

ORDINANCE NO. F-1415

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP
BY GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT/
2185 WEST ROOSEVELT ROAD/ CHASE BANK**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development to allow the construction of a 2,586 square foot bank with a drive-thru and twenty-four parking spaces on property zoned C-5 Planned Commercial District, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 2185 West Roosevelt Road; ("Subject Property") and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on December 9, 2008 and January 13, 2009, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit for a planned unit development.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

LOT 1 IN CHECKER'S CONSOLIDATION OF PART OF LOTS 10, 11 AND 12 IN
BLOCK 20 IN WHEATON PARK MANOR, A SUBDIVISION IN PART OF SECTION
18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL
MERIDIAN, ACCORDING TO THE PLAT OF SUBDIVISION RECORDED AS
DOCUMENT R93-200556, IN DU PAGE COUNTY, ILLINOIS.

P.I.N. 05-18-311-037

The subject property is commonly known as 2185 West Roosevelt Road, Wheaton, IL 60187.

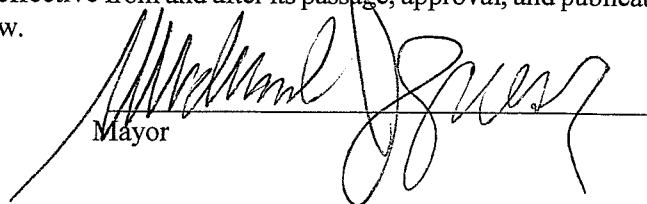
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit for a Planned Unit Development is hereby issued on the subject property to allow the construction of a 2,586 square foot bank with a drive-thru and twenty-four parking spaces on property zoned C-5 Planned Commercial District, in full compliance with the plans entitled "Chase Bank Wheaton Site Improvement Plans, Sheets C000, C001, C100, C200, C300, C301, C400, C500, C501 and ASK01" prepared by NWS Architects, Chicago, IL, dated November 2008; "New Chase Bank, Sheets L1 and TP" prepared by Brusseau Design Group, Hoffman Estates, IL, dated November 2008; and in further compliance with the following conditions, restrictions, and requirements:

1. The applicant shall install lighting in the parking lot as required by the Zoning Ordinance;
2. The red brick shown on the building exterior shall be extended up the side of the building to replace the red EIFS band proposed along the top of the building;
3. The applicant shall fully screen all rooftop mechanical equipment with a parapet, a roof structure, or another physical design element that is integral to the overall appearance of the building as required by Article 3.4C of the Zoning Ordinance; and
4. The petitioner shall provide a copy of the Corrective Action Completion Report to the City at the time it is submitted to IEPA.

R2009-024952

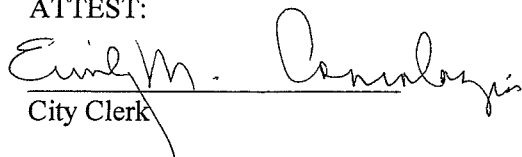
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

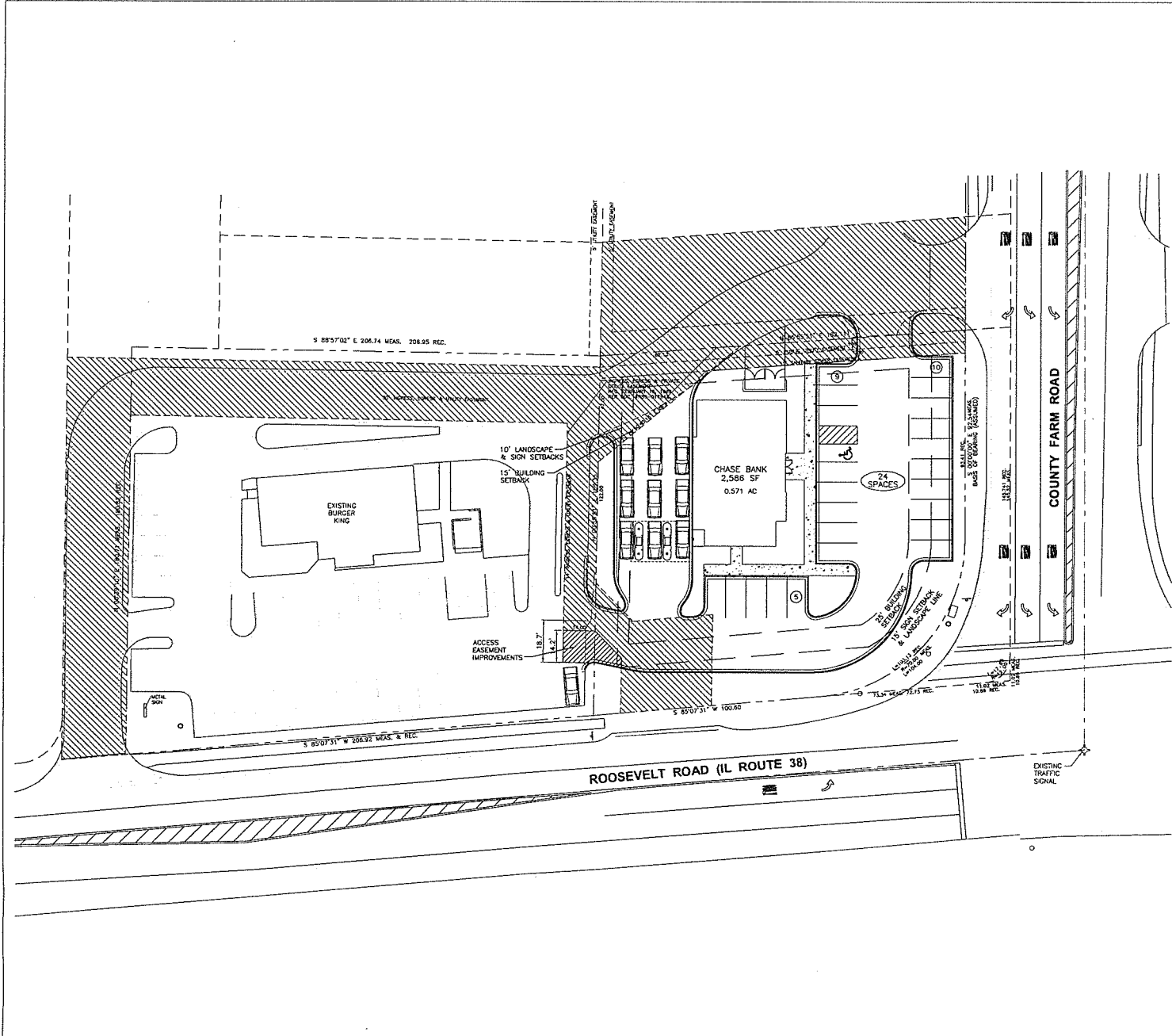
Ayes: ROLL CALL VOTE:
 Councilman Johnson
 Councilman Levine
 Mayor Pro Tem Mouhelis
 Councilman Prendiville
 Councilwoman Corry

Nays: None

Absent: Mayor Gresk
 Councilman Sues

Motion Carried Unanimously

Passed: January 20, 2009
Published: January 21, 2009



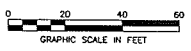
- ### SITE LEGEND
- INDICATES STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL 10/C60-1)
 - INDICATES HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 10/C60-1)
 - INDICATES CONCRETE
 - INDICATES EXISTING EASEMENT
 - DEMOLITION CURB AND GUTTER
 - EXISTING CURB AND GUTTER
 - POSITIVE SLOPED CURB AND GUTTER
 - NEGATIVE SLOPED CURB AND GUTTER
 - ACCESSIBLE RAMP
 - LIGHT POLE (SEE LIGHTING PLAN)
 - PARKING COUNT

- ### SITE NOTES
- ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED. ALL RADIUS DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB & GUTTER SHALL BE 8-6.12 UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS TO MEET REQUIREMENTS OF THE ILLINOIS ADA ACCESSIBILITY CODE.
 - SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE DETAILS/SLAB DETAIL.

- ### SITE KEY NOTES
- ① STOP SIGN, R1-1
 - ② STOP LINE (24"), WHITE
 - ③ ACCESSIBLE CURB RAMP
 - ④ ACCESSIBLE PARKING SIGN
 - ⑤ CONCRETE SIDEWALK
 - ⑥ 4" WIDE STRIP, TRAFFIC YELLOW PAINT
 - ⑦ "NO PARKING" SIGN
 - ⑧ DEPRESSED CURB
 - ⑨ CONCRETE PAVEMENT
 - ⑩ DIRECTIONAL SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - ⑪ CONCRETE TRANSFORMER PAD
 - ⑫ BIKE RACK
 - ⑬ "DO NOT ENTER" SIGN
 - ⑭ DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - ⑮ MONUMENT SIGN (COORDINATE FINAL LOCATION WITH LANDSCAPE PLAN)
 - ⑯ FIRE DEPARTMENT CONNECTION

SITE DATA

PROPOSED LOT = ±24889 SF / ±0.571 ACRES
 BUILDING AREA = 2,586 S.F.
 PARKING REQUIRED = 18 SPACES (6/1000 SF)
 PARKING PROVIDED = 24 SPACES (9/1000 SF)



REVISION	
No.	DATE

PROJECT No.:	85765
DATE:	SEP 2008
DES. INR.	
DR.	JRW
CKD.	JRW

1815 South Meyers Road
 Suite 120, Wheaton, IL 60181
 630-924-9080
 630-924-9080
 FAX: 630-985-1731

**CHASE BANK WHEATON
 SITE IMPROVEMENT PLANS**
 NORTHWEST CORNER OF COUNTY FARM ROAD AND ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

SITE PLAN


SHEET No.	C200
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CHASE BANK WHEATON SITE IMPROVEMENT PLANS

2185 WEST ROOSEVELT ROAD
CITY OF WHEATON, DUPAGE COUNTY, IL
NOVEMBER 2008

NWS ARCHITECTS

230 W. MONROE, SUITE 210
CHICAGO, IL 60606

 WOOLPERT, INC.
1815 South Meyers Road
Suite 120
Oakbrook Terrace, IL 60181
630.424.9080
FAX: 630.495.3731

UTILITY CONTACTS:

JULIE
(800) 892-0123

WATER SERVICE
CITY OF WHEATON
210 WEBER STREET
WHEATON, ILLINOIS 60187
(630) 700-2090

SANITARY SEWER SERVICE
DU PAGE COUNTY OF PUBLIC WORKS
7900 S. ROUTE 53
WOODRIDGE, ILLINOIS 60517
(630) 955-7400

CITY DEPARTMENT OF
TRANSPORTATION AND ENGINEERING
CITY OF WHEATON
303 WEST WESLEY STREET
WHEATON, ILLINOIS 60187
(630) 200-2065

GAS SERVICE:
NICOR GAS
90 NORTH FAIRLEY
CLEAN ELYN, ILLINOIS 60137
(630)629-2500 EXT. 332
RYAN BANKS

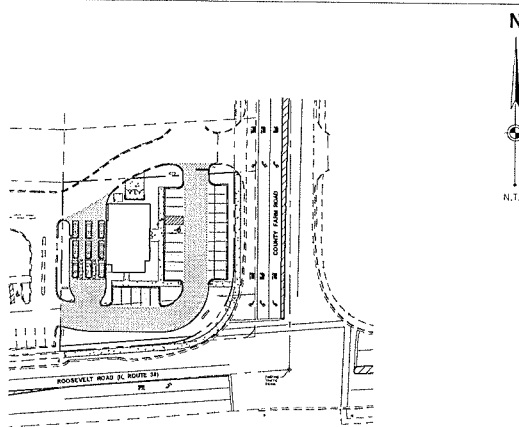
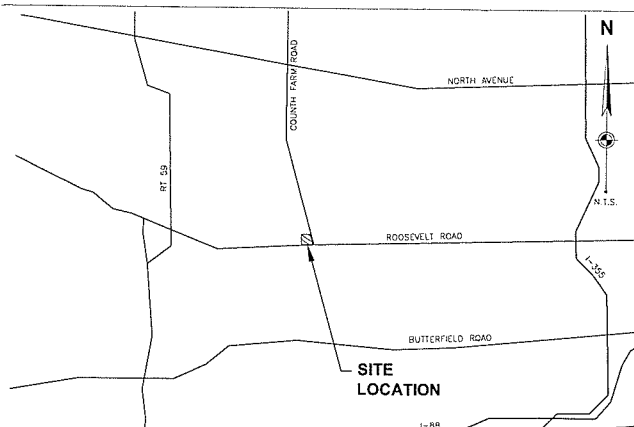
STORM SEWER SERVICE
CITY OF WHEATON
821 WEST LIBERTY DRIVE
WHEATON, ILLINOIS 60187
(630) 200-2110

ELECTRIC SERVICE
COMMONWEALTH EDISON
1 N. 423 SWIFT ROAD
LEMOIR, ILLINOIS 60148
(630) 891-4379

TELEPHONE SERVICE
SBC
370 EXCHANGE COURT
AURORA, ILLINOIS 60504
(630) 620-3878
DAVE BERNARD



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EROSION CONTROL NOTES

- 1. CONTRACTOR TO INSTALL INLET PROTECTION ON ALL CATCH BASINS PER DETAILS.
2. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. INSPECTION AND RESEEDING SHALL BE PERFORMED AS NECESSARY TO ENSURE ADEQUATE VEGETATIVE ESTABLISHMENT.
3. EROSION CONTROL DEVICES AS SHOWN ARE THE MINIMUM PROTECTION REQUIREMENTS. THE CONTRACTOR IS REQUIRED TO INSTALL ADDITIONAL DEVICES FOR PROTECTION AT HIS EXPENSE TO MINIMIZE EROSION PER LOCAL REQUIREMENTS.
4. ANY TEMPORARY STOCKPILE OF SOIL PLACED BY THE CONTRACTOR SHALL BE STABILIZED AND PROTECTED FROM EROSION.
5. A WINTER CONDITION INSPECTION SHALL OCCUR NO LATER THAN OCTOBER 1ST AND TEMPORARY SEEDING AND MULCHING SHALL BE PERFORMED. SEEDING AND/OR OTHER WINTER CONTROL MEASURES TO BE INSTALLED NO LATER THAN OCTOBER 15TH.
6. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS OR STREETS. THIS MAY REQUIRE PERIODIC GRADING OF ACCUMULATED EARTH AND/OR TOP DRESSING WITH ADDITIONAL AGRI-CULTURE. ALL SEDIMENT SPILLED, DROPPED OR WASHED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE.
7. SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPLSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE AND THE FENCE IS STILL NECESSARY, THE FABRIC OR THE ENTIRE SYSTEM SHALL BE REPLACED PROMPTLY.
8. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
9. SEDIMENT DEPOSITS SHOULD BE REMOVED FROM SILT FENCES AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE. A SEEDING PREPARED AND THE SITE VEGETATED.
10. ALL EROSION CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS OF A SIGNIFICANT RAINFALL. RECORDS OF THESE INSPECTIONS AND CORRECTIVE ACTIONS TAKEN SHALL BE MAINTAINED ON FILE IN THE CONSTRUCTION OFFICE FOR PERIODIC REVIEW.
11. THE TEMPORARY CONSTRUCTION ENTRANCE AND SILT FENCE SHALL BE INSTALLED WHERE NOTED ON THE PLANS PRIOR TO SITE CONSTRUCTION. TEMPORARY SEEDING SHALL BE PLACED OVER ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 14 DAYS. THE DETENTION BASIN SHALL BE INSTALLED EARLY IN THE MASS GRADING PHASE AND SHALL HAVE EROSION CONTROL BLANKET PROTECTION AND PERMANENT SEEDING INSTALLED ON THE SITE SLOPES IMMEDIATELY UPON COMPLETION. UPON COMPLETION OF THE STORM SEWER SYSTEM, INLET PROTECTION SHALL BE INSTALLED AT EACH STRUCTURE TO CONTROL SEDIMENT TO THE DETENTION AREA. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE SITE IS PERMANENTLY STABILIZED.
12. SEQUENCE OF MAJOR SITE WORK ACTIVITIES: PHASE I - EROSION CONTROL/EARTHWORK PHASE II - UNDERGROUND UTILITIES PHASE III - PAVING/CURBING PHASE IV - LANDSCAPING/SEEDING

GRADING NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEM(S). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
2. ALL FIELD TIE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
3. ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WHEATON AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
4. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
5. PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
6. CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
7. ALL ROOF LATERALS OUT OF THE BUILDING SHALL BE PVC 3/4" UNLESS OTHERWISE NOTED.
8. PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR OUYGLIGHT AT THE BOTTOM OF THE FILL SLOPE.
9. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING FOR EROSION CONTROL. PERMIT.
10. SLOPE SLOPES 3:1 OR GREATER WILL BE SODDED OR STABILIZED WITH AN EROSION CONTROL BLANKET BY THE SITE CONTRACTOR. EROSION CONTROL BLANKET SHALL BE TYPE SC150, STRAW/FIBER. EROSION CONTROL BLANKET AS MANUFACTURED BY NORTH AMERICAN GREEN COMPANY, OR AN ENGINEER APPROVED EQUAL.
11. SPOT ELEVATIONS AT TIE IN TO EXISTING CURB AND OUTLET ARE APPROXIMATE. CONTRACTOR TO MATCH EXISTING ELEVATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UNDERGROUND OR SURFACE UTILITIES EVEN THOUGH THEY MAY NOT BE SHOWN ON THE PLANS. ANY UTILITY THAT IS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND THE OWNER, OR REPLACED.
13. TOP SOIL EXCAVATION: THIS WORK WILL CONSIST OF EXCAVATING, TRANSPORTING, SPREADING, STOCKPILING IF NECESSARY, COMPACTING IF NECESSARY, AND FINISHING TOPSOIL MATERIAL IN ACCORDANCE WITH THE LINES AND GRADES ESTABLISHED ON THE PLANS AND DIRECTED BY THE ENGINEER. IF THE PLANS SPECIFY THAT THE EXCAVATED TOPSOIL IS TO BE SPREAD ON LOT AREAS OR PARKWAYS, IT SHALL BE PLACED IN UNIFORM LAYERS AND GRADED SMOOTH TO MEET THE LINES, GRADES, AND A MINIMUM THICKNESS SHOWN ON THE PLANS. IF IT IS SPECIFIED THAT THE TOPSOIL IS TO BE STOCKPILED, A SITE WILL BE DESIGNATED ON THE PLANS OR BY THE ENGINEER IN THE FIELD.
14. PARKWAY RESTORATION SHALL BE ACCOMPLISHED WITH SIX (6) INCHES OF PULVERIZED TOPSOIL AND SOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIRST THREE (3) WATERINGS OF THE SOD. ALL RESTORATION SHALL MEET THE SATISFACTION OF THE CITY OF WHEATON.
15. THE CONTRACTOR WILL BE RESPONSIBLE FOR ERRECTING CONSTRUCTION FENCE AROUND ALL EXISTING TREES AND LANDSCAPING TO REMAIN ALONG THE WEST SIDE OF THE SITE. THIS SHALL BE MAINTAINED AT ALL TIMES UNTIL THE COMPLETION OF THE PROJECT.

UTILITY NOTES

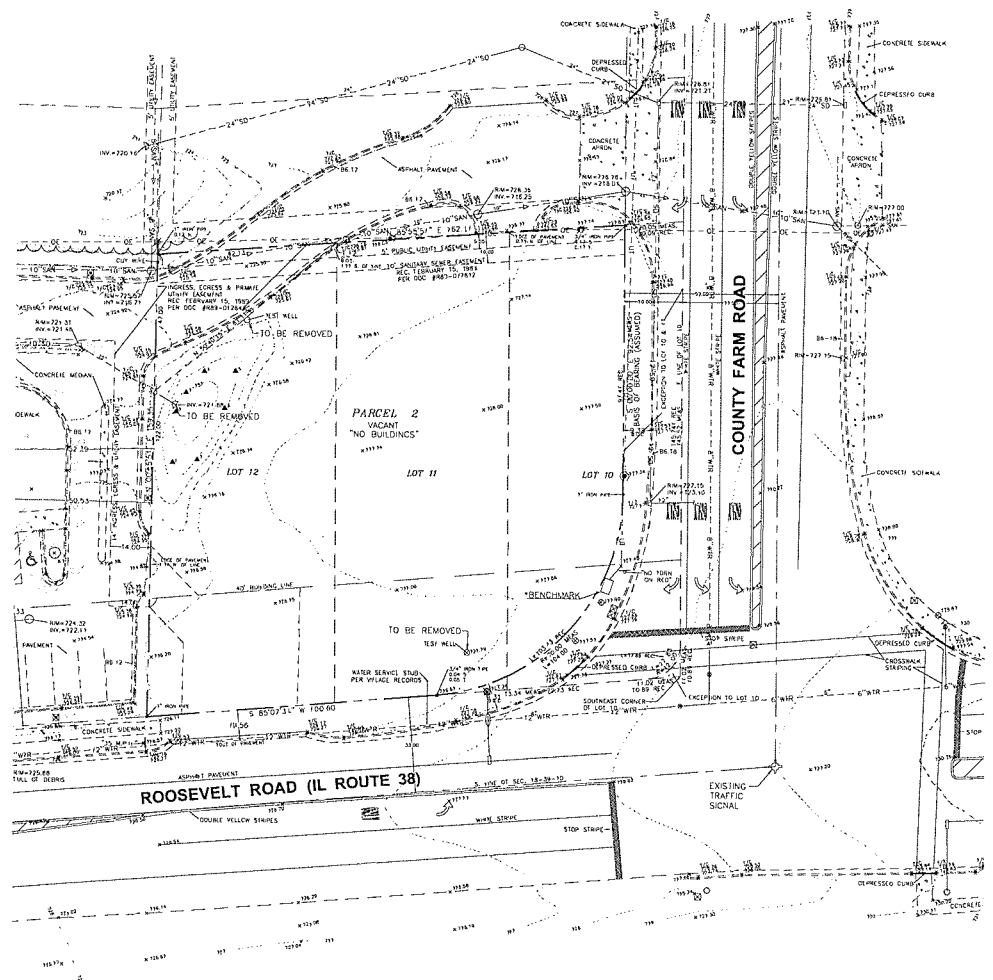
- 1. NICOR TO DESIGN, SUPPLY AND INSTALL THE GAS SERVICE LINE. IF PAVING IS COMPLETE PRIOR TO GAS SERVICE INSTALLATION, CONTRACTOR TO PROVIDE 1-1/2" PVC SCH 40 CONDUIT UNDER PAVED AREAS.
2. SEC TO SUPPLY AND INSTALL TELEPHONE CABLE. CONTRACTOR TO PROVIDE 1-1/2" PVC SCH 40 CONDUIT FROM THE BUILDING TO EXISTING AMERICAN TELEPHONE, CABLE AND STATE LOCATION.
3. COM ED TO SUPPLY AND INSTALL PRIMARY ELECTRIC SERVICE. CONTRACTOR TO PROVIDE 2-1/2" PVC SCH 40 CONDUITS UNDER PAVED AREAS.
4. CONTRACTOR TO PROVIDE ANY SPECIAL BACKFILL MATERIALS, OTHER THAN THE NATIVE SOILS, REQUIRED FOR INSTALLATION OF THE TELEPHONE, GAS & ELECTRIC SERVICES.
5. EXACT LOCATIONS OF ALL UTILITY CONNECTIONS AT THE BUILDING SHALL BE COORDINATED WITH THE BUILDING PLANS AND GENERAL CONTRACTOR PRIOR TO PROCEEDING WITH CONSTRUCTION OF UTILITY SERVICES TO THE BUILDING.
6. ALL SEWER MAIN CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN THE ILLINOIS LATEST EDITION AND ALL REVISIONS THEREOF, WITH THE STANDARD SPECIFICATIONS PER THE CITY OF WHEATON DRAINAGE AND WITH THESE CONSTRUCTION NOTES. A COPY OF THE ABOVE SPECIFICATIONS SHALL BE IN THE POSSESSION OF THE CONTRACTOR ON THE PROJECT AT ALL TIMES.
7. ALL SANITARY SEWER MAINS SHALL HAVE A MINIMUM COVER OF 4'-0" FROM PROPOSED SURFACE.
8. TRENCH BACKFILL MATERIAL SHALL BE 100% GRADATION CA-6 OR FA-6 COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
9. THE CONTRACTOR SHALL MARK THE END OF ALL SANITARY SERVICE LINES WITH A 2"x4" YELLOW PINE WOOD POST AT LEAST TWELVE (12) FEET IN LENGTH. THE POST SHALL BE BURIED WITH APPROXIMATELY THREE (3) FEET OF ITS LENGTH EXPOSED AND THE EXPOSED PORTION SHALL BE PAINTED GREEN.
10. THE CONTRACTOR SHALL MAINTAIN A RECORD OF THE LOCATION OF ALL SANITARY SEWER SERVICE CONNECTIONS WITH LOCATIONS ALONG SEWER MAINS BY MEASUREMENTS TO THE NEAREST DOWNSTREAM MARKER. THE CONTRACTOR WILL TIE IN THE LOCATION OF THE END OF ALL SANITARY SEWER SERVICE LINES BY THE MEASUREMENTS TO LOT CORNERS AND BY MEASURING THE APPROXIMATE DEPTH FROM THE GROUND LINE TO THE PIPE INVERT AND WILL FURNISH A COPY OF SUCH TIE-INS TO THE CITY OF WHEATON DEPARTMENT OF ENGINEERING AND CONSTRUCTION.
11. REQUIRED TESTING: ALL TESTS SHALL BE SUPERVISED BY A REPRESENTATIVE OF THE CITY OF WHEATON SEWER DIVISION. ALL TESTS SHALL BE SCHEDULED 48 HOURS IN ADVANCE.
A. AIR TEST: ALL SANITARY SEWER SHALL PASS AN AIR TEST IN CONFORMANCE WITH SECTION 31 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS". THE SEWER SHALL BE TESTED AT AN INITIAL PRESSURE OF 3.5 PSI ABOVE THE GROUND WATER, AND THE TIME FOR A PRESSURE DROP OF 1 PSI SHALL BE DETERMINED. THE TIME FOR THE PRESSURE DROP TO OCCUR SHALL NOT BE LESS THAN THAT SPECIFIED BY THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS".
B. DEFLECTION TEST: ALL PVC SANITARY SEWER SHALL PASS A MANHOLE TEST IN CONFORMANCE WITH SECTION 31 OF THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS".
C. TELEVISION TEST: ALL PUBLIC SANITARY SEWER SHALL PASS A TELEVISION TEST. THE TELEVISION ACTIVITIES MAY BE PERFORMED BY THE OPAQUE COUNTY DEPARTMENT OF PUBLIC WORKS (AT THE EXPENSE OF THE CONTRACTOR), OR BY AN INDEPENDENT AGENCY.
12. ALL WATER MAINS SHALL BE DUCTILE CAST IRON, CLASS 52, IN ACCORDANCE WITH ANSI SPECIFICATION A21.51 OR AWWA C111 FITTINGS SHALL BE CEMENT UNED IN ACCORDANCE WITH AWWA C-114. JOINTS SHALL BE PUSH-ON OR MECHANICAL IN CONFORMANCE WITH ANSI A21.11 AND AWWA C111. ELECTRICAL CONDUCTIVITY SHALL BE PROVIDED WITH BRASS WEGGES. ALL BELOW GRADE FACTORY INSTALLED BOLTS & FASTENERS SHALL BE 304 GRADE STAINLESS STEEL.
13. CURB BOX SHALL BE MUELLER WITH MINNEAPOLIS PATTERN BASE H-10300.
14. CURB STOP SHALL BE MUELLER 300 BALL CURB VALVE B-25150 OR FORD BALL VALVE CURB STOP B-44-SIZE M OR B44-SIZE M-C.
15. CORPORATION COCK SHALL BE MUELLER 300 BALL CURB VALVE B-25000 OR H-15000 OR FORD CORPORATION STOPS FB600.
16. CORPORATION COCK QUARTER AND EIGHTH BENDS SHALL BE MUELLER BRASS WITH COMPRESSION ENDS AND SWIVEL NUT OR FORD BRASS WITH COMPRESSION ENDS AND SWIVEL NUT FLARE NUT, NON-SWIVEL ACCEPTED ON SIZES WHERE OTHERS AREN'T MADE.
17. FLANGED PLUG WITH TAP TO BE GRIFFEN PIPE COMPANY M2-PDGT OR APPROVED EQUAL.

- 18. ALL WATER MAINS, HYDRANT LATERALS, AND SERVICES SHALL HAVE A MINIMUM COVER OF 5'-0" AND A MAXIMUM COVER OF 10'-0" FROM PROPOSED SURFACE.
19. ALL EXISTING SERVICES SHALL BE ABANDONED AT THE CORPORATION STOP (CLOSE CORPORATION STOP & CUT SERVICES) EXISTING SERVICES SHOULD BE REPLACED FROM THE NEW MAIN TO THE B-BOX IF SERVICE IS LEAD. IF SERVICE IS COPPER, IT SHOULD BE CUT AND TAPPED INTO THE NEW MAIN. TRENCH BACKFILL IS TO BE PLACED WHERE ANY TRENCH LIES WITHIN TWO (2) FEET OF PAVEMENT, CURB OR SIDEWALK. IT IS ASSUMED ALL LINES ARE LEAD AND MUST BE REPLACED TO B-BOX.
20. WATER SERVICES MAY ONLY BE INTERRUPTED WHEN THE TRANSFER OF SERVICES TO THE NEW MAIN TAKES PLACE. SERVICES SHALL BE TRANSFERRED SUBSEQUENT TO TESTING AND CHLORINATION OF THE PROPOSED MAIN. THE CONTRACTOR SHALL CONTACT THE WHEATON WATER DIVISION AT (630) 260-2090 PRIOR TO TRANSFER OF SERVICES. RESIDENTS MUST BE INFORMED OF ANY INTERRUPTION TO THEIR WATER SERVICES 48 HOURS IN ADVANCE.
21. TRENCH BACKFILL MATERIAL SHALL BE 100% GRADATION CA-6 OR FA-6 COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
22. PIPE COMPOUND WILL NOT BE PERMITTED IN ANY WATER MAIN CONSTRUCTION, INCLUDING SERVICE CONNECTIONS.
23. THE CONTRACTOR SHALL MARK THE END OF ALL SERVICES INSTALLED WITH A 2"x4" YELLOW PINE WOOD POST AT LEAST SIX (6) FEET IN LENGTH. THE POST SHALL BE BURIED WITH APPROXIMATELY THREE (3) FEET OF ITS LENGTH EXPOSED. THE EXPOSED PORTION OF THE STAKE SHALL BE PAINTED BLUE.
24. THE CONTRACTOR SHALL TIE IN THE LOCATION OF ALL SERVICE BOXES TO LOT CORNERS AND SHALL FURNISH A COPY OF SURVEY TIE-INS TO THE ENGINEER.
25. REQUIRED TESTING: ALL TESTS SHALL BE SUPERVISED BY A REPRESENTATIVE OF THE CITY OF WHEATON SEWER DIVISION. ALL TESTS SHALL BE SCHEDULED 48 HOURS IN ADVANCE.
A. DISINFECTION: ALL PUBLIC WATER MAIN SHALL PASS A DISINFECTION TEST IN CONFORMANCE WITH AWWA C651-B6. THE FOLLOWING TEST CRITERIA SHALL BE MET:
* 350 PPM INITIAL CHLORINE CONCENTRATION (CHLORINE GAS ONLY)
* 325 PPM RESIDUAL CHLORINE CONCENTRATION (AFTER 24 HOUR DURATION).
SAMPLE MUST BE EXTRACTED UNDER THE SUPERVISION OF A CITY OF WHEATON REPRESENTATIVE AND ANALYZED BY A LABORATORY OF THE CITY'S CHOICE.
B. LEAKAGE TEST: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A PRESSURE TEST IN CONFORMANCE WITH AWWA C-600 AND C-602. ALLOWABLE LEAKAGE IN GALLONS PER HOUR MAY NOT EXCEED THAT DETERMINED BY THE FOLLOWING FORMULA:
L = (D) / (7400)
L = Allowable leakage in gallons per hour
D = Number of joints in length of tested main
D = Normal inside diameter of pipe in inches
P = Average test pressure in psi
C. PRESSURE TEST: ALL PUBLIC WATER MAIN IMPROVEMENTS SHALL PASS A PRESSURE TEST IN CONFORMANCE WITH THE REQUIREMENTS OF AWWA/CMAA C600-87 SECTION 4. THE FOLLOWING TEST CRITERIA SHALL BE MET:
* INITIAL PRESSURE: 150 PSI OR TWICE THE LINE PRESSURE, WHICHEVER IS GREATER.
* AT THE END OF 4 HOURS A RECOVERY WILL BE PERFORMED NOT TO EXCEED THE ALLOWABLE LEAKAGE.
* THE FINAL PRESSURE MUST RECOVER TO THE INITIAL PRESSURE.
* ALL EQUIPMENT TO BE PROVIDED BY CONTRACTOR.
* IF AN EXISTING VALVE IS UTILIZED FOR THE PRESSURE TEST, THE CONTRACTOR IS RESPONSIBLE FOR THE PERFORMANCE OF THE VALVE.
* TEST TO BE OBSERVED BY CITY OF WHEATON REPRESENTATIVE.
26. ABANDON EXISTING INVERT, PLUG WITH WATER TIGHT SEAL. CORE NEW INVERT AND INSTALL RUBBER BOOT.
27. REPLACE LAST SECTION OF 6" PVC STORM SEWER PIPE WITH 8" D.I. PIPE WITH FLANGE, BOLT RESTRICTOR TO NEW PIPE AT FLANGE CONNECTION. INSTALL EXISTING CHAIN ON PROPOSED RESTRICTOR.

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CHASE BANK WHEATON SITE IMPROVEMENT PLANS
2415 WEST ROOSEVELT ROAD
WHEATON, ILLINOIS 60181
GENERAL NOTES
PROJECT NO: 88776
DATE: NOV 2020
DATE PLOTTED: 11/17/2020
PLOTTER: HP
SCALE: 1/8"=1'-0"
SHEET NO. C001

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EXISTING LEGEND

- MANHOLE
- CATCH BASIN
- CURB INLET
- DOUBLE CURB INLET
- END SECTION
- ROUND CATCH BASIN
- ◇ TRAFFIC SIGNAL
- TELEPHONE POLE
- TELEPHONE/POWER POLE
- TRAFFIC POLE
- POWER POLE
- LIGHT POLE
- POWER/LIGHT POLE
- TELEPHONE/POWER/LIGHT POLE
- CUY WIRE
- GROUND LIGHT
- FLAG POLE
- STREET SIGN
- VALVE
- FIRE HYDRANT
- WATER METER
- WATER SHUTOFF VALVE
- REDUCER
- WATER SPRINKLER
- FIRE DEPARTMENT CONNECTION
- WELL
- SWANEE CONNECTION
- POST INDICATOR VALVE
- BENCHMARK
- POST/HOLLARD
- BUSH/SHRUB
- DECIDUOUS TREE, LESS THAN 6" DIA. UNLESS OTHERWISE NOTED
- EVERGREEN TREE, LESS THAN 6" DIA. UNLESS OTHERWISE NOTED
- SOIL BORING LOCATION
- CLEAN OUT
- SANITARY LIFT STATION
- GAS METER
- GAS REGULATOR
- GAS MANHOLE
- GAS SHUT OFF
- GAS FILLER
- GAS TUMP
- TRANSFORMER
- ELECTRIC MANHOLE
- ELECTRIC RISER
- ELECTRIC PEDESTAL
- JUNCTION BOX
- HAND HOLE
- HEATING/AIR CONDITIONING UNIT
- VAULT
- TELEPHONE MANHOLE
- TELEPHONE RISER
- TELEPHONE RISER
- TELEPHONE PEDESTAL
- PULL BOX
- CABLE PEDESTAL
- UTILITY MARKER
- FOUND IRON PIN
- FOUND CAPPED IRON PIN
- FOUND BRASS PLUG
- FOUND HIGHWAY MONUMENT
- FOUND IRON PIPE
- FOUND PAVIL
- FOUND RIGHT-OF-WAY MARKER
- FOUND BOAT SPIKE
- FOUND JARRISON MONUMENT
- FOUND CROSS
- MAILBOX
- SPOT ELEVATION
- SO --- STORM SEWER W/SIZE INDICATED
- SAN --- SANITARY SEWER W/SIZE INDICATED
- WM --- WATER MAIN W/SIZE INDICATED
- G --- GAS MAIN
- UE --- UNDERGROUND ELECTRIC
- OE --- OVERHEAD ELECTRIC
- UF --- UNDERGROUND TELEPHONE
- F --- FENCE
- 100 --- INDEX CONTOURS
- 200 --- INTERMEDIATE CONTOURS
- --- EXISTING BOUNDARY
- --- CURB REMOVAL



SURVEY COMPLETED BY T.K.D.
 LAND SURVEYORS, INC.
 JULY 2, 2008

REVISION	
No.	DATE

PROJECT NO:	68776
DATE:	NOV. 2008
DES. BY:	JH
DR. BY:	JW
CHK. BY:	JR

1815 South Meyers Road
 Suite 120
 Wheaton, IL 60181
 Phone: 630.424.9886
 Fax: 630.495.3731

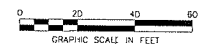


CHASE BANK WHEATON
SITE IMPROVEMENT PLANS
 218 WEST ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS
EXISTING CONDITIONS/DEMOLITION PLAN



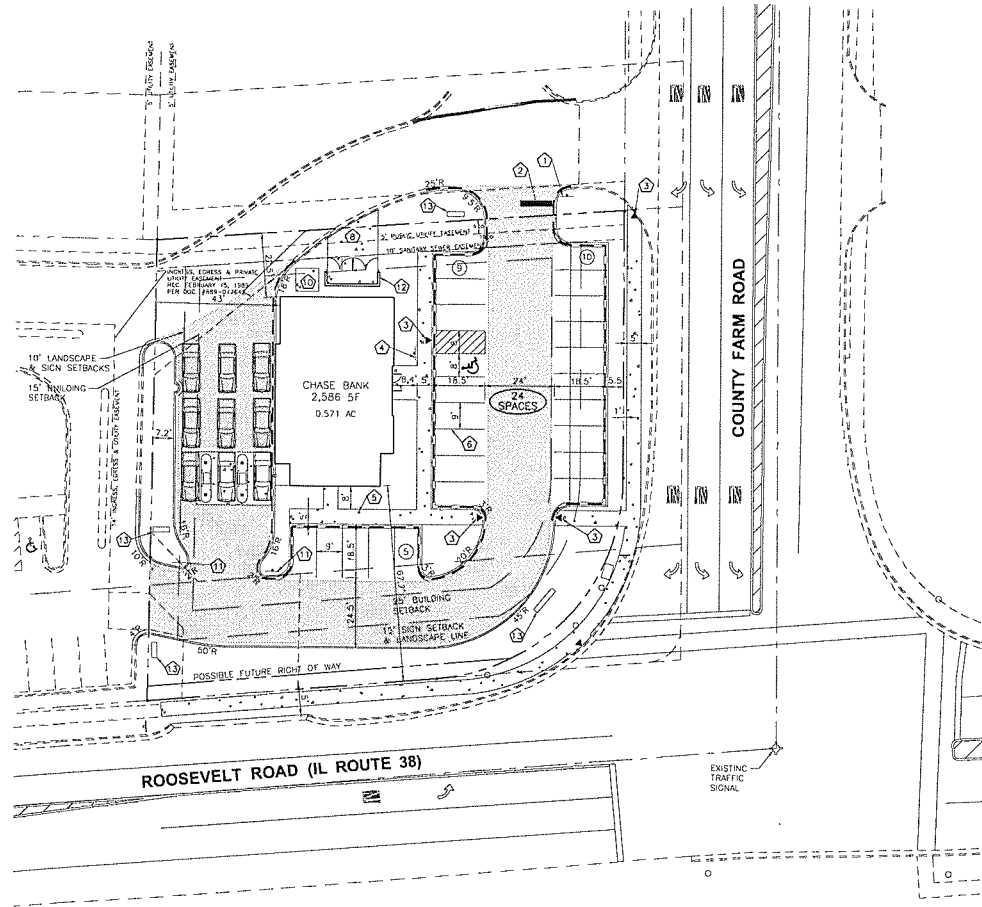
CALL 1-800-892-0123
 BEFORE YOU DIG

SHEET NO.



C100

Project: Job Name: C200 - Improvements - Xrefs: 68776-111.kwd; 68776-1.dwg; 68776-1.dwg
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SITE LEGEND

- INDICATES STANDARD DUTY ASPHALT PAVEMENT (SEE DETAIL B/C500)
- INDICATES HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL B/C500)
- INDICATES CONCRETE
- POSITIVE SLOPED CURB AND GUTTER
- NEGATIVE SLOPED CURB AND GUTTER
- ACCESSIBLE RAMP
- LIGHT POLE (SEE LIGHTING PLANS)
- PARKING COUNT

- ### SITE NOTES
- ALL DIMENSIONS, RADII, AND COORDINATES ARE TO BACK OF CURB WHERE APPLICABLE. BACK OF CURB RADII DIMENSIONS ARE 5' UNLESS OTHERWISE NOTED.
 - ALL CURB & GUTTER SHALL BE B-6.12 UNLESS OTHERWISE NOTED.
 - ALL SIDEWALKS TO MEET REQUIREMENTS OF THE ILLINOIS ADA ACCESSIBILITY CODE.

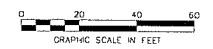
- ### SITE KEY NOTES
- ① STOP SIGN, R1-1
 - ② STOP LINE (24"), WHITE
 - ③ ACCESSIBLE CURB RAMP; SEE NOTE 3
 - ④ ACCESSIBLE PARKING SIGN
 - ⑤ CONCRETE SIDEWALK; SEE NOTE 3
 - ⑥ 4" WIDE STRIP, TRAFFIC YELLOW PAINT
 - ⑦ DEPRESSED CURB
 - ⑧ CONCRETE PAVEMENT
 - ⑨ DIRECTIONAL SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - ⑩ CONCRETE TRANSFORMER PAD
 - ⑪ "DO NOT ENTER" SIGN
 - ⑫ DUMPSTER ENCLOSURE AND CONCRETE SLAB (SEE ARCHITECTURAL PLANS FOR DETAILS)
 - ⑬ MONUMENT SIGN (SEE ARCHITECTURAL PLANS)

SITE DATA

PROPOSED LOT = ±24889 SF / ±0.571 ACRES
 BUILDING AREA = 2,586 SF.
 PARKING REQUIRED = 16 SPACES (6/1000 SF)
 PARKING PROVIDED = 24 SPACES (9/1000 SF)



1 (800) 832-0123
 88 West Roosevelt Road
 Wheaton, IL 60181



No.	DATE	REVISION

PROJECT No: 68776 DATE: NOV 2008 DES. BY: [] DR. BY: [] CHK. BY: []	1815 South Meyers Road Suite 120 Wheaton, IL 60181 630-424-0950 630-424-0950 FAX: 630-425-3731
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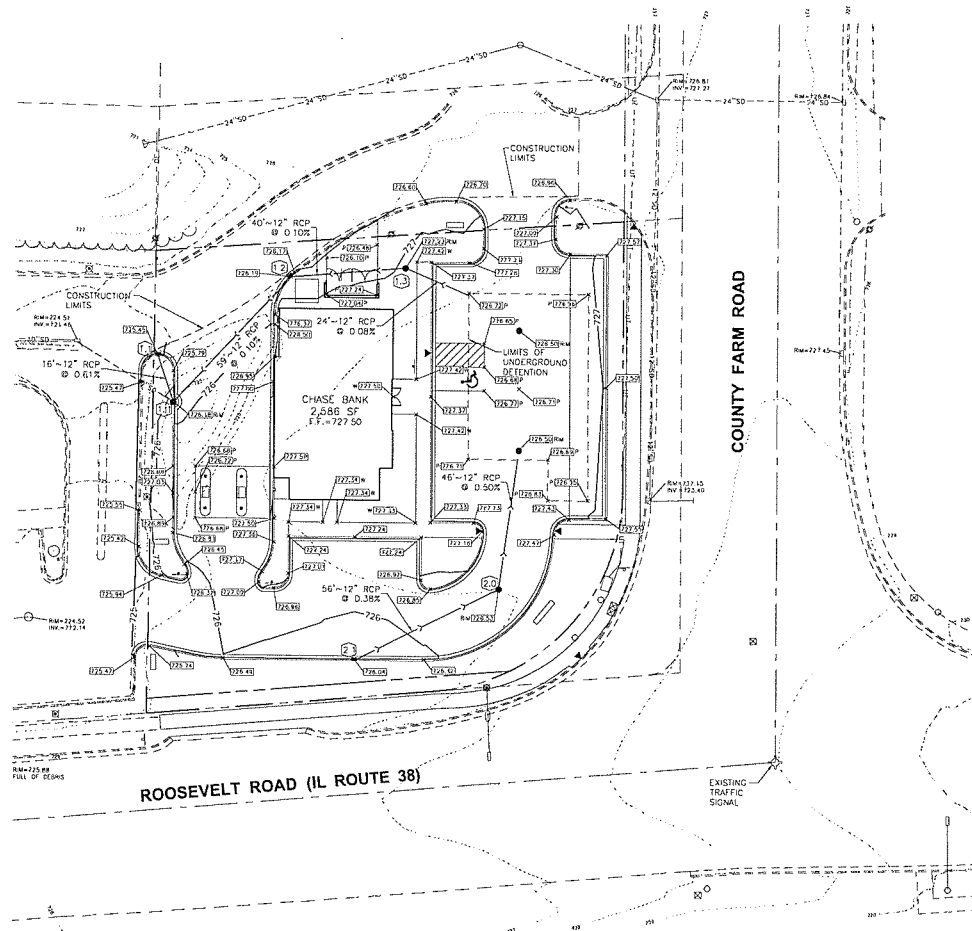
WOOLPERT

CHASE BANK WHEATON
SITE IMPROVEMENT PLANS
 2145 WEST ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

SITE PLAN

SHEET NO. **C200**

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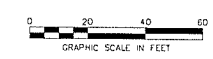


GRADING LEGEND

	EXISTING BOUNDARY
	PROPOSED BOUNDARY
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	PROPOSED STORM DRAIN
	PROPOSED ROOF DRAIN
	DIRECTION OF FLOW
	OVERLAND FLOW ROUTE
	ELEVATION AT TOP OF CURB
	ELEVATION AT TOP OF PAVEMENT
	ELEVATION AT DRADE
	ELEVATION AT TOP OF SLAB
	ELEVATION AT TOP OF WALK
	ELEVATION AT STRUCTURE RM
	ELEVATION TO MATCH EXISTING GRADE
	PROPOSED CATCH BASIN
	PROPOSED CURB INLET
	PROPOSED STORM MANHOLE
	PROPOSED FLARED END SECTION
	ACCESSIBLE SIDEWALK RAMP WITH DETECTABLE WARNING. SEE DETAIL 5/C201
	INDICATES DETAIL LOCATION (DETAIL NUMBER/DETAIL SHEET)
	PROPOSED STORM STRUCTURE CALLOUT

GRADING NOTES

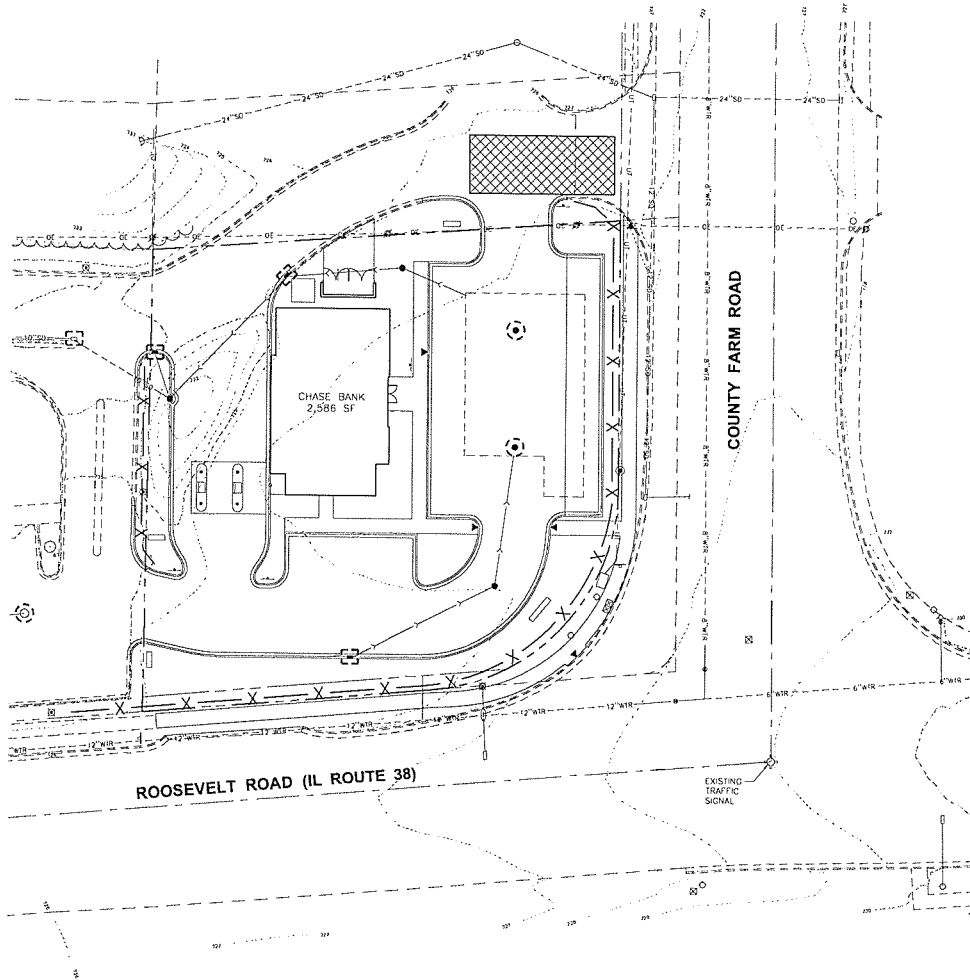
- CONTOURS SHOWN ARE FOR REFERENCE ONLY.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT OR GREEN AREAS.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE ORANGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
- CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS, SIZES, AND MATERIAL OF ALL EXISTING UTILITIES WHICH ARE TO BE TAPPED OR EXTENDED ON SITE. ANY DEVIATIONS FROM PLAN INFORMATION SHALL BE PROVIDED TO THE ENGINEER IN WRITING WITHIN 24 HOURS AND PRIOR TO THE START OF CONSTRUCTION ON THAT SYSTEMS). SHOULD THE CONTRACTOR START WORK WITHOUT NOTIFICATION TO THE ENGINEER OF ANY DISCREPANCIES, HE WILL ASSUME ALL RESPONSIBILITY OF THE WORK NECESSARY TO COMPLETE THE PROJECT.
- ALL FIELD TIE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY THE CONTRACTOR.
- ALL STORM ORANGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF WHEATON.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROWWAYS, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE CONSTRUCTION LIMITS IS THE RESPONSIBILITY OF THE CONTRACTOR. AREAS SHALL BE RESTORED TO PRECONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE OWNER.
- CONTRACTOR TO ADJUST ALL EXISTING UTILITY STRUCTURES TO PROPOSED GRADE.
- INVERTS AT BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELIZED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING.



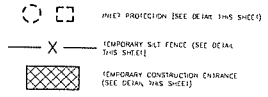
PROJECT No: 68776 DATE: NOV 2008 DES. BY: JH DR. BY: JH CKD. BY: JH	No. DATE REVISION	PROJECT No: 68776 DATE: NOV 2008 DES. BY: JH DR. BY: JH CKD. BY: JH 1815 South Meyers Road Suite 120 Wheaton, IL 60181 630.24.0810 630.24.0810 FAX: 630.495.1731 WOOLPERT
CHASE BANK WHEATON SITE IMPROVEMENT PLANS		GRADING PLAN
2415 WEST ROOSEVELT ROAD CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS		SHEET No. C300



Client: Job Name: C815 - Wheaton - 68776 - BUK Csg. 68776 - x.dwg: 68776 - P.dwg
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EROSION CONTROL LEGEND



EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL, IN ILLINOIS."
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF THE SITE.
3. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL MEASURES MUST BE PROVIDED BY THE DEVELOPER TO VERIFY THE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING PROPERLY. SEDIMENT CONTROL MEASURES SHALL BE IN PROPER WORKING CONDITION AT ALL TIMES.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING OF DEBRIS, DIRT, AND MUD ONTO ADJACENT STREETS, PARKING LOTS, OR PROPERTIES.
5. ALL SEDIMENT MUST BE PREVENTED FROM ENTERING ANY STORM DRAINAGE SYSTEM.
6. ALL DRAINAGE SWALES AND ALL SLOPES 3:1 OR STEEPER SHALL BE SODED.
7. AFTER RAINFALL GREATER THAN 0.5", THE DEVELOPER SHALL INSPECT ALL SEDIMENT CONTROL STRUCTURES AND ANY DAMAGED DEVICES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
8. ALL SEDIMENT CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
9. ALL TEMPORARY SEDIMENT CONTROL STRUCTURES SHALL BE CLEANED AT THE END OF THE PROJECT CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE.
10. TOPSOIL STOCKPILES SHALL BE LOCATED TO AVOID EROSION OF STOCKPILE. NEIGHBORING PROPERTIES OR INTO RESTORED PROJECT AREAS. STOCKPILES SHALL BE LOCATED SO THAT AN ONSITE DRAINAGE SWALE IS LOCATED BETWEEN THE STOCKPILE AND ANY DOWNSTREAM PROPERTIES. IF A STOCKPILE IS TO REMAIN IN PLACE FOR MORE THAN 14 DAYS, IT IS REQUIRED THAT THE STOCKPILE BE SEEDED TO MINIMIZE SOIL EROSION BY BOTH WIND AND WATER.
11. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING A SEPARATE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY WHENEVER 1 ACRE OR MORE OF PROPERTY IS DISTURBED.
12. THE DEVELOPER IS RESPONSIBLE FOR PREPARING AND MAINTAINING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AT THE PROJECT SITE FOR ANY DEVELOPMENT GREATER THAN 1 ACRE.



REVISION	
NO.	DATE

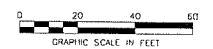
PROJECT No: 68776
 DATE: NOV_2008
 DES. BY: JH
 DR. BY: JW
 CHD. BY: JR

1815 South Meyers Road
 Suite 120
 Wheaton, IL 60181
 630.424.9884
 630.424.9884
 FAX: 630.485.3731

WOOLPERT

**CHASE BANK WHEATON
 SITE IMPROVEMENT PLANS**
 218 WEST ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

EROSION CONTROL PLAN AND DETAILS



SHEET NO. **C301**

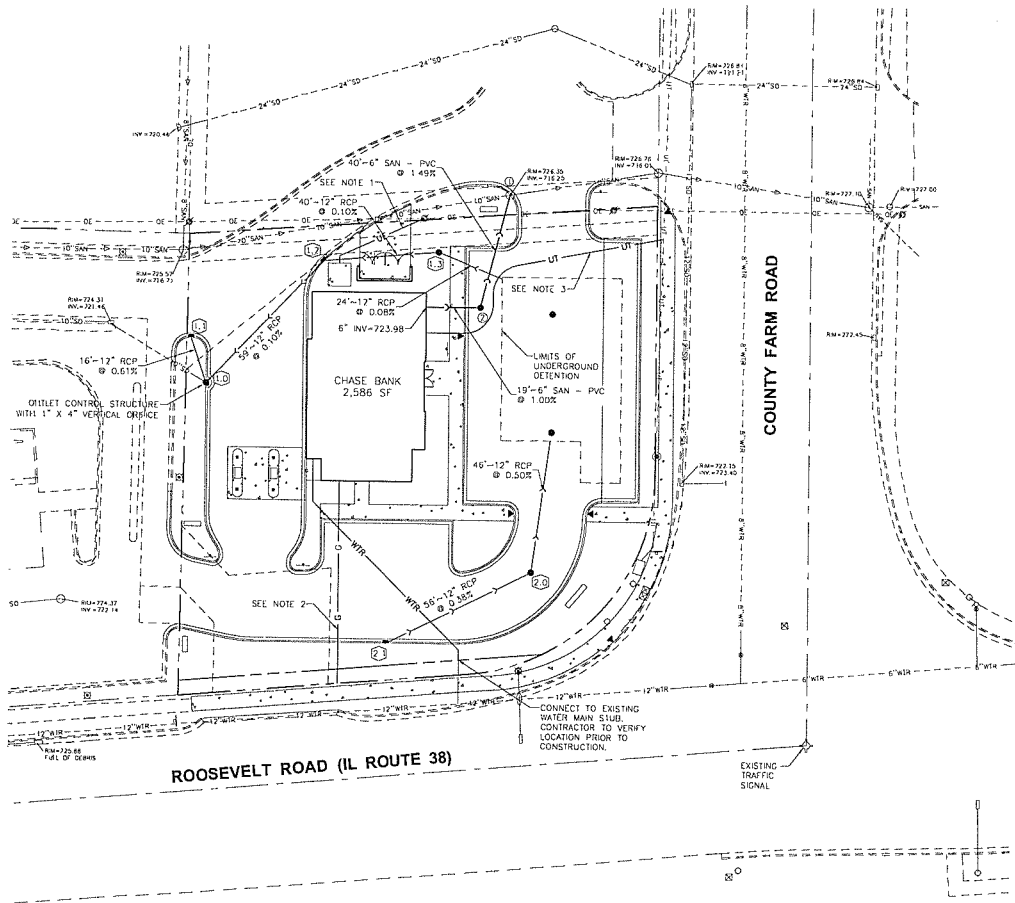
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STORM STRUCTURE TABLE

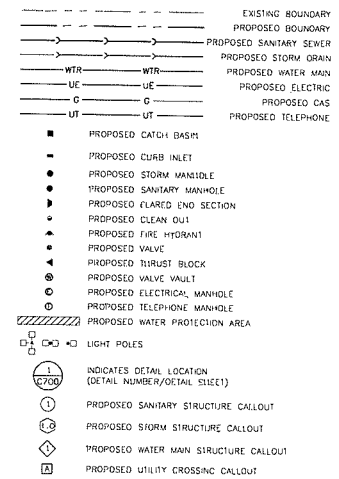
STR ID	STRUCTURE TYPE	DIA.	RIM	INVERTS
1.0	CB TYPE A	4'	726.18	12" = 721.88 (NE) 10" = 721.88 (NW) 12" = 721.78 (S)
1.1	INL TYPE A	2'	725.45	12" = 721.88 (S)
1.2	UBI TYPE A	4'	726.19	12" = 721.84 (E) 12" = 721.74 (SW)
1.3	UBI TYPE A	4'	727.23	12" = 721.96 (E) 12" = 721.88 (N)
2.0	Mit TYPE A	4'	726.53	12" = 722.33 (SW) 12" = 722.23 (N)
2.1	RL TYPE A	2'	725.94	12" = 722.54 (NE)

SANITARY STRUCTURE TABLE

STRUCTURE ID	RIM	INVERT
1	726.94	6" = 723.19 (S)
		6" = 716.25 (W)
		6" = 716.25 (E)
2	726.81	6" = 723.80 (N)
		6" = 723.80 (N)



UTILITY LEGEND



UTILITY NOTES

- 1-4" SCHEDULE 40 PVC CONDUIT FOR LOCATIONS UNDER PROPOSED PAVEMENT. CONTRACTOR TO COORDINATE WITH COMED FOR ELECTRIC SERVICE AND TRANSFORMER LOCATION.
- CONTRACTOR TO COORDINATE WITH NIGOR FOR NATURAL GAS SERVICE.
- 1-4" SCHEDULE 40 PVC CONDUIT FOR LOCATIONS UNDER PROPOSED PAVEMENT. CONTRACTOR TO COORDINATE TELEPHONE SERVICE.
- ALL STORM SEWER SHALL BE CLASS IV REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76. TRENCH SHALL BE BACKFILLED WITH COMPACTED CA-6.
- FIRE SERVICE MAINS AND LEAD IN CONNECTIONS TO SYSTEM RISERS ARE REQUIRED TO BE COMPLETELY FLUSHED BEFORE CONNECTION TO SPRINKLER PIPING IS MADE. NFPA 13, LATEST EDITION, 10-2.1. THE FIRE PREVENTION BUREAU SHALL BE NOTIFIED 24 HOURS IN ADVANCE TO WITNESS THE FLUSH AT 847-985-4452.
- ALL SANITARY SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF WHEATON.
- ALL WATER MAIN CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF WHEATON.
- CONTRACTOR TO COORDINATE SHUTDOWN OF ALL WATER MAINS WITH THE CITY OF WHEATON. CITY SHALL BE GIVEN 5 WORKING DAYS NOTICE.
- CONTRACTOR SHALL ADJUST EXISTING STRUCTURES TO MEET FINAL GRADE.
- ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC SDR-26.

N

NO.	DATE	REVISION
1		
2		
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8		
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PROJECT No.: 58776
 DATE: NOV. 2023
 DES. BY: JH
 DR. BY: JH
 CKD. BY: JH

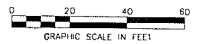


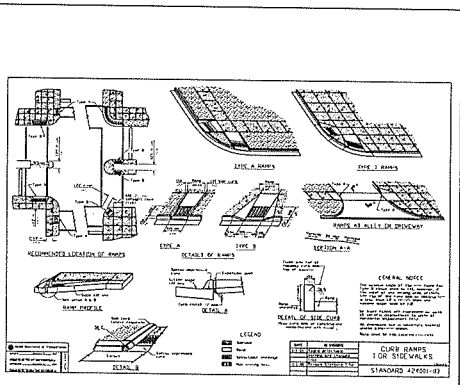
CHASE BANK WHEATON SITE IMPROVEMENT PLANS
 218 WEST ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

UTILITY PLAN

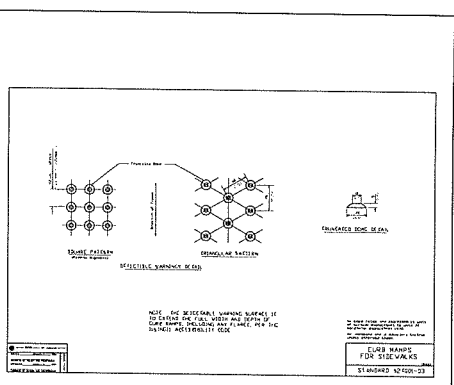
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C400

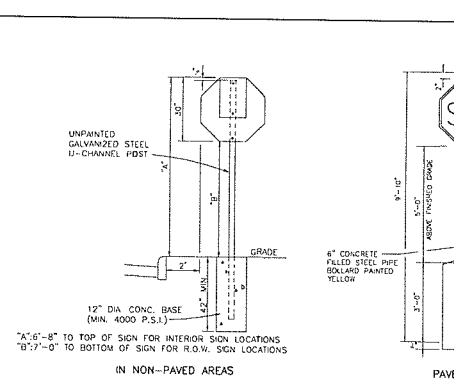




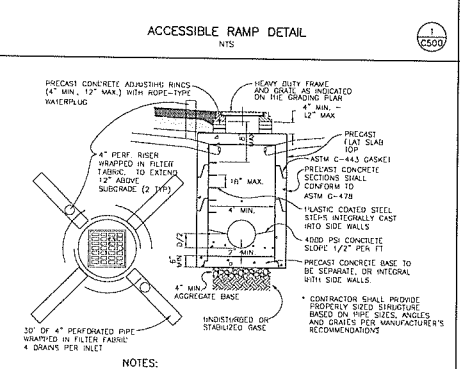
ACCESSIBLE RAMP DETAIL
NTS (1) (C500)



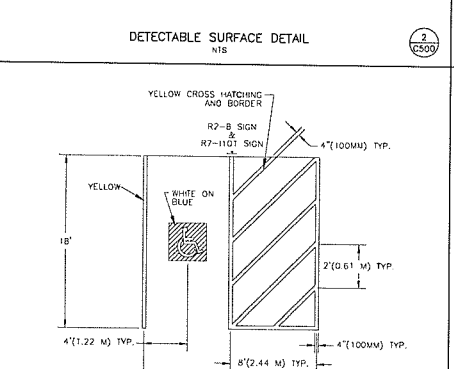
DETECTABLE SURFACE DETAIL
NTS (2) (C500)



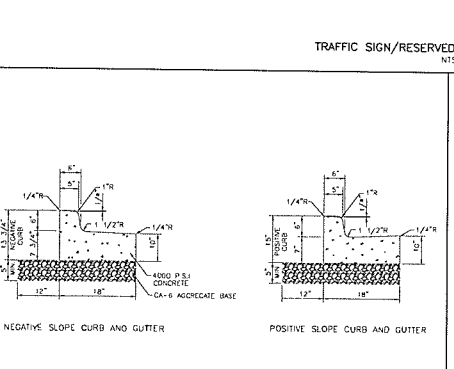
TRAFFIC SIGN/RESERVED PARKING SIGN DETAIL
NTS (3) (C500)



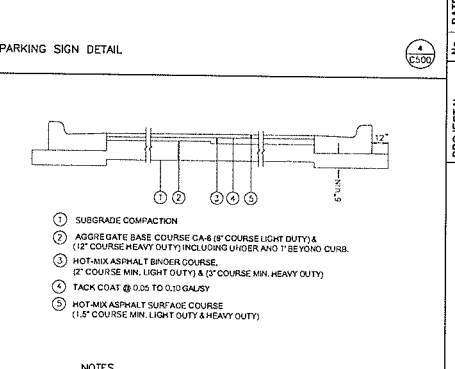
STORM SEWER CATCH BASIN DETAIL
NTS (4) (C500)



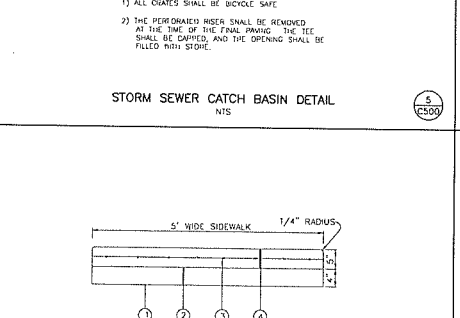
ACCESSIBLE PARKING SPACE MARKINGS DETAIL
NTS (5) (C500)



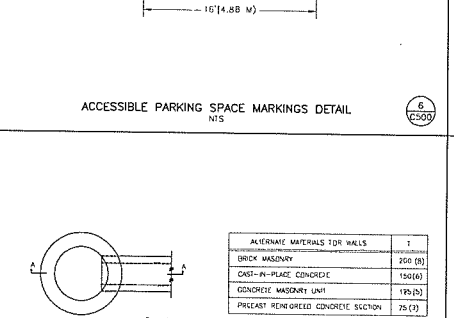
CONCRETE CURB AND GUTTER DETAIL
NTS (6) (C500)



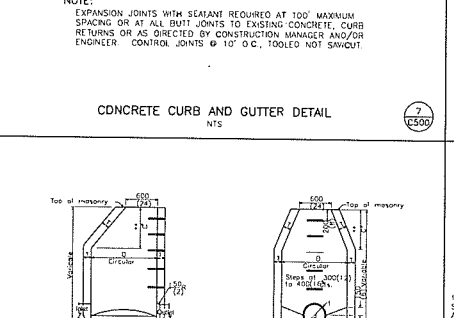
LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION
NTS (7) (C500)



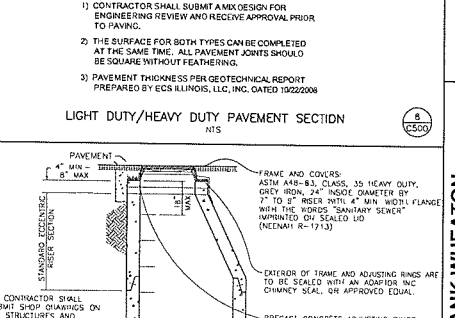
CONCRETE SIDEWALK DETAIL
NTS (8) (C500)



INLET TY A DETAIL
NTS (9) (C500)



MH TY A DETAIL
NTS (10) (C500)



STANDARD SANITARY MANHOLE DETAIL
NTS (11) (C500)

Legend: Fish Scale: C500, C500, 1000, 1500, 2000, 2500, 3000, 3500, 4000, 4500, 5000, 5500, 6000, 6500, 7000, 7500, 8000, 8500, 9000, 9500, 10000
 Unit: Feet (0.3048 m)
 Date: 11/11/2008 2:11:04 PM
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PROJECT NO.:	68776
DATE:	NOV 2008
DES. BY:	JH
DR. BY:	JW
CHECKED BY:	JR

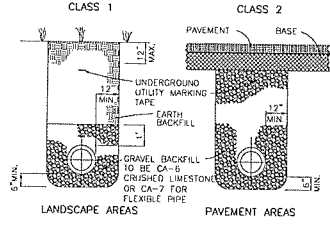
1815 South Meyers Road
Suite 1200
Chicago, Tennessee, IL 60181
TEL: 630-434-9380
FAX: 630-495-3731

WHEATON
WOLPERT

**CHASE BANK WHEATON
SITE IMPROVEMENT PLANS**
218 WEST ROOSEVELT ROAD
CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

MISCELLANEOUS DETAILS

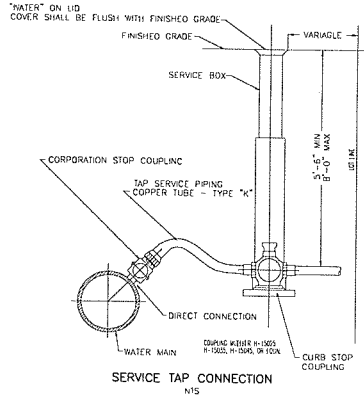
SHEET NO. **C500**



NOTE:
 UTILITY MARKING TAPE TO BE
 INSTALLED PER SPECIFICATIONS

UTILITY BACKFILL DETAIL
 NIS

1
 C501



SERVICE TAP CONNECTION
 NIS

2
 C501

5
 C501

6
 C501

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 C501

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 C501

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 C501

7
 C501

11
 C501

4
 C501

8
 C501

12
 C501

No.	DATE	REVISION

PROJECT No. 68776
DATE NOV. 2008
DES. BY J.H.
DR. BY J.W.
CHK. BY J.R.

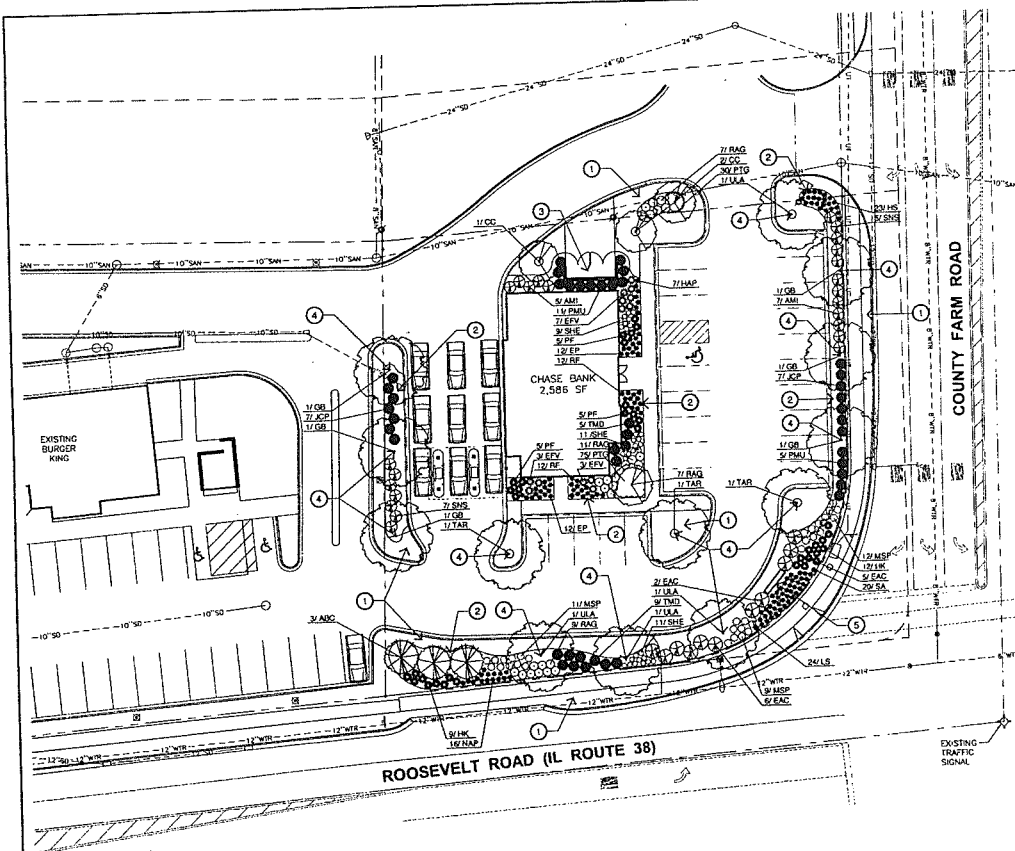
1815 South Meyers Road
 Skokie, Illinois, IL 60076
 630.424.9080
 630.455.3733



**CHASE BANK WHEATON
 SITE IMPROVEMENT PLANS**
 218 WEST ROOSEVELT ROAD
 CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS

MISCELLANEOUS DETAILS

SHEET NO. **C501**



Site Data & Requirements

Category	Requirement	Proposed Condition	Required Total	Proposed Total
R.O.W. Planting	1 ST / 35 LF*	297 LF	9 ST	0 ST
Parking Lot Green Space	10% of Parking Lot	10,146 SF Parking Lot	1,015 SF Green Space	1,050 SF Green Space
Parking Lot Shade Trees	1 ST / 20 Spaces	24 Spaces	1 ST	3 ST*
Planting Screen Across From Non-Fix. (South & West P.L.)	10' Eastern & West 2% Landscaped (20% Sh, 20% LF, 60% OT or ST)	9' to 10' White Cement concrete paving	-	100% Landscape screen (71 SH, 3 ST, 3 ST*)
Lot Perimeter Adjacent to Non-Fix. (North & East P.L.)	10' Eastern & West 2% Landscaped (20% Sh, 20% LF, 60% OT or ST)	10' Min. Cement	-	50% Landscape screen (21 SH, 3 OT, 3 ST*)
Building Foundation	8' Width, SH & OT	8' Min. Width	-	60 SH, 2 OT

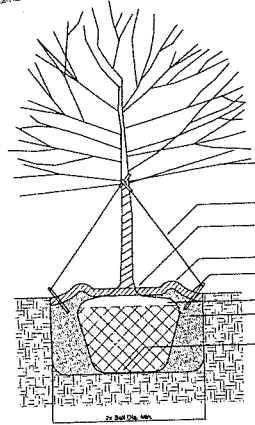
* 1 ST = Shade Tree, OT = Ornamental Tree, ET = Evergreen Tree & ST = Deciduous or Evergreen Shrub.
 * Per City of Wheaton Engineering Department Planting Standards. Included in the required tree replacement list.

Plant List & Key

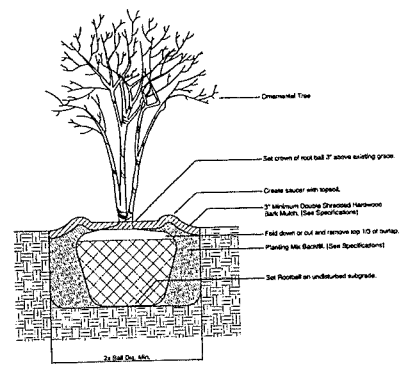
Key	Botanical Name	Size	Quantity	Key	Botanical Name	Size	Quantity
Shrub Trees							
GB	Single White Maple (Major Single)	2'10"	6	ETV	Euonymus alatus (Spindle Tree)	24"	13
TAR	Red Japanese Redwood (Japanese Redwood)	2'10"	3	ACP	Japanese Redwood (Japanese Redwood)	36"	14
USA	Ulmus x parviflorus (American Elm)	2'10"	4	PAU	Platanus occidentalis (Sycamore)	36"	16
Ornamental Trees							
OC	Cornus canadensis (Eastern Reddog)	8'	4	FRS	Fraxinus americana (White Birch)	1 GAL	24
Evergreen Trees							
ABC	Abies concolor (Colorado Spruce)	8'	3	HAP	Hamamelis virginica (Witch Hazel)	1 GAL	25
Deciduous Shrubs							
AAE	Aquilegia canadensis (Red Flamingo)	36"	12	LS	Lonicera xylosteum (Winter Green)	1 GAL	24
EAC	Euonymus alatus (Spindle Tree)	4'	12	WGR	Wisteria floribunda (Chinese Wisteria)	1 GAL	32
HE	Hydrangea latifolia (Hydrangea)	24"	21	PTC	Photinia serrulata (Chinese Flame Tree)	10" D.C.	106
PF	Parthenocissus (Parthenocissus)	24"	18	RF	Rhododendron (Rhododendron)	1 GAL	24
RAG	Rosa rugosa (Rugosa Rose)	24"	27	SA	Sedum album (Sedum)	1 GAL	30
SHS	Shrub alba (Shrub alba)	36"	12	SHC	Shrub canadensis (Shrub canadensis)	1 GAL	21

Notes

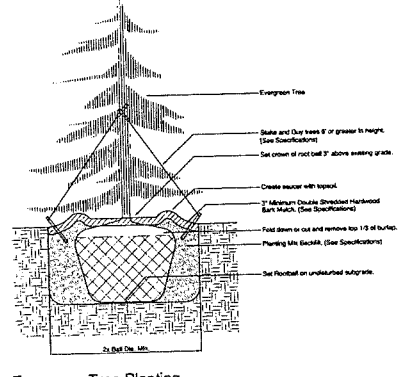
- The grade, terrain and soil at disturbed areas. All planting openings to be set.
- Function and install 2" minimum layer of double shredded hardwood bark mulch in all planting beds and tree rings.
- Remove location of proposed plant materials. (See Attachment Plans)
- Remove location of proposed plant materials.
- Remove location of proposed plant materials.



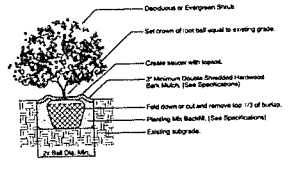
Shade Tree Planting



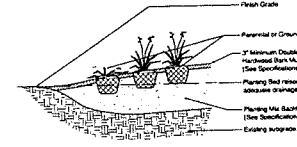
Ornamental Tree Planting



Evergreen Tree Planting

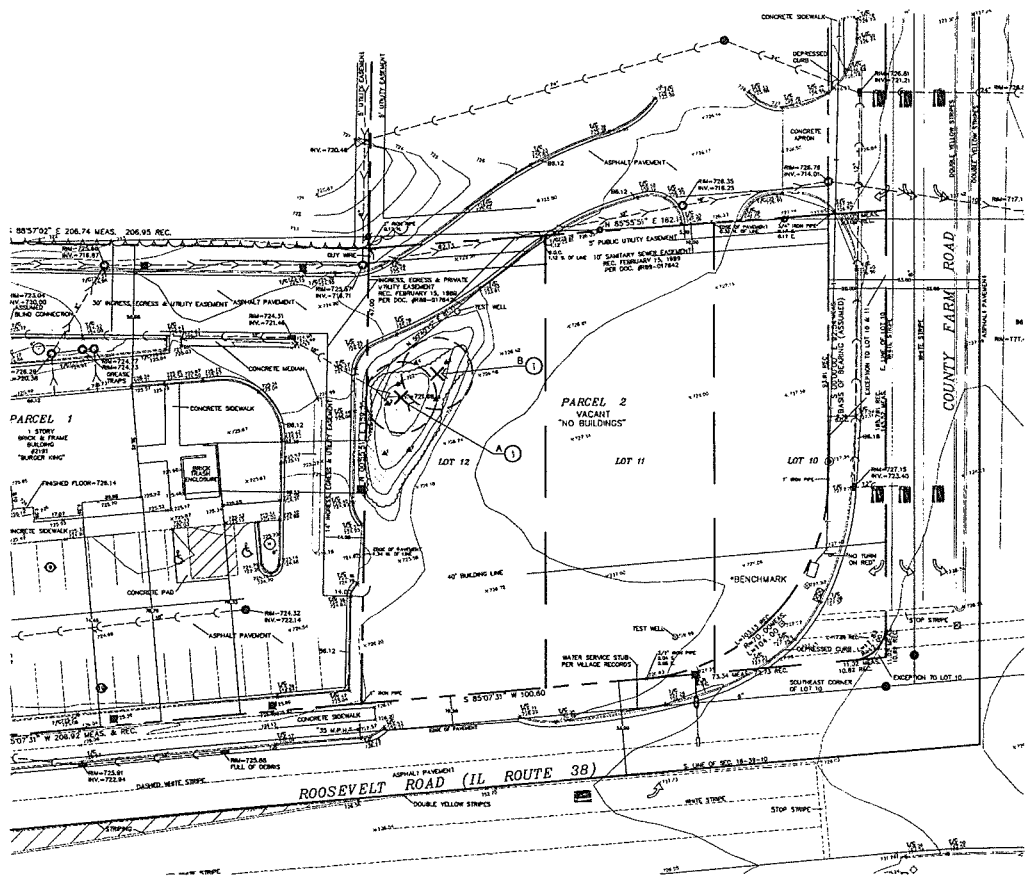


Shrub Planting



Perennial Planting

Issues & Revisions	Date	Issue
1	11/07/08	Issue



Existing Tree Inventory

Key	Scientific Name	Common Name	Size (Cal.)	Quality	Status
A	Populus deltoides	Cottonwood	1 1/2"	Fair	Remove
B	Populus deltoides	Cottonwood	4 - 6"	Fair	Remove

* - Total caliper inches removed = 39" (Requires 12 new shade trees sized at 3 inches in caliper)

Notes

- Remove existing vegetation, including root package and head from the site. Trees designated to be removed may be replaced by a number of smaller trees, not less than three (3) inches in caliper, which add up to the caliper of the original tree. (Art. VI, Sec. 6.11.2.c.1.b). These replacement trees may be used for required perimeter yard landscaping and screening on the subject property. (Art. VI, Sec. 6.11.2.c.4) (See Existing Tree Inventory & Landscape Plan)

Legend

- STORM SEWER
- SANITARY SEWER
- WATERMAIN SIZE & LOCATION PER VILLAGE RECORDS
- WATER VALVE
- VALVE VAULT
- FIRE HYDRANT
- SANITARY MANHOLE
- STORM MANHOLE
- STORM INLET
- STORM CURB INLET
- EXISTING CONTOUR ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB & FLOW LINE ELEVATION
- UNDERGROUND TELEPHONE LINE
- TELEPHONE MANHOLE
- OVERHEAD UTILITIES
- UTILITY POLE
- EXISTING PARKING LOT LIGHT
- EXISTING STREET LIGHT
- EXISTING SIGNAGE
- TRAFFIC SIGNAL
- EXISTING TRAFFIC SIGNAL HAND HOLD
- EXISTING CONCRETE CURB & OUTLET TYPE
- MEAS. MEASURED
- REC. RECORDED
- B.O.C. BACK OF CURB
- FLAG POLE
- DECIDUOUS TREE & DIAMETER
- PARKING SPACE COUNT
- ST STANDARD SPACES
- ST HANDICAP SPACES
- 4' WETLAND DELINEATION FLAG & NUMBER (LOCATED 8'-18'-48" SET 4' OFFSHORE)
- (X) Existing Tree to be Removed
- Existing Vegetation to be Removed

Issues & Revisions	#	Date	Description	Issue
	1	11/02/00		