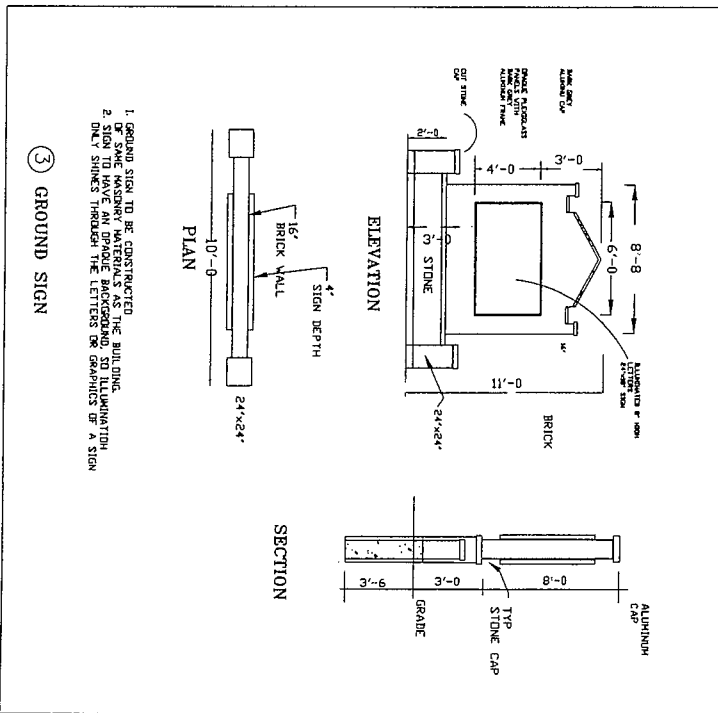
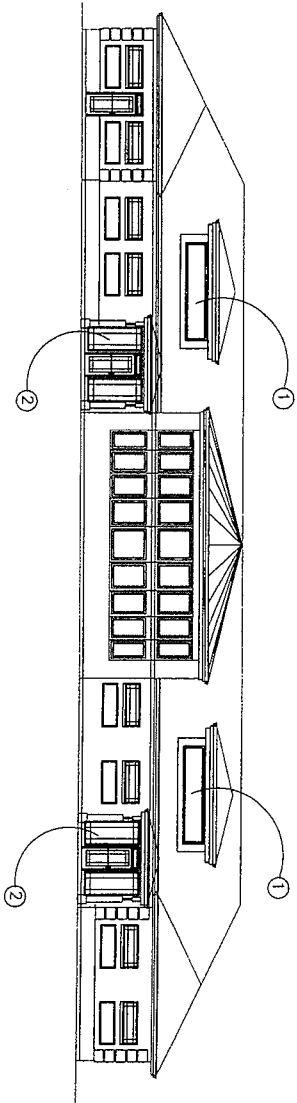
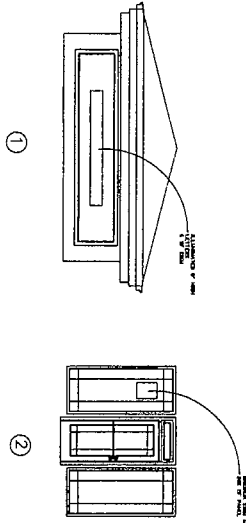
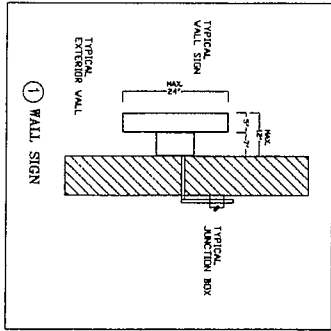
Suber F Zimmerwala & Associates
 ARCHITECTS & PLANNERS
 333 W. Irving Park Road, Suite # 202
 ROSELLE, ILL. 60172
 TEL: 430-361-1193
 DECISION FIRM LIC. NO. 184,004,467

Contract
 These drawings, being hereby defined as
 final, shall be the property of
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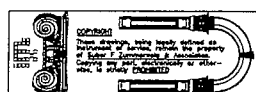
ALL EXTERIOR SIGNS SHALL BE IN
STEEL FRAMEWORK WITH SIGN LETTERS
MOUNTED TO WALLS FOR
SUPPORT AND PROTECT.



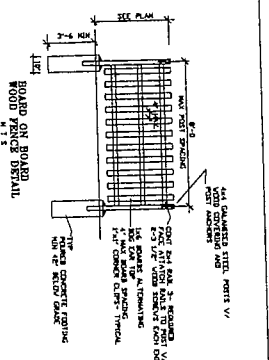
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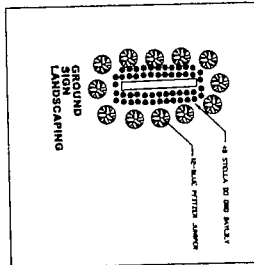
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333 W. Irving Park Road, Suite # 202
R O A D I L L I N O I S
773 630.351.1593
DESIGN FIRM LLC MD 184-00-4407



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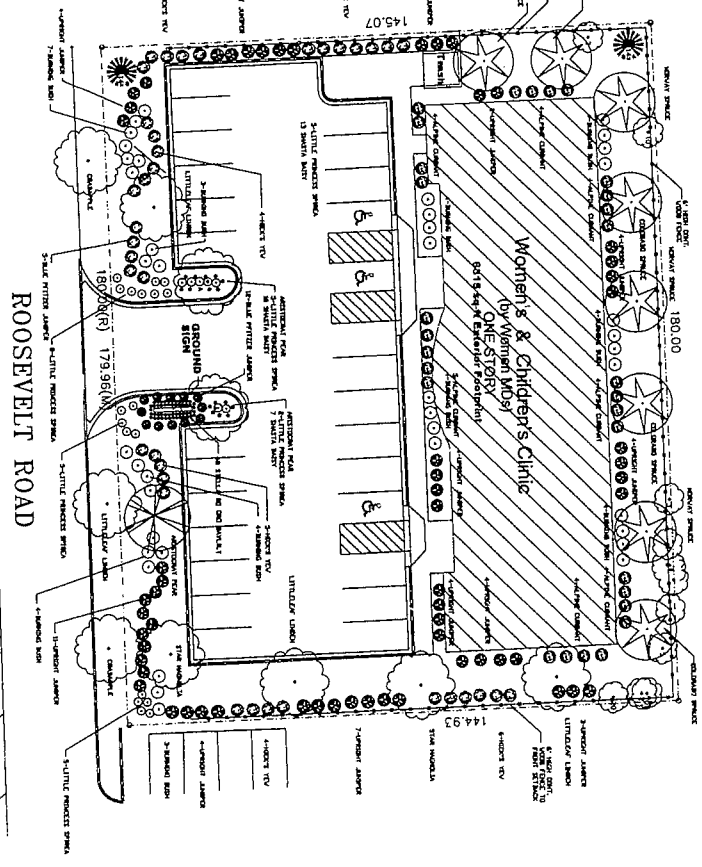
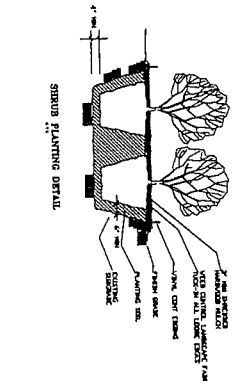
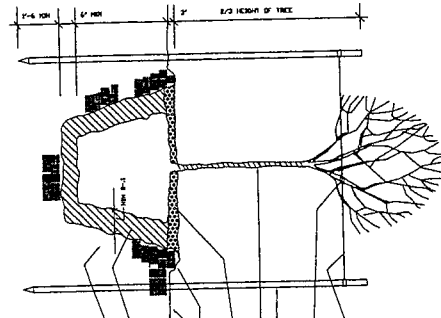


WOOD FENCE DETAIL
 1. ALL PLANTS, GRASS, CONCRETE CURB AND TIE SHALL BE ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.
 2. ALL PLANTING MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.
 3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.
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PLANT SCHEDULE

SYMBOL	PLANT NAME	QUANTITY	NOTES
(Symbol)	1. ALL PLANTS, GRASS, CONCRETE CURB AND TIE SHALL BE ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.		
(Symbol)	2. ALL PLANTING MATERIALS SHALL BE SUPPLIED BY THE CONTRACTOR WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.		
(Symbol)	3. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.		
(Symbol)	4. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.		
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(Symbol)	10. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CITY OF WHEATON ENGINEERING DEPARTMENT PLANNING STANDARDS.		



PROPERTY LINE
 WOOD FENCE

ALL OF LOTS 13, 14 AND 15 IN BLOCK 2 IN THE ARTHUR T. MONTGOMERY AND COMPANY'S LOHRBANE ROAD SUBDIVISION, IN THE SOUTH HALF OF SECTION 16, TOWNSHIP 23 NORTH, RANGE 10 EAST OF THE THIRD MERIDIAN, DEKALB COUNTY, ILLINOIS, IS HEREBY SET ASIDE AS A PUBLIC OPEN SPACE AND LANDSCAPE ARCHITECTURE SITE. THE SETBACKS FROM THE ADJACENT LOTS ARE AS FOLLOWS: 15 FEET FROM THE WEST AND SOUTH SIDES, 10 FEET FROM THE EAST SIDE, AND 5 FEET FROM THE NORTH SIDE. THE SETBACKS FROM THE ADJACENT LOTS ARE AS FOLLOWS: 15 FEET FROM THE WEST AND SOUTH SIDES, 10 FEET FROM THE EAST SIDE, AND 5 FEET FROM THE NORTH SIDE. THE SETBACKS FROM THE ADJACENT LOTS ARE AS FOLLOWS: 15 FEET FROM THE WEST AND SOUTH SIDES, 10 FEET FROM THE EAST SIDE, AND 5 FEET FROM THE NORTH SIDE.

6/21/17
 Licensed Architect
 SUBER F ZUMMERWALA
 ARCHITECTS
 STATE OF ILLINOIS
 No. 11-50
 4/1/10

REVISION DATE
 1. 4/1/10

Women's & Children's Clinic
 (by Women MDs)
 1821 E. ROOSEVELT ROAD
 WHEATON, ILLINOIS

Suber F Zimmerwala & Associates
 ARCHITECTS & PLANNERS
 332 N. State Park Road, Suite 202
 Wheaton, IL 60187
 Phone: 630.251.1263
 Fax: 630.251.1263
 Website: www.sffz.com

Professional Engineer
 State of Illinois
 No. 11-50
 4/1/10