

**ORDINANCE NO. F-1436**

**AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP  
AND GRANTING ZONING VARIATIONS FOR A CERTAIN PARCEL OF PROPERTY  
COMMONLY KNOWN AS 631 SOUTH HALE STREET - FOY**

**WHEREAS**, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure zoning variations in order to use the existing single-family house as an office building and construct a new parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 631 South Hale Street ("subject property"); and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on June 9, 2009 to consider the requested zoning amendment and variations; and the Board has recommended approval of the rezoning and variation requests.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the R-4 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

LOT 15 EXCEPT THAT PART OF LOT 15 IN BLOCK 3 IN W.I. AND W.E. WHEATON'S RESUBDIVISION OF LOT 2, IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 9, 1924 AS DOCUMENT 116426 IN DUPAGE COUNTY, ILLINOIS, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF AFORESAID LOT 15, IN BLOCK 3 IN W.I. AND F.E. WHEATON'S RESUBDIVISION OF LOT 2 AS MONUMENTED AND OCCUPIED THENCE ON AN ASSUMED BEARING OF NORTH 00 DEGREES 50 MINUTES 38 SECONDS WEST 10.00 FEET ALONG THE WEST LINE OF SAID LOT 15 TO A POINT BEING MONUMENTED BY AN ILLINOIS DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS SURVEY MARKER: THENCE SOUTH 46 DEGREES 05 MINUTES 25 SECONDS EAST 14.08 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT 15. SAID POINT BEING MONUMENTED BY AN ILLINOIS DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS SURVEY MARKER: THENCE SOUTH 88 DEGREES 39 MINUTES 48 SECONDS WEST 10.00 FEET ALONG SAID SOUTH LINE OF LOT 15 TO THE POINT OF BEGINNING, IN BLOCK 3 IN W.I. AND F.E. WHEATON'S RESUBDIVISION OF LOT 2 IN BLOCK 1 AND ALL OF BLOCK 4 OF J.C. WHEATON'S 2<sup>ND</sup> ADDITION TO WHEATON, IN SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID RESUBDIVISION RECORDED MAY 9, 1914 AS DOCUMENT 116426, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-16-337-019


The subject property is commonly known as 631 South Hale Street, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a zoning variation is hereby granted from the provisions of Article 6.6.2b(1) of the Wheaton Zoning Ordinance to allow an interior side yard landscaping setback of 0 feet in lieu of the required 15.0 feet, a zoning variation is hereby granted from the provisions of Article 6.6.2a(1) of the Wheaton Zoning Ordinance to allow a corner side yard landscaping setback of 4.7 feet in lieu of the required 15.0 feet, and a zoning variation is hereby granted from the provisions of Article 22.5.15 of the Wheaton Zoning Ordinance to allow eight parking spaces in lieu of the required 9 parking spaces; all in full compliance with the following plans: "631 South Hale Street - Proposed Conversion of Existing Single Family Home to Office Research Use", dated May 21, 2009, all prepared by The Keating Group, Wheaton, IL and in further compliance with the following conditions, restrictions, and requirements:

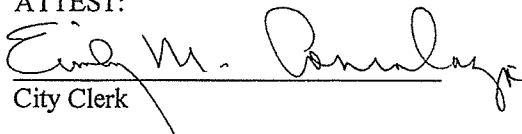
1. That the location of any and all trash receptacle enclosures shall comply with the applicable requirements of the City of Wheaton Zoning Ordinance;
2. Prior to the issuance of a site development permit, the applicant shall provide a sign plan for approval by the Director of Planning and Economic Development;
3. The storm sewer system design should be modified to spread the flow of the discharged water over a broader area to minimize soil erosion;
4. A plat of easement grant for the stormwater management area shall be provided as part of the permitting process; and
5. The areas within the building designated as storage shall remain designated as storage.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

Roll Call Vote:

Ayes: Councilman Prendiville  
Councilman Scalzo  
Councilman Sues  
Councilwoman Corry  
Councilman Levine  
Councilman Mouhelis  
Mayor Gresk

Nays: None

Absent: None

Motion Carried Unanimously

Passed: July 6, 2009  
Published: July 7, 2009

**631 S. Hale St.**

**Proposed conversion  
of Existing Single  
Family Home  
to Office Research  
Use**

**Issued:5.21.2009**

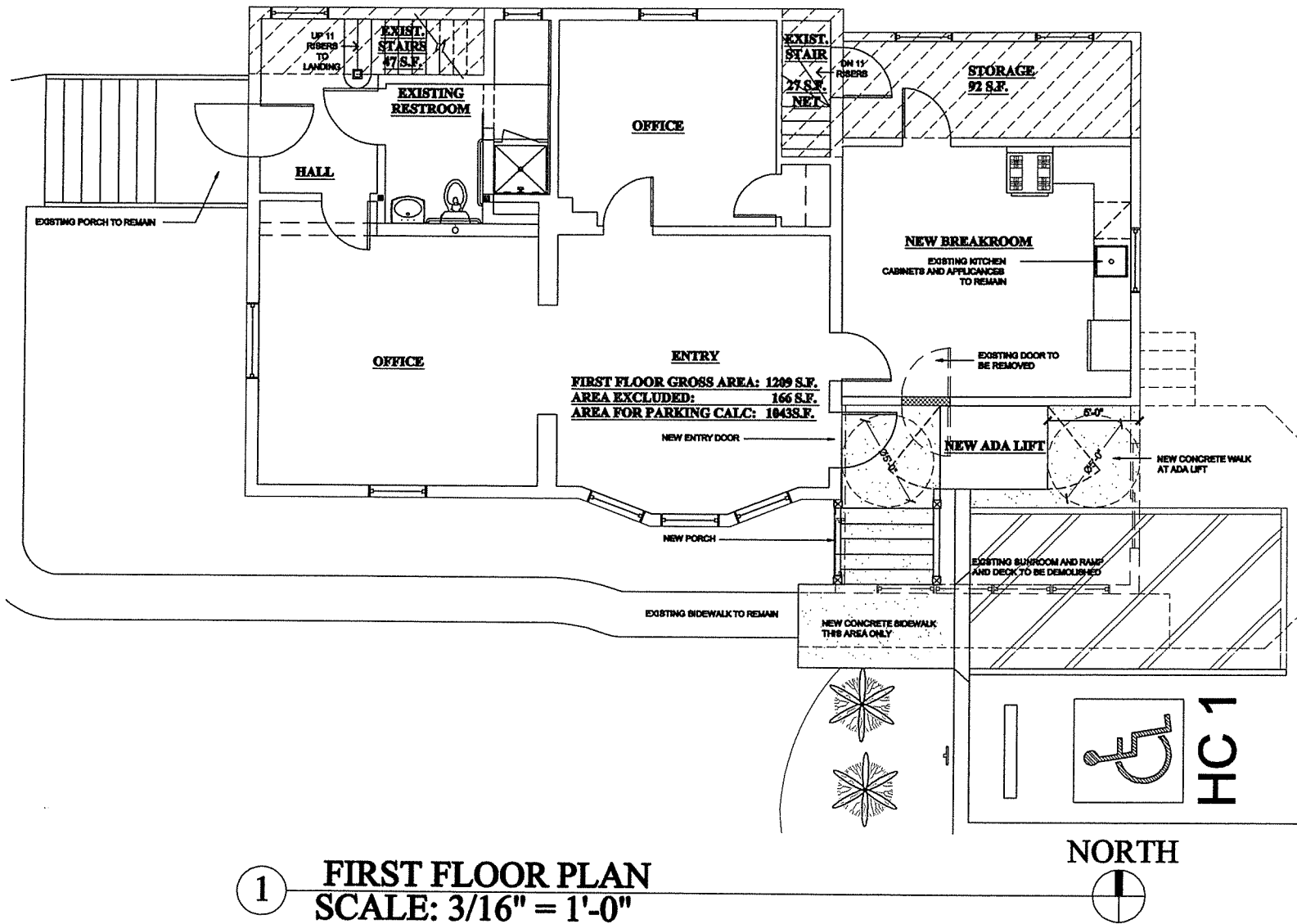


**THE KEATING GROUP, P.C.**  
T: (630) 260-3840 F: (630) 260-3841

**631 S. Hale St.  
Wheaton, IL 60187**

**522 W. WESLEY WHEATON, IL 60187**  
[www.thekeatinggroup.com](http://www.thekeatinggroup.com)

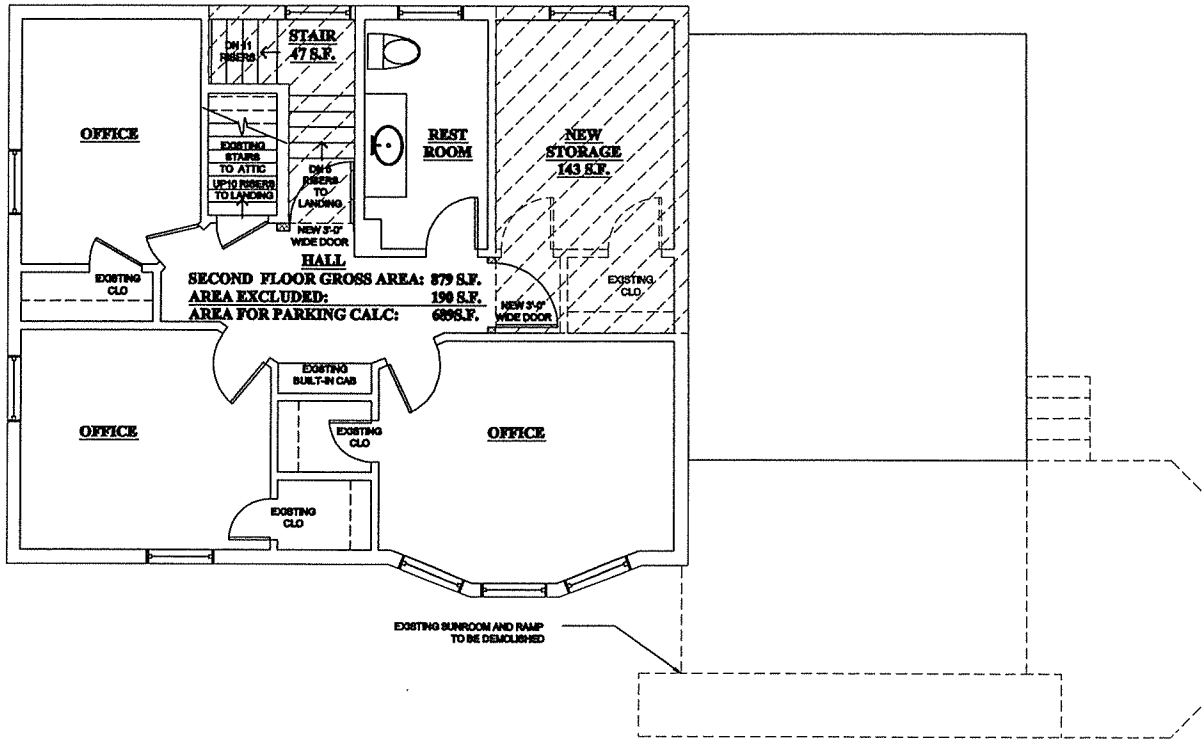




**1** FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

631 S. Hale St.  
 Wheaton, IL 60187

THE KEATING GROUP, P.C.  
 ARCHITECTS INTERIORS  
 THE KEATING GROUP, P.C.  
 T: (630) 260-3840 F: (630) 260-3841  
 522 W. WESLEY WHEATON, IL 60187  
 www.thekeatinggroup.com



1

**EXISTING SECOND FLOOR PLAN**  
**SCALE: 3/16" = 1'-0"**

**NORTH**



**631 S. Hale St.  
 Wheaton, IL 60187**



522 W. WESLEY WHEATON, IL 60187  
 www.thekratinggroup.com

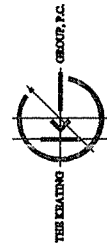
THE KRATING GROUP, P.C.  
 ARCHITECTURAL INTERIORS  
 T: (630) 260-3840 F: (630) 260-3841



1 WEST ELEVATION  
SCALE: 3/16" = 1'-0"

631 S. Hale St.  
Wheaton, IL 60187

522 W. WESLEY WHEATON, IL 60187  
www.thekratinggroup.com



THE KRATING GROUP, P.C.  
T: (630) 260-3840 F: (630) 260-3841



1 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

631 S. Hale St.  
Wheaton, IL 60187

522 W. WESLEY WHEATON, IL 60187  
www.thekratinggroup.com



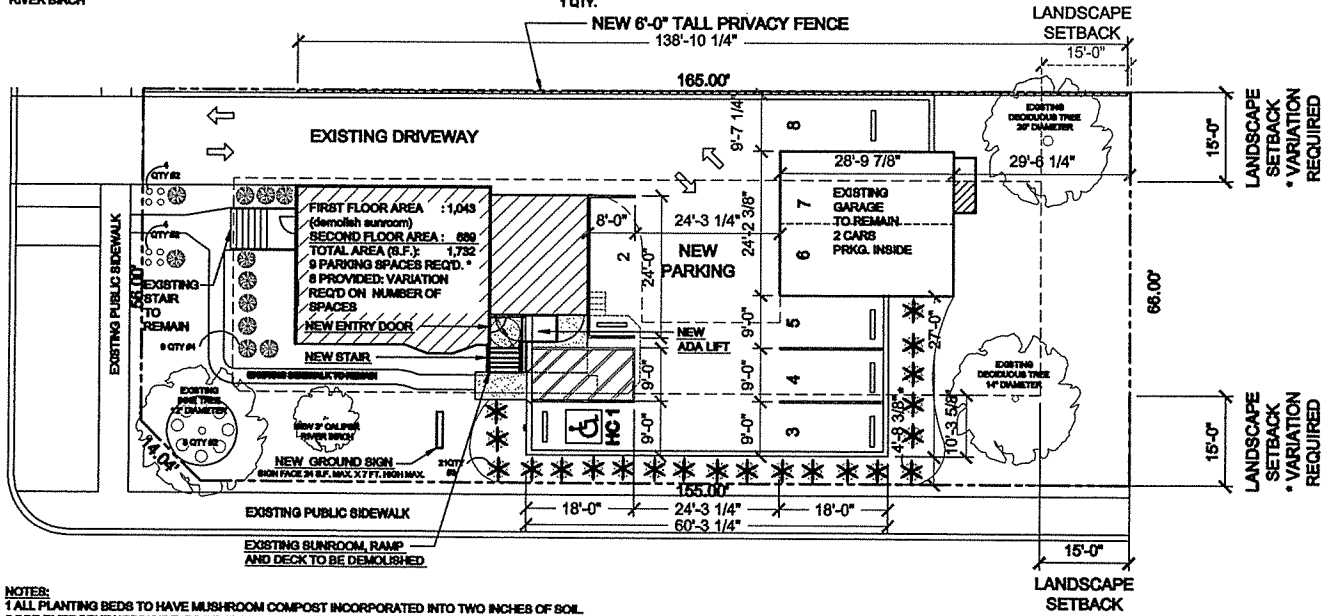
THE KRATING GROUP, P.C.  
T: (630) 260-3840 F: (630) 260-3841



**LANDSCAPE LEGEND**  
 FLOWER PERENNIAL  
 DAYLILLY, STELLA D'ORO  
 HOSTA, VARIGATED  
 SHRUB EVERGREEN  
 ARBORVITAE, DARK AMERICAN  
 KOREAN BOXWOOD  
 TREE, DECIDUOUS  
 RIVER BIRCH

HEMEROCALLIS STELLA D'ORO 1 GAL. 8 QTY.  
 HOSTA ALREO MARGNATA EACH 8 QTY.  
 THUJA OCCIDENTAUS "NGRA" 21 QTY.  
 9 QTY.  
 1 QTY.

Hale St.



- NOTES:**  
 1. ALL PLANTING BEDS TO HAVE MUSHROOM COMPOST INCORPORATED INTO TWO INCHES OF SOIL.  
 2. PRE EMERGENT HERBICIDE TO BE APPLIED TO ALL PLANTING BEDS.  
 3. ALL AREAS MARKED TURF TO BE SOODED.  
 4. ANY CHANGE TO THE PARKWAYS WILL BE RESTORED WITH SOO OR SEED.  
 5. THE EXISTING TREES SHOWN ARE TO REMAIN, (TYPICAL)  
 6. THE PLANTING BEDS ADJACENT TO BUILDING WITH HAVE EDGING, WEED BARRIER.  
 7. ALL OTHER PLANTING BEDS WILL HAVE NATURAL EDGE AND TO BE COVERED WITH TWO INCHES OF SHREDDED HARDWOOD MULCH.  
 8. ALL WORK TO COMPLY WITH THE CITY OF WHEATON ORDINANCES.

Roosevelt Road

NORTH

1 LANDSCAPE PLAN  
 SCALE: 1" = 20'-0"

SEE SITE GRADING PLAN PREPARED BY DAVE JOHNSON AND ASSOCIATES: CIVIL ENGINEERS AND SURVEYORS FOR FURTHER INFORMATION

631 S. Hale St.  
 Wheaton, IL 60187

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# CIVIL ENGINEERING PLANS

## 631 S. HALE STREET

### WHEATON, IL 60187

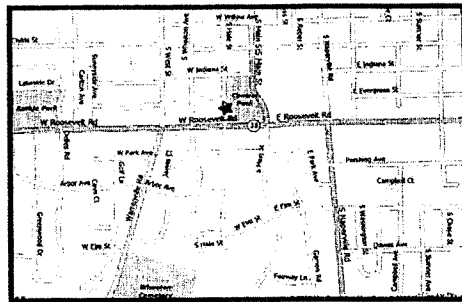
**SYMBOL LEGEND**

- |                        |                        |
|------------------------|------------------------|
| ■ CONCRETE MICHANOTE   | □ VALVE BOX            |
| ▲ CONCRETE POINT       | • POINT                |
| ○ CELEST               | ○ POWER POLE           |
| □ ELECTRIC METER       | △ SIGN                 |
| ⊠ ELECTRIC TRANSFORMER | ⊠ SUPPORT WARDHOLE     |
| ⊠ PLUMBING MICHANOTE   | ⊠ STORM MANHOLE        |
| ⊠ FIRE RETENANT        | ⊠ POLY PIPING PERMETAL |
| ⊠ PLUMB POLE           | ⊠ TELEPHONE PERMETAL   |
| ⊠ GAS METER            | ⊠ FIVE FACEPOKER       |
| ⊠ GAS VALVE            | ⊠ FIVE CONDUIT         |
| ⊠ BOX HOSE             | ⊠ WEL                  |
| ⊠ CATCH BASIN          | ⊠ WATER VALVE BOX      |
| ⊠ INLET                | ⊠ WATER VALVE VALVE    |
| ⊠ LIGHT POLE           | ⊠ WATER & BOX          |
| ⊠ STREET LIGHT         |                        |
| ⊠ PARISH MICHANOTE     |                        |

**LEGEND**

- |                  | EXISTING        |
|------------------|-----------------|
| CURB & GUTTER    | ———             |
| WATER            | ———             |
| ELECTRIC         | ———             |
| GAS              | ———             |
| SEWERY SENCH     | ———             |
| STORM SENCH      | ———             |
| CONCRETE SENCH   | ———             |
| MANHOLE          | ⊙               |
| CATCH BASIN      | ⊙               |
| WEL              | ⊙               |
| WATER VALVE      | ⊙               |
| WATER & BOX      | ⊙               |
| BUFFALO BOX      | ⊙               |
| ONE VALVE        | ⊙               |
| HYDRANT          | ⊙               |
| HANDICAPPED RAMP | ⊙               |
| ELEVATION        | —               |
| CONTOUR          | ———             |
| FLOW             | →               |
|                  | <b>PROPOSED</b> |
| CURB & GUTTER    | ———             |
| WATER            | ———             |
| ELECTRIC         | ———             |
| GAS              | ———             |
| SEWERY SENCH     | ———             |
| STORM SENCH      | ———             |
| MANHOLE          | ⊙               |
| CATCH BASIN      | ⊙               |
| WEL              | ⊙               |
| WATER VALVE      | ⊙               |
| WATER & BOX      | ⊙               |
| BUFFALO BOX      | ⊙               |
| ONE VALVE        | ⊙               |
| HYDRANT          | ⊙               |
| HANDICAPPED RAMP | ⊙               |
| FILL STRUCTURE   | ⊙               |
| ADJUST STRUCTURE | ⊙               |
| ELEVATION        | XXX.X           |
| CONTOUR          | ———             |
| FLOW             | →               |

**INDEX TO DRAWINGS**  
**COVERSHEET**  
 1. GEOMETRY PLAN  
 2. UTILITY PLAN  
 3. GRADING PLAN



★ - SITE LOCATION NOT TO SCALE

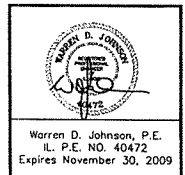
PREPARED FOR:  
 THE KEATING GROUP, P.C.  
 522 W. WESLEY  
 WHEATON, IL 60187



ENGINEER:

**DJA** CIVIL ENGINEERS & SURVEYORS

DAVE JOHNSON and ASSOCIATES, Ltd.  
 312 S. Hale Street Wheaton, IL 60187  
 ph. 630 752 8600 fax. 630 752 9556  
 www.DJAonline.net



DATE 05-27-09

REVISED: 05-27-09 PER REVIEW COMMENTS



**LEGEND**

- CONCRETE IMPAVEMENT
- ▲ CONTROL POINT
- CURBLINE
- ELECTRIC METERS
- ⊕ ELECTRIC TRANSFORMER
- ⊕ FLAMMABLE LIQUID
- ⊕ FUEL OIL
- ⊕ FUEL OIL
- ⊕ GAS METER
- ⊕ GAS VALVE
- CITY WATER
- CATCH BASIN
- DUCT
- ⊕ LIGHT POLE
- ⊕ STREET LIGHT
- ⊕ FAREING SPACE EXIST
- ⊕ HALLWAY
- ⊕ POPE
- ⊕ POWER POLE
- ⊕ WHP
- ⊕ SANITARY MANHOLE
- ⊕ STORM MANHOLE
- ⊕ TAP FROM PREEXIST
- ⊕ TELEPHONE PREEXIST
- ⊕ TRAIL ENCLOSURE
- ⊕ TREE CENTERLINE
- ⊕ WALL
- ⊕ WATER VALVE BOX
- ⊕ WATER VALVE VAULT
- ⊕ WATER & BOX

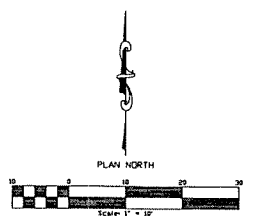
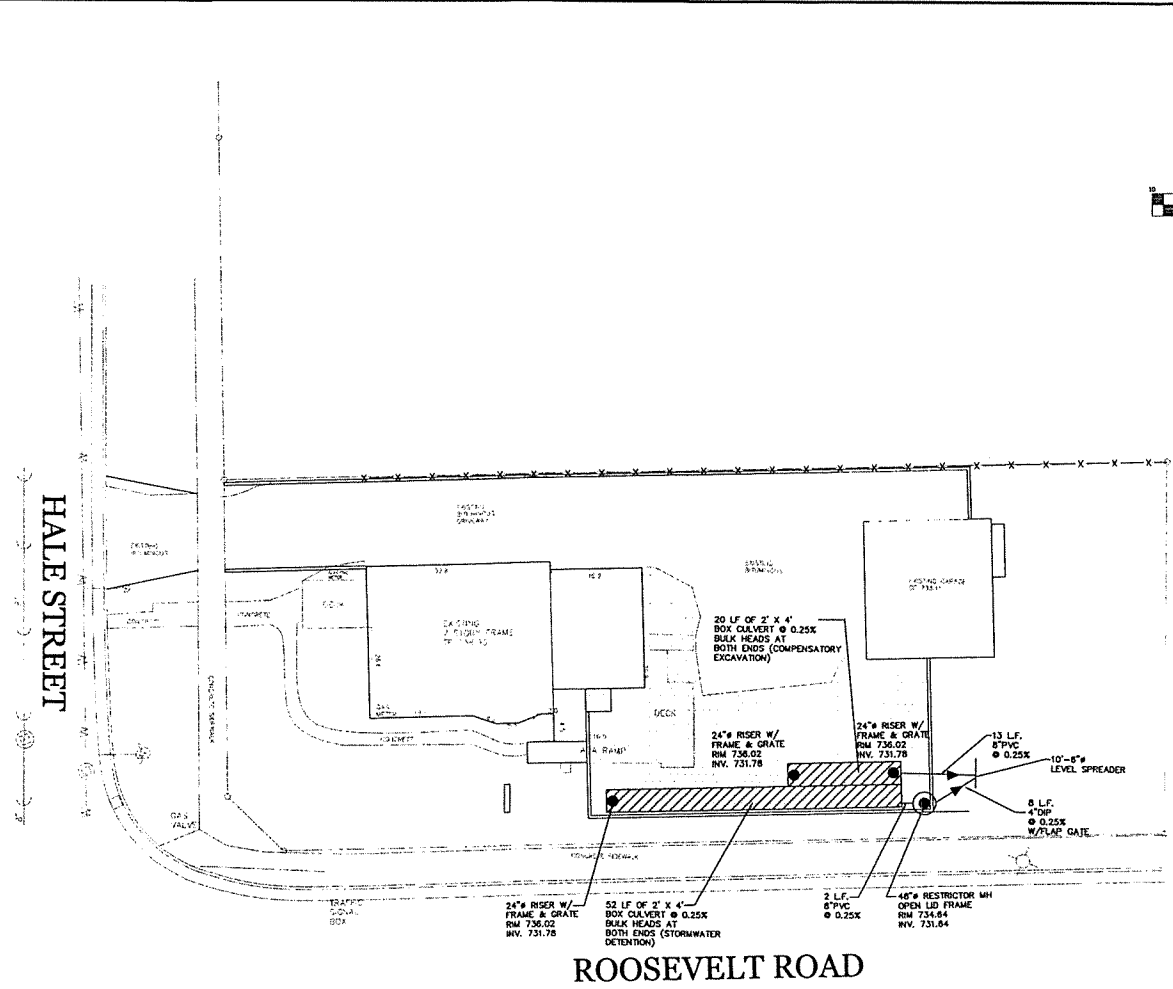
**EXISTING**

- CLUB & GUTTER
- WATER
- GAS
- SANITARY SEWER
- STORM SEWER
- MANHOLE
- CATCH BASIN
- DUCT
- VALVE VAULT
- VALVE & BOX
- BUFFALO BOX
- GAS VALVE
- HYDRANT
- MANHOLE/STAMP
- FILL STRUCTURE
- ADJUST STRUCTURE
- ELECTRICAL
- CONCRETE
- PLUMB

**PROPOSED**

- CLUB & GUTTER
- WATER
- ELECTRICAL
- GAS
- SANITARY SEWER
- STORM SEWER
- MANHOLE
- CATCH BASIN
- DUCT
- VALVE VAULT
- VALVE & BOX
- BUFFALO BOX
- GAS VALVE
- HYDRANT
- MANHOLE/STAMP
- FILL STRUCTURE
- ADJUST STRUCTURE
- ELECTRICAL
- CONCRETE
- PLUMB

SAH:ML  
 RM 736.91  
 INV. 731.95 N  
 731.41 S



REVISIONS		DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DRAWN BY	DATE	CHECKED BY	DATE	APPROVED BY	DATE	CLIENT	PROJECT	TITLE	SCALE
01	01	09-27-09	JW	PER REVIEW				JW	09-28-09	WJ	09-28-09	WJ	09-28-09	THE KEATING GROUP, P.C.	522 W. WESLEY	UTILITY PLAN	1"=30'
														622 S. HALE STREET	WHEATON, IL 60187	631 S. HALE STREET	09-27-09
																	2 of 3

**DJA** CIVIL ENGINEERS & SURVEYORS  
 202 Johnson and Associates, LLC  
 312 S. Hale Street  
 Wheaton, Illinois 60187  
 Ph: 630 255 4800 Fax: 630 255 9500  
 e-mail: DJA@DJASurveyors.com

THE KEATING GROUP, P.C.  
 522 W. WESLEY  
 WHEATON, IL 60187

UTILITY PLAN  
 631 S. HALE STREET  
 WHEATON, IL 60187

SCALE: 1"=30'  
 DATE: 09-27-09  
 JOB NO.: 274  
 SHEET 2 of 3

**LEGEND**

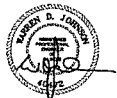
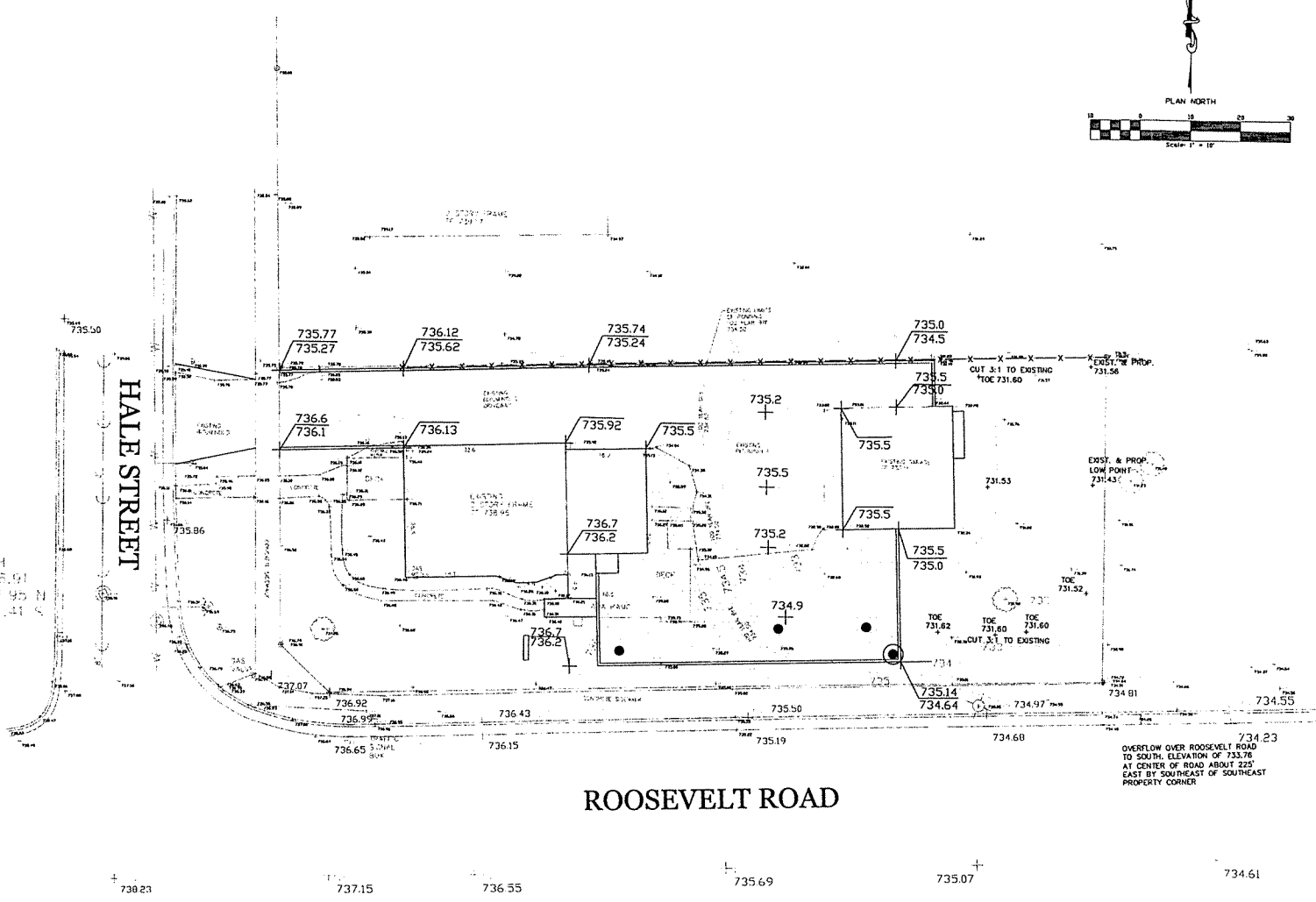
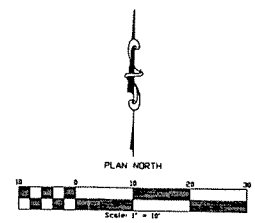
- CONCRETE MONUMENT
- ▲ CONTROL POINT
- CURB/ST
- ELECTRIC METEA
- ELECTRIC TRANSDUCER
- PLASTER DIM METHOD
- FIRE HYDRANT
- FLAG POLE
- GAS METEA
- GAS VALVE
- GUY WIRE
- GUYED SIGN
- LIGHT POLE
- STREET LIGHT
- MAIL BOX
- POLE
- POWER POLE
- SIGN
- SOUTHWEST MANHOLE
- STREET MANHOLE
- FIRE FIGHTER FEDERAL
- TELEPHONE FEDERAL
- TREE OBSTRUCTION
- TREE CLUMP
- WELL
- WATER VALVE BOX
- WATER VALVE VALVE
- WATER SIGN

**EXISTING**

- CURB & GUTTER
- WATER
- GAS
- SANITARY SEWER
- STORM SEWER
- MANHOLE
- CATCH BASIN
- DRAIN
- VALVE VAULT
- VALVE BOX
- SUTTER BOX
- GAS VALVE
- HYDRANT
- HANDICAPPED RAMP
- FILL STRUCTURE
- ADJUST STRUCTURE
- ELEVATION
- CURBLINE
- FLOW

**PROPOSED**

- CURB & GUTTER
- WATER
- SANITARY
- GAS
- SANITARY SEWER
- STORM SEWER
- MANHOLE
- CATCH BASIN
- INLET
- VALVE VAULT
- VALVE BOX
- SUTTER BOX
- GAS VALVE
- HYDRANT
- HANDICAPPED RAMP
- FILL STRUCTURE
- ADJUST STRUCTURE
- ELEVATION
- CURBLINE
- FLOW



<b>REVISIONS</b> DATE BY DESCRIPTION 05-27-08 JW PER REVIEW				DRAWN BY: JW DATE: 08-26-05 CHECKED BY: MJG DATE: 08-26-05 APPROVED BY: MJG DATE: 08-26-05 PROJECT: 12748-431 S. HALE		<b>DJA CIVIL ENGINEERS &amp; SURVEYORS</b> 315 S. HALE STREET WHEATON, ILLINOIS 60187 PH: 630-752-1000 FAX: 630-752-1004 E-MAIL: DJA@DJAENGINEERS.COM		CLIENT: <b>THE KEATING GROUP, P.C.</b> 522 W. WESLEY WHEATON, IL 60187		TITLE: <b>GRADING PLAN</b> 631 S. HALE STREET WHEATON, IL 60187		SCALE: 1" = 30' DATE: 08-27-08 JOB NO: 2748 SHEET: <b>3</b> OF <b>3</b>	
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## ARTICLE XV

### O-R OFFICE AND RESEARCH DISTRICT

#### 15.1 Permitted Uses

1. Business and professional offices.
2. Research laboratories.

#### Special Use Permit Required

1. Parking lots.
2. Senior Housing Developments. The minimum lot area per dwelling unit for Independent and Assisted Living Units is 1,360 sq. ft. (126.35 sq. m.) of lot area per dwelling unit. The minimum lot area per bed for Skilled Care Units is, 880 sq. ft. (81.75 sq. m.). Senior Housing Developments shall also include the following minimum open space requirements: Independent and Assisted Living Units; Two hundred seventy-five (275) sq. ft. (25.5 sq. m.) per dwelling unit; Skilled Care Units; Seventy-five (75) sq. ft. (6.9 sq. m.) per bed.
3. Nursery schools.
4. Adult day care facilities.
5. Inns.
6. Mortuaries.
7. Private or public utility substations.

#### 15.2 Bulk Regulations

The following bulk regulations A through F apply, whenever a lot:

1. Is less than one acre in area, or has a depth of less than 180 feet, or both; and
2. Is contiguous to property in the R-1, R-2, R-3, R-4, or R-5 districts; and
3. Abuts the right-of-way line of one or more of the following arterial streets:

Geneva Road  
Roosevelt Road  
Main Street

## Naperville Road

- A. A maximum floor area of 10,000 square feet in any one building;
- B. A maximum building height of 35 feet or 2 1/2 stories, whichever is less;
- C. A maximum building lot coverage of 33 1/3 percent;
- D. A minimum of 30% of the lot shall be landscaped. This 30% may include setback areas and interior parking lot landscaping;
- E. Scaling of building mass to replicate a residential structure through the use of varied horizontal wall dimensions, varied roof heights, placement of windows and doors, etc.; and
- F. Minimum yards for a building and lot as required by Article VI of this code.

In all other instances, the following bulk regulations apply:

- 1. Maximum height: 70 feet or 5 stories, whichever is less.
- 2. Minimum lot size: One acre.
- 3. Minimum yards: The minimum front, side, and rear yard for a building shall be a distance equal to the height of the building. The minimum yards for a lot shall be as required by Article VI of the City code.

### 15.3 Standards.

All of the property located in this district is subject to the general standards and regulations of this ordinance. Property located in this district is also subject to the following additional standards:

- 1. All operations, activities (other than recreational or educational) and storage shall be conducted wholly inside a building or buildings.
- 2. No retail sales or services shall be permitted except as incidental or accessory to a permitted use.
- 3. Site plan and architectural approval (5.5) shall be required for all permitted uses listed in Section 15.1.
- 4. Downtown design review in accordance with Section 5.12 shall be required for all uses, except single-family dwellings located within the Downtown Design Review Overlay District.