

ORDINANCE NO. F-1456

AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING SIX PERIMETER LANDSCAPING SETBACK VARIATIONS FOR PROPERTY COMMONLY KNOWN AS 411 EAST ROOSEVELT ROAD - WARDEN

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure six perimeter landscaping setback variations in order to renovate and expand the existing structure to slightly less than 5,000 square feet and construct a new 29 stall parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 411 East Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on August 25, 2009, September 9, 2009 and October 27, 2009 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following-described property from the R-4 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

PARCEL 1: LOT 12 IN BLOCK 4 IN LINCOLN HIGHWAY SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 21, 1921 AS DOCUMENT 146122, IN DUPAGE COUNTY, (EXCEPT THE SOUTHERLY PORTION OF LOT 12 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 12 AND PROCEEDING NORTH A DISTANCE OF 20 FEET ALONG THE WEST LINE; THENCE PROCEEDING EASTERLY TO A POINT ON THE EAST LINE AND LOCATED 16 FEET NORTH OF THE SOUTHEAST CORNER; THENCE SOUTH A DISTANCE OF 16 FEET; THENCE WEST ALONG THE SOUTH LINE A DISTANCE OF 66 FEET TO THE POINT OF BEGINNING.

PARCEL 2: LOT 13 IN BLOCK 4 IN LINCOLN HIGHWAY SUBDIVISION OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 21, 1921 AS DOCUMENT 146122, IN DUPAGE COUNTY, (EXCEPT THE SOUTHERLY PORTION OF LOT 13 DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 13 AND PROCEEDING NORTH A DISTANCE OF 16 FEET ALONG THE WEST LINE; THENCE PROCEEDING EASTERLY TO A POINT ON THE EAST LINE AND LOCATED 12 FEET NORTH OF THE SOUTHEAST CORNER; THENCE SOUTH A DISTANCE OF 12 FEET; THENCE WEST ALONG THE SOUTH LINE A DISTANCE OF 66 FEET TO THE POINT OF BEGINNING.

P.I.N. 05-16-422-012; -013

The subject property is commonly known as 411 East Roosevelt Road, Wheaton, IL 60187.

Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, six variations to the Wheaton Zoning Ordinance for perimeter landscaping setbacks are hereby granted, in full compliance with the following plans: "Proposed Site Plan", prepared by Ashley Rearick Architects, Glen Ellyn, IL, dated October 6, 2009, "Civil Site Plans", sheets C1 - C10, prepared by Tech 1 Engineering, Aurora, IL, dated July 15, 2009 and revised October 6, 2009; "Proposed Elevations and Floor Plans", sheets 1-7, prepared by Ashley Rearick Architects, Glen Ellyn, IL, dated July 22, 2009 and "Landscaping Plan", dated July 22, 2009 and in further compliance with the following conditions, restrictions, and requirements:

1. The proposed fence along the north property line shall be an 8 foot tall solid vinyl fence and along the east property line shall be an 8 foot tall tapering to 6 foot tall solid vinyl fence ending at the building setback line for the property to the east;
2. Prior to issuance of a site development permit, the applicant shall submit a lighting plan for staff approval;
3. The applicant shall submit a plat of consolidation for the property including proper utility and stormwater management easements prior to the issuance of a building permit;
4. The engineering plans shall be revised to include a storm sewer drain for the on-site depressional area;
5. The applicant shall obtain a highway permit from the Illinois Department of Transportation (IDOT) for the proposed drive approach and public sidewalk work in the Roosevelt Road right-of-way;
6. The landscape plan shall be revised to replace the existing sugar maples with a different species of tree for staff approval;
7. Prior to site plan approval, the applicant shall submit a tree survey showing the location, size and species of all of the existing trees on the property with a trunk size of six (6) inches or greater;
8. The applicant shall stripe parking stall 12 for a turnaround area;
9. The applicant shall work with staff to enlarge the radius of the northeast corner of the landscaped island to at least a 15 foot radius;
10. The applicant shall reduce the length of all of the parking stalls to 16.5 feet with the extra space added to abutting landscape/ sidewalk areas; and
11. The applicant shall move the monument sign 5 feet to the west.

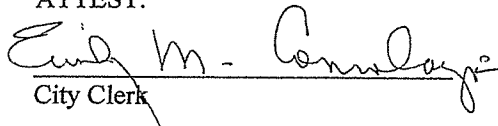
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

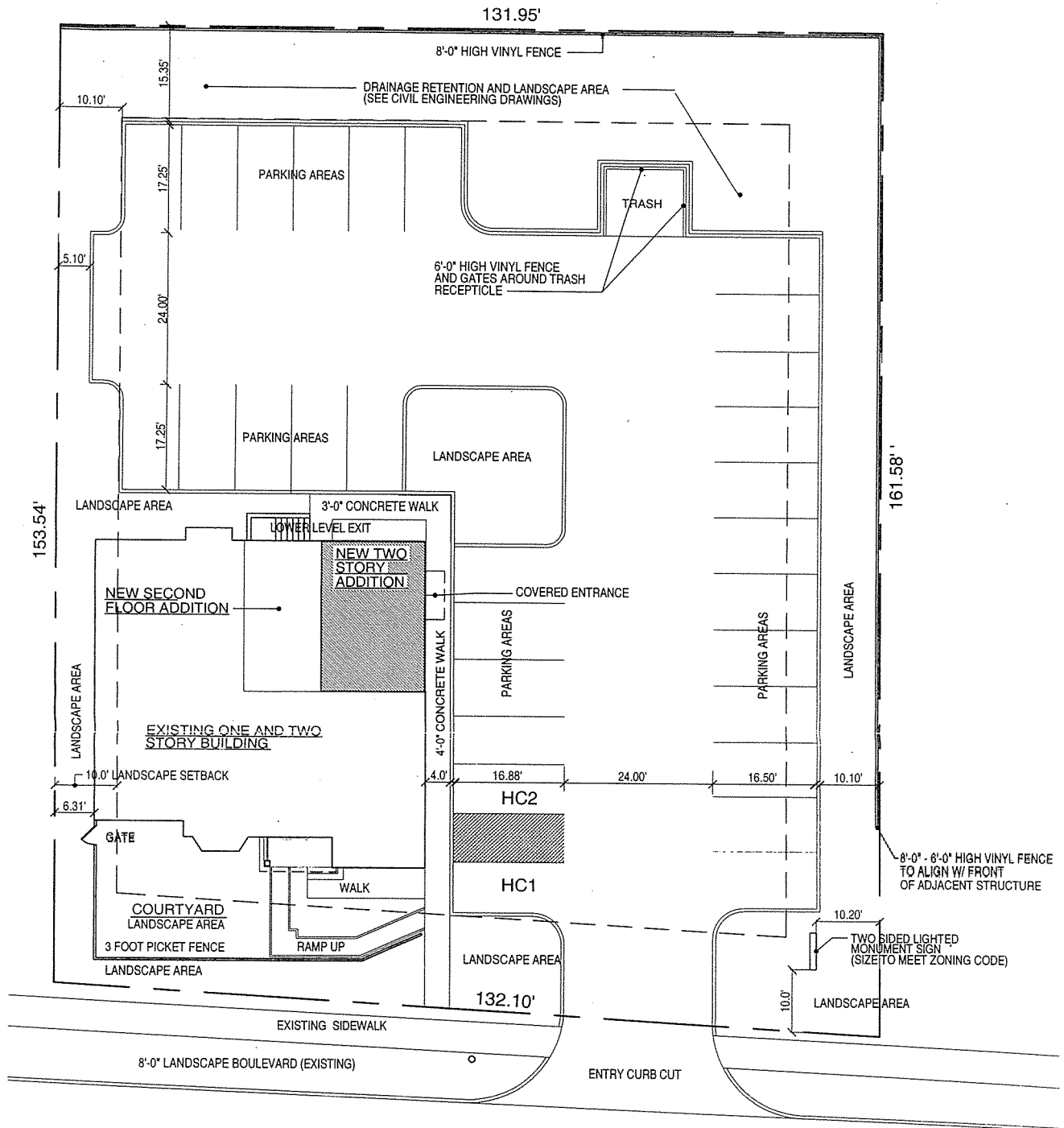
Ayes: Councilman Sues
Councilwoman Corry
Councilman Mouhelis
Mayor Gresk
Councilman Prendiville
Councilman Scalzo

Nays: Councilman Levine

Absent: None

Motion Carried

Passed: December 7, 2009
Published: December 8, 2009



ROOSEVELT ROAD

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"



OFFICE BUILDING ADVANCED HEALTH CARE

411 ROOSEVELT ROAD, WHEATON, IL 60187



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REVISED 10/6/09

CIVIL SITE PLANS FOR ADVANCED HEALTHCARE-PARKING LOT SITE IMPROVEMENTS

411 East Roosevelt Rd.
Wheaton, IL.

JURISDICTIONS

CITY OF WHEATON, ILLINOIS
DUPAGE COUNTY, IL.

CONTROL POINTS

SITE BENCHMARK
TOP OF HYDRANT APPROXIMATELY 60 FEET EAST OF
SOUTH EAST PROPERTY CORNER ON NORTH SIDE
OF ROOSEVELT RD. ELEV.=773.40

REFERENCE BENCHMARK - M21001
A BRONZE DISK MONUMENT ESTABLISHED IN CONCRETE
BASE OF LIGHT POLE STAMPED "DU PAGE COUNTY MAPS
AND PLATS" ON THE WEST SIDE OF PRESIDENT STREET
320 FEET SOUTH OF ROOSEVELT ROAD AT "T" INTER-
SECTION WITH TAFT AVENUE.
ELEVATION = 761.79 (NGVD 29)

ZONING

EXISTING: R4 (RESIDENTIAL)
PROPOSED: O-R (OFFICE-RESEARCH)

PREPARED FOR

Chris Warden

Advanced Healthcare
721 East Roosevelt Rd
Wheaton, Illinois, 60187
(630)920-2414

DESIGN ENGINEERS STATEMENT

TO THE BEST OF MY KNOWLEDGE ALL IMPROVEMENT PLANS AND SPECIFICATIONS
FOR THESE DRAWINGS ARE IN CONFORMANCE WITH THE STANDARDS OF THE CITY
OF WHEATON AND THE COUNTY OF DUPAGE, AND ARE IN ACCORDANCE WITH 5000
ENGINEERING PRINCIPLES.



Anthony V. Champagne
Registered Professional Engineer 62051303
Expires 11/20/09



A LOCATION MAP

INDEX TO SHEETS

- * COVER SHEET
- C-1 NOTES & SPECIFICATIONS
- C-2 EXISTING CONDITION SITE PLAN
- C-3 DEMOLITION PLAN
- C-4 SITE PLAN
- C-5 GRADING & DRAINAGE PLAN
- C-6 DETAILS 1
- C-7 DETAILS 2
- C-8 DETAILS 3
- C-9 DETAILS 4
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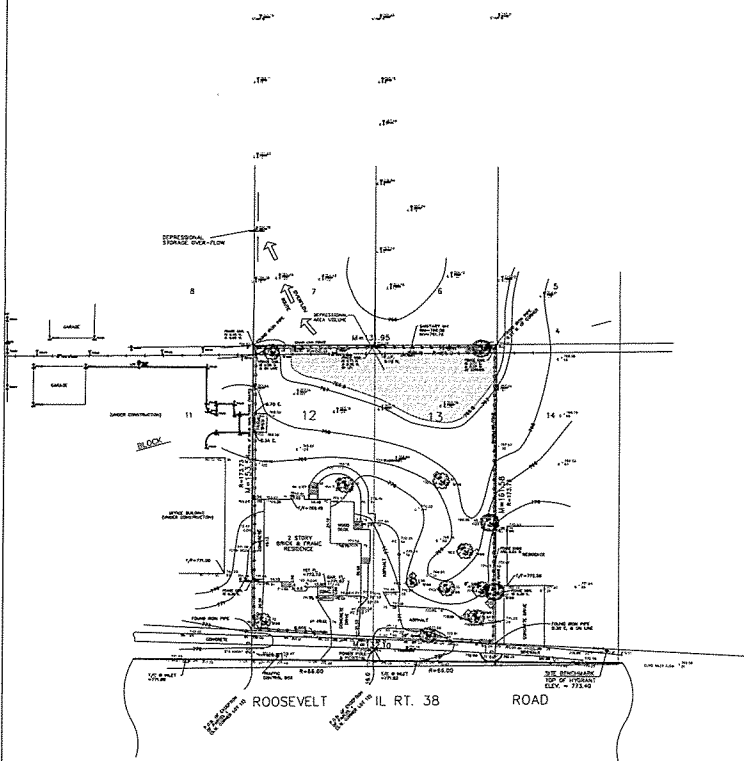
RE-ZONING SET: 10/06/09
~~RE-ZONING SET: 7/15/09~~



TECH 1 ENGINEERING RESOURCE LLC
2410 RED BUD LANE, AURORA, IL. 60502
(630)375-9020

Existing Depressional Area
Detention Volume

Volume Report
 Comparing GRID File: C:\Tech 1\Projects\Cadd\Steinbrecher\411 E. Roosevelt Rd\Carlson Data\Extg Depr Area Volgrd
 and GRID File: C:\Tech 1\Projects\Cadd\Steinbrecher\411 E. Roosevelt Rd\Carlson Data\BS HV.Lgrd
 Grid corner locations: 4911.97, 5181.97 to 5053.97, 5181.97
 Grid resolution X: 76, Y: 40 Grid cell size X: 2.00, Y: 2.00
 Warning: grid files do not match. Using resolution of First.
 Area in Cut: 281.8 SF, 0.01 Acres
 Area in Fill: 3223.3 SF, 0.07 Acres
 Total inclusion area: 3505.1 SF, 0.08 Acres
 Cut to Fill ratio: 0.01
 Average Cut Depth: 0.25 Average Fill Depth: 0.42
 Max Cut Depth: 0.12 Max Fill Depth: 1.12
 Cut (CY) / Area (acres): 6.23
 Fill (CY) / Area (acres): 128.49
 Cut volume = 13.5 CF = 0.50 CY
 Fill volume = 1,365.4 CF = 50.37 CY



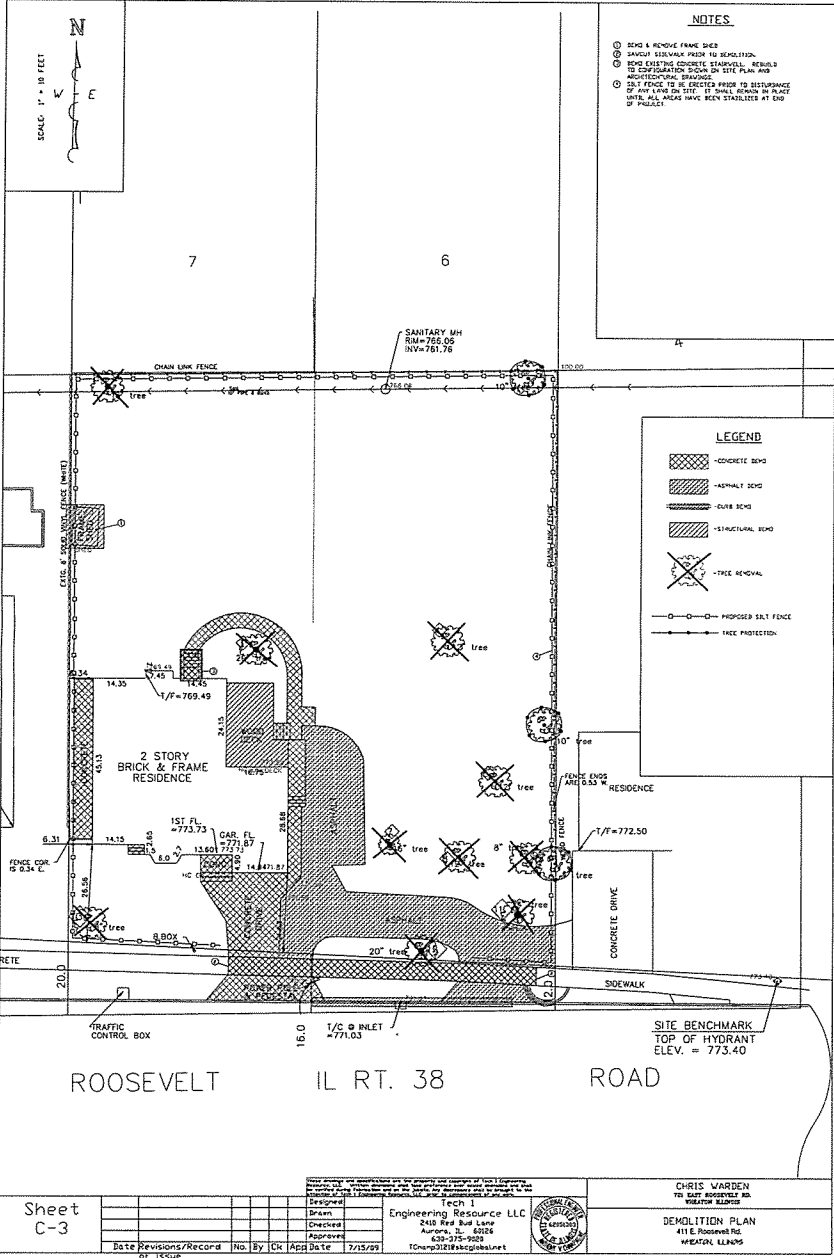
Sheet
C-2

Date	Revisions/Record	No.	By	Chk	App	Date
						7/13/09

Engineering Resource LLC
 243 8th St. Lewis
 Aurora, IL 60116
 630-375-1023
 10Chap3121@ascglbnet.net

CHRIS WARDEN
 725 EAST ROOSEVELT RD.
 WEAVER, ILLINOIS

EXISTING CONDITION SITE PLAN
 411 E. ROOSEVELT RD.
 WEAVER, ILLINOIS



NOTES

- 1 BERMS & REMOVE FRAME SIDES
- 2 EXISTING CONCRETE STAIRWELL, REBUILD TO EXISTING FINISH ON SITE PLAN AND ARCHITECTURAL DRAWINGS.
- 3 1/2" FENCE TO BE EXISTING FROM TO DISTURBANCE OF ANY LINE ON SITE. IT SHALL REMAIN IN PLACE UNTIL ALL WORK HAS BEEN COMPLETED AT END OF PROJECT.

LEGEND

- CONCRETE BERM
- ASPHALT BERM
- CURB BERM
- STRUCTURAL BERM
- TREE REMOVAL
- PROPOSED 1/2" FENCE
- TREE PROTECTION

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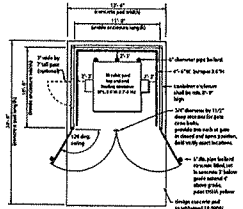
Date	Revisions/Record	No.	By	CHK	APP	Date

Engineering Resource LLC
 2410 Red Bud Lane
 Aurora, IL 60189
 630-275-9923
 TChen@ERLLC.com



CHRIS WARDEN
 781 EAST ROOSEVELT RD.
 DEERFIELD, ILLINOIS
 60015
 DEMOLITION PLAN
 411 E. ROOSEVELT RD.
 WHEATON, ILLINOIS

Container Enclosure Illustration



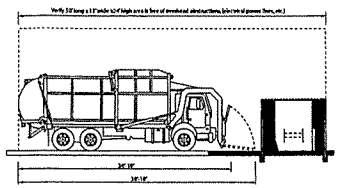
CONTAINER ENCLOSURE PLAN

All Container Enclosures must be properly installed and used in accordance with the following instructions. This enclosure is designed to protect the public from the contents of a container and is not intended to prevent fire or theft.



DUMPSTER ENCLOSURE

Container Enclosure Illustration



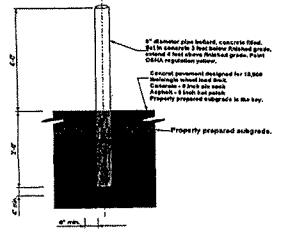
SIDE VIEW

NOTE: Wheelbase is standard for 40 cu yd trucks and includes collection tank. Actual dimensions will differ based on truck manufacturer.

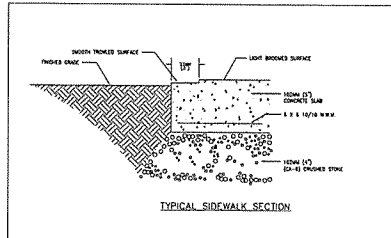


DUMPSTER TRUCK APPROACH

6" Diameter Pipe Bollard Detail



DUMPSTER PROTECTION PIPE BOLLARD



TYPICAL SIDEWALK SECTION

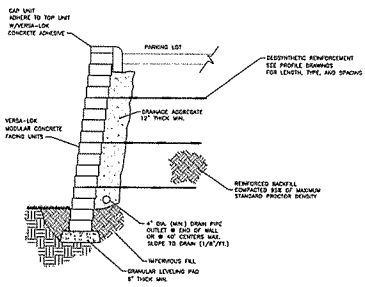
Chris Varson
 Project Manager
 DETAILS 2
 11/15/2024
 11/15/2024



Tech I, Inc.
 Engineers
 1414 1st Ave N
 Suite 100
 Grand Rapids, MI 49503
 616-237-1800
 10000188@tech1.com

DATE	REVISION/RECORD	NO.	BY	CHK	APP'D	DATE

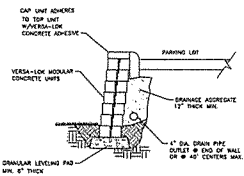
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TYPICAL SECTION—REINFORCED RETAINING WALL
 MODULAR CONCRETE UNIT
 SCALE: NONE



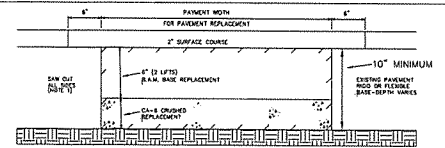
NOTE: CHECK WITH MANUFACTURER FOR DETERMINATION ON TYPE OF SYSTEM REQUIRED; REINFORCED VS UNREINFORCED



TYPICAL SECTION—UNREINFORCED RETAINING WALL
 SCALE: NONE



NOTE: CHECK WITH MANUFACTURER FOR DETERMINATION ON TYPE OF SYSTEM REQUIRED; REINFORCED VS UNREINFORCED



NOTE 1 - SAW CUT DEPTH APPROXIMATELY 1/2" DEPTH OF BITUMINOUS REPLACEMENT. REMOVE ALL EXISTING PAVEMENT, BASE COURSE, AND SUBGRADE. BASE COURSE DEPTH OF BASE COURSE. SAW CUT DEPTH TO BE A MINIMUM OF 1" OR 1/2" DEPTH OF EXISTING BASE, WHICHEVER IS GREATER. GROUPED C&G REPLACEMENT TO BE MECHANICALLY COMPACTED.

PAVEMENT REMOVAL AND BITUMINOUS REPLACEMENT
 (PAVEMENT PATCH)

Chris Warren DESIGNER		Tech 1 Chris Warren, LLC	
DETAILS 4		Engineer Chris Warren, LLC	
418 W. WISCONSIN		No. 100 OAKES, MN 55128	
MANKATO, MINN.		TOWN OF OAKES	
DATE	REVISION/RECORD	NO.	BY
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PROPOSED SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

OFFICE BUILDING ADVANCED HEALTH CARE

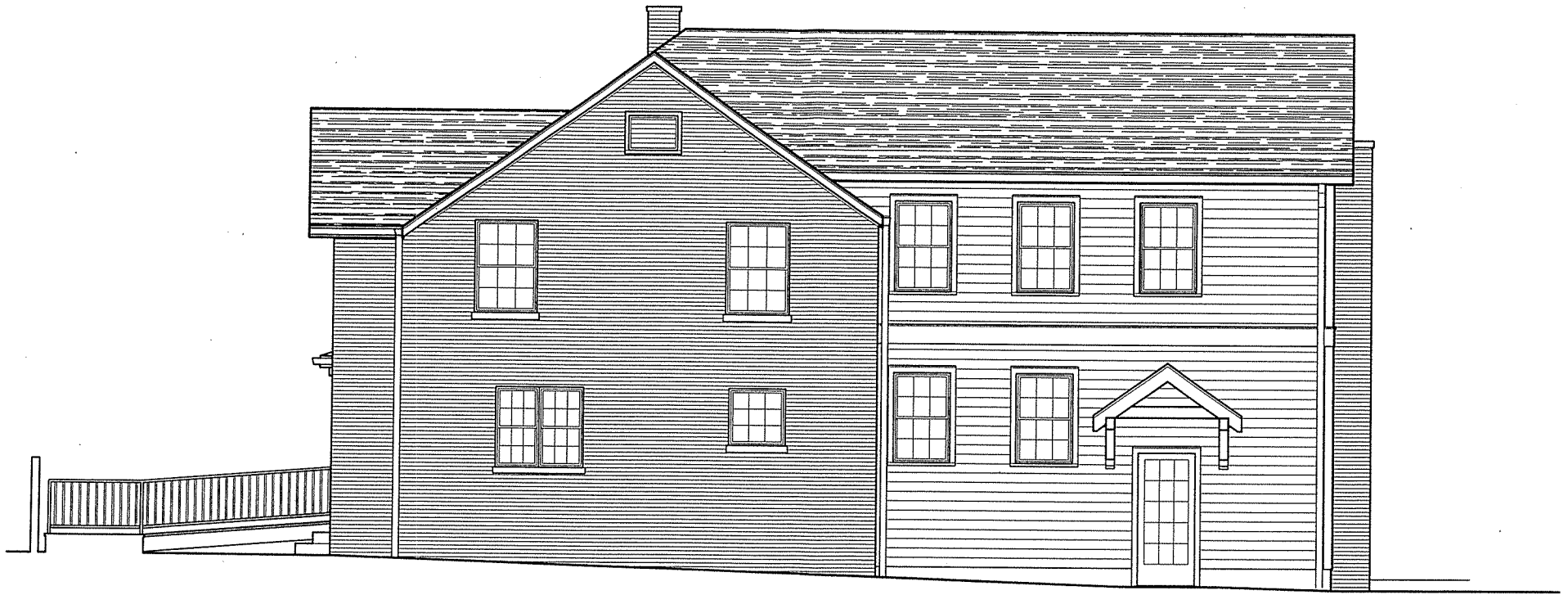
411 ROOSEVELT ROAD, WHEATON, IL 60187

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REARICK ARCHITECTS

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(630) 942-0431

7/22/09

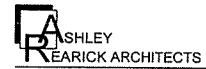


PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"

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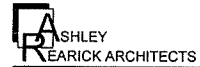


PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"

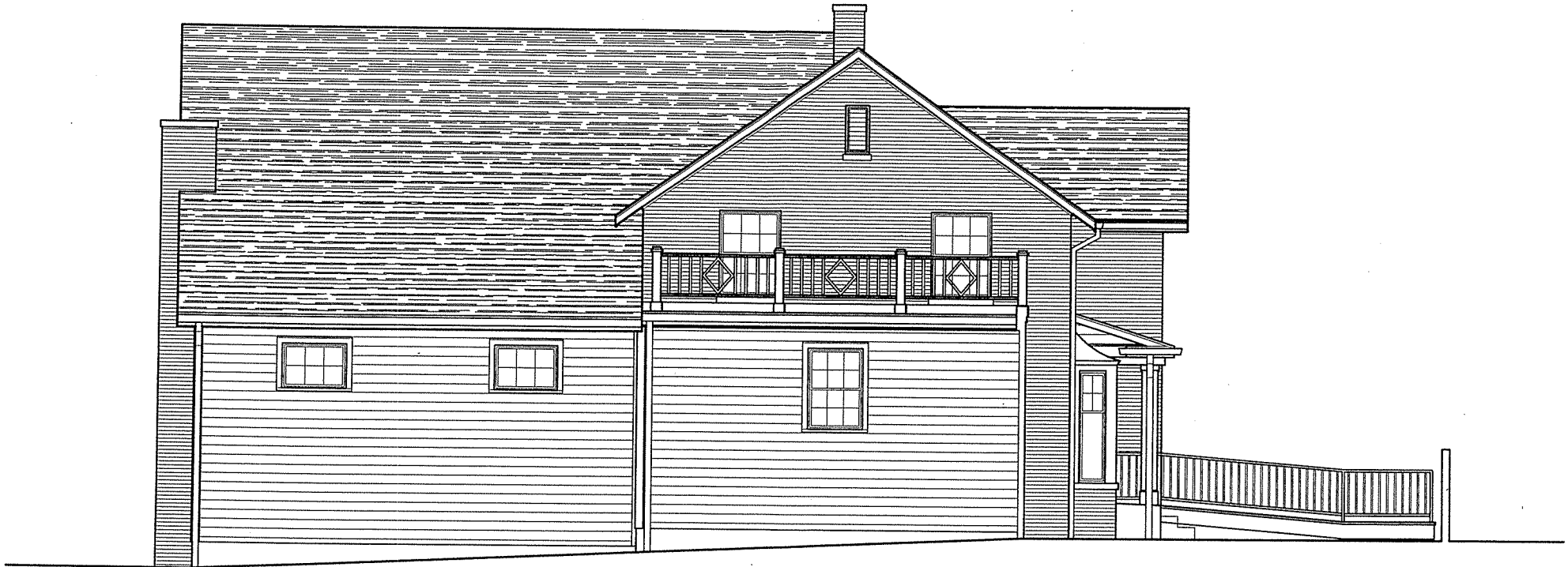
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PROPOSED WEST ELEVATION

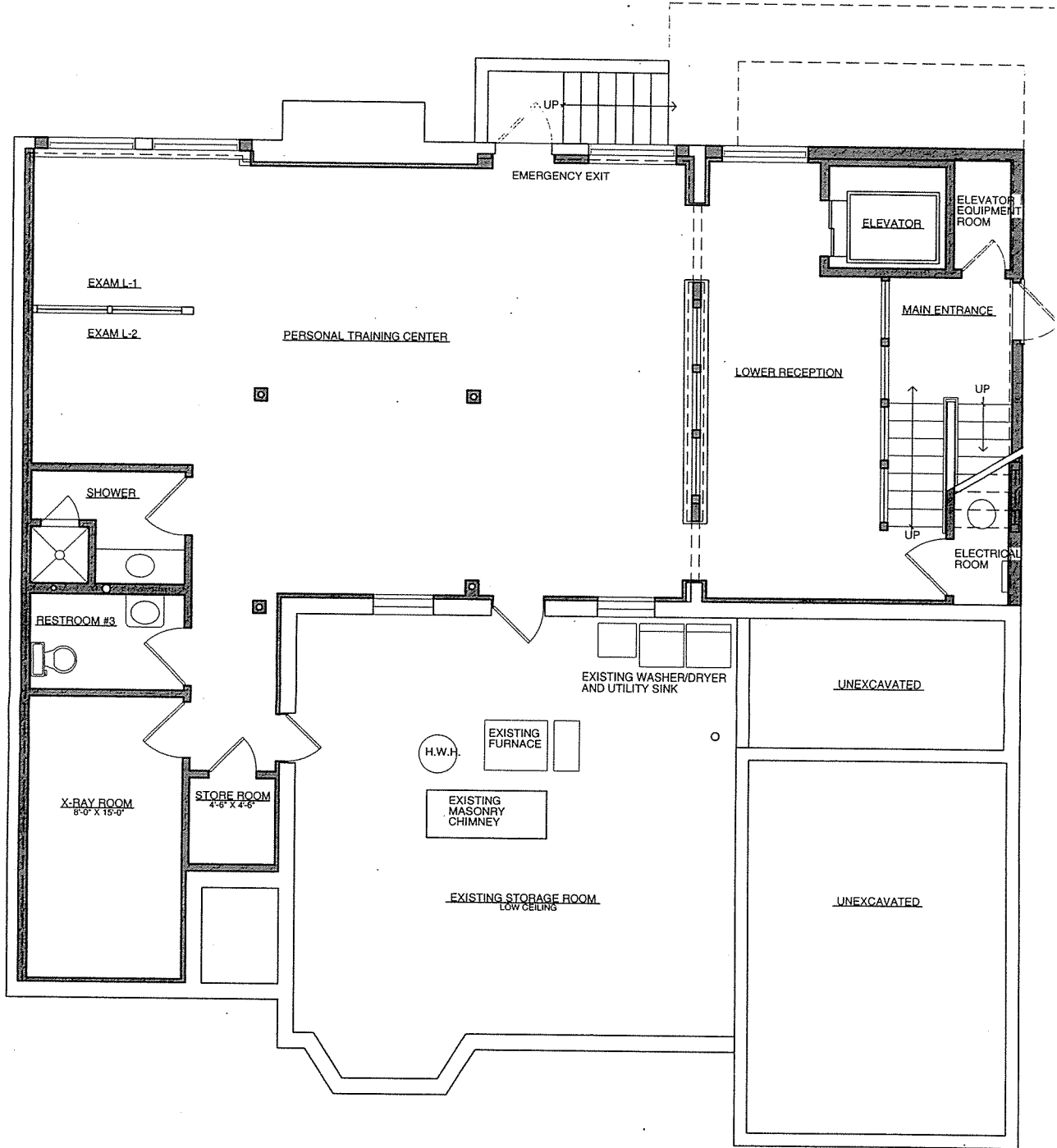
SCALE: 3/16" = 1'-0"

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PROPOSED LOWER LEVEL PLAN

SCALE: 3/16" = 1'-0"

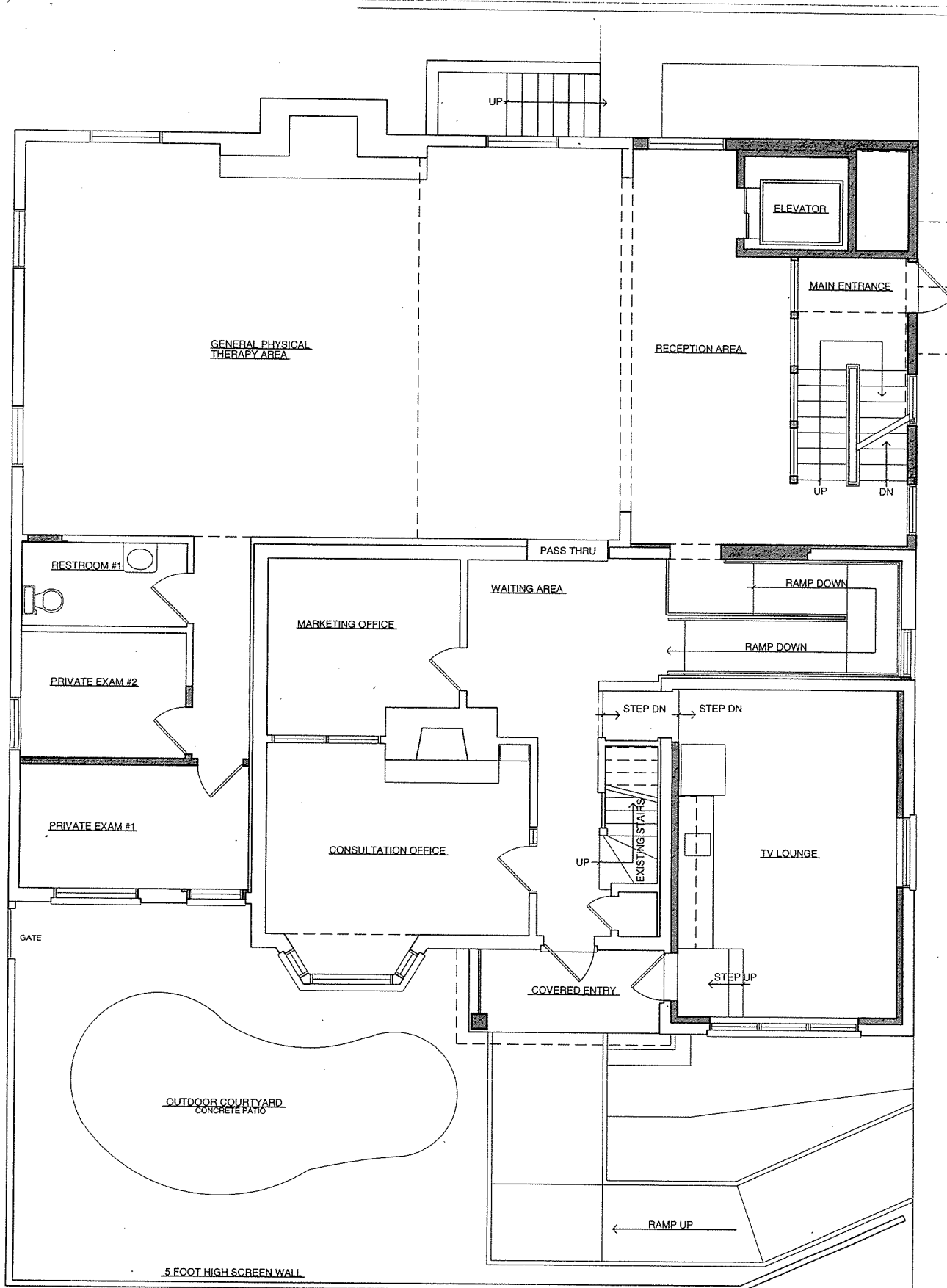
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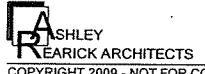


PROPOSED FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

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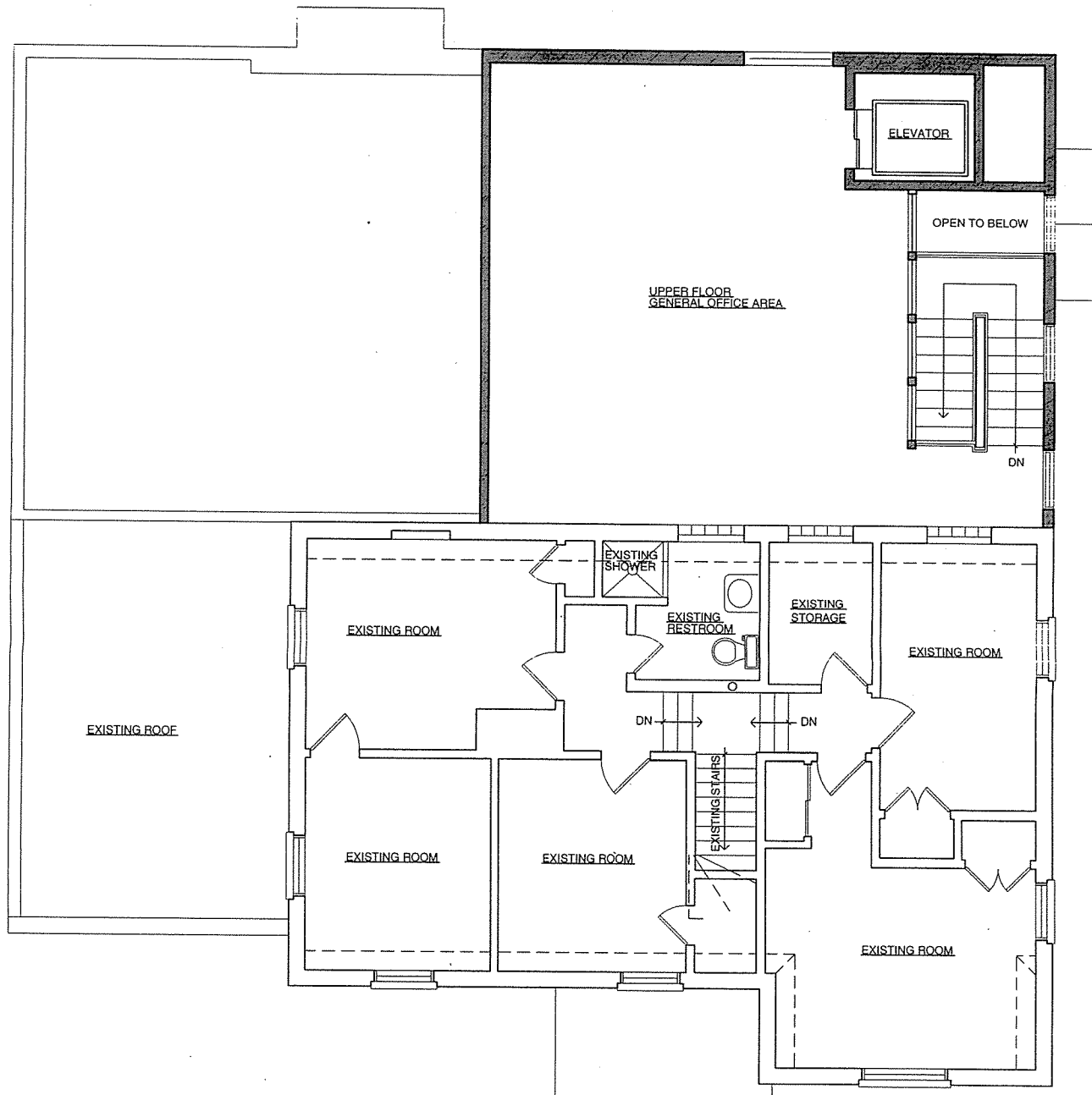
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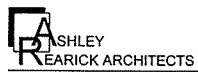


PROPOSED SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

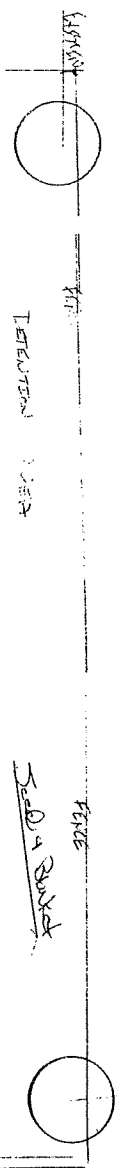
OFFICE BUILDING ADVANCED HEALTH CARE

411 ROOSEVELT ROAD, WHEATON, IL 60187

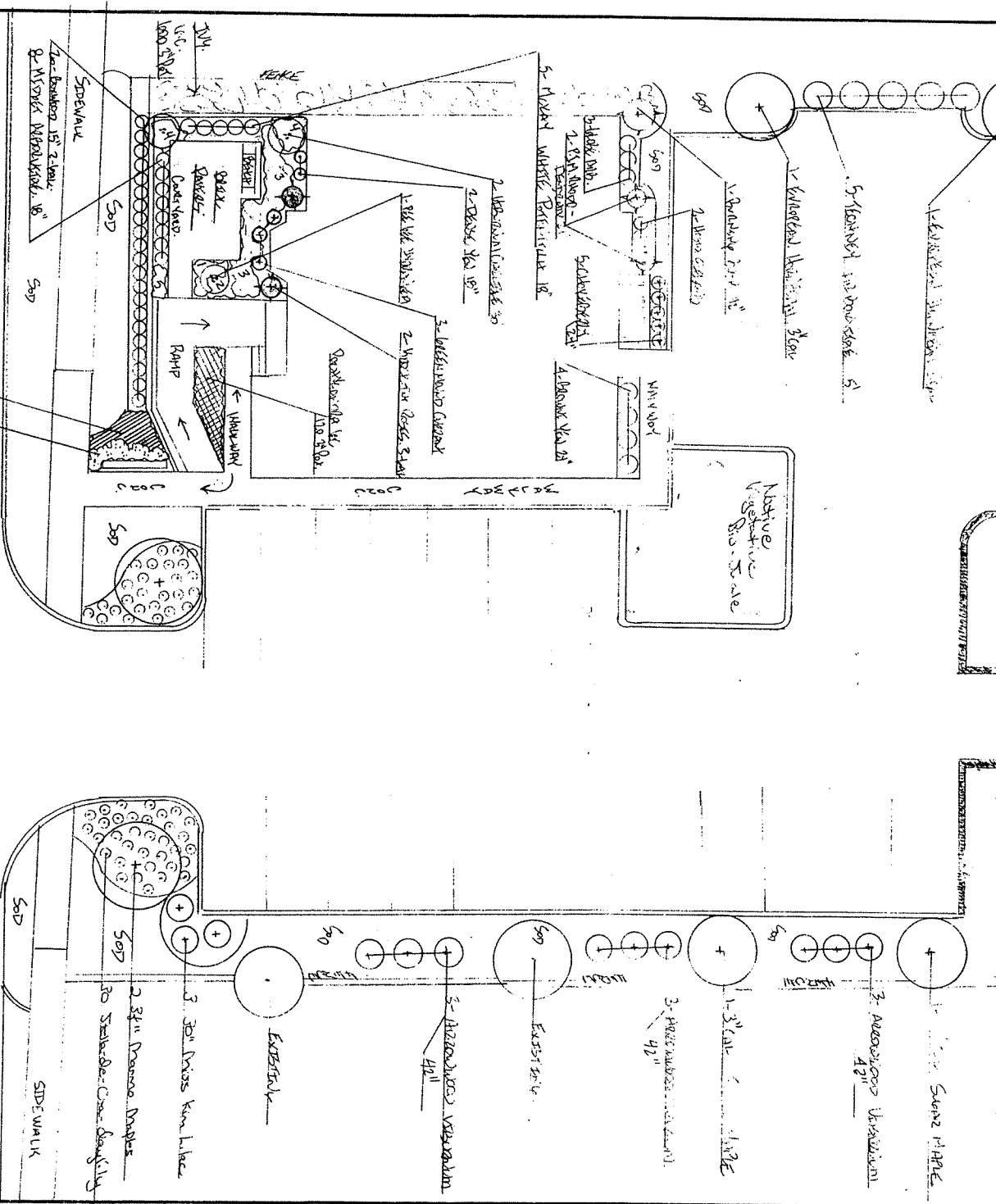


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7/22/09



J. P. Picher 411 E. Bennett, Lubec		DRAWING NUMBER	
SCALE: 1/16" = 10'	APPROVED BY:	DRAWN BY:	REVIEWED
DATE: 7/22/09			



- CONCRETE BOARD DATA
- 1) 1/2" - 1/2" x 1/2" x 1/2" "HARVEY" 1/2"
 - 2) 5/8" - 1/2" x 1/2" x 1/2" "DUNN" 1/2"
 - 3) 1/2" - 5/8" x 1/2" x 1/2" "DUNN" 1/2"
 - 4) 1/2" - 5/8" x 1/2" x 1/2" "DUNN" 1/2"

2- 1/2" x 1/2" x 1/2" "DUNN" 1/2"