

**ORDINANCE NO. F-1414**

**AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 1710 WEBSTER COURT/O'BRIEN**

**WHEREAS**, written application has been made requesting a variation from the provisions of Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a garage addition with a front yard setback of 35.98 feet in lieu of the required 37.37 feet and a north side yard setback of 2.75 feet in lieu of the required 6.0 feet, all on certain property legally described herein and commonly known as 1710 Webster Court, Wheaton, Illinois; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on January 13, 2009 to consider the variation request; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a garage addition with a front yard setback of 35.98 feet in lieu of the required 37.37 feet and a north side yard setback of 2.75 feet in lieu of the required 6.0 feet, on the following-described property:

LOT 5 IN DURABLE CONSTRUCTION CO'S RANCHROAD ADDITION TO THE CITY OF WHEATON, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1958 AS DOCUMENT NUMBER 882321 IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-09-214-041

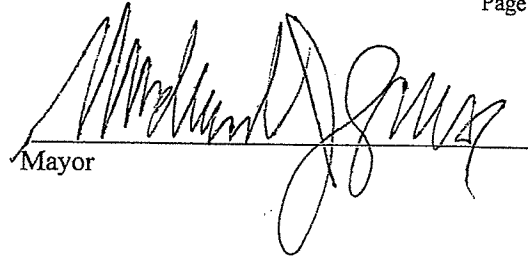
This property is commonly known as 1710 Webster Court, Wheaton, IL 60187 ("subject property").

**Section 2:** The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

1. The inside of the garage shall be finished with ½ inch drywall.

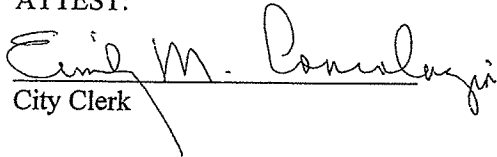
**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilwoman Corry  
Councilman Johnson  
Councilman Levine  
Mayor Pro Tem Mouhelis  
Councilman Prendiville

Nays: None

Absent : Mayor Gresk  
Councilman Suess

Motion Carried Unanimously

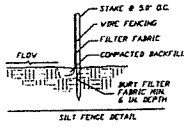
Passed: January 20, 2009  
Published: January 21, 2009

# PLAT OF SURVEY & TOPOGRAPHY

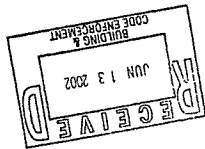
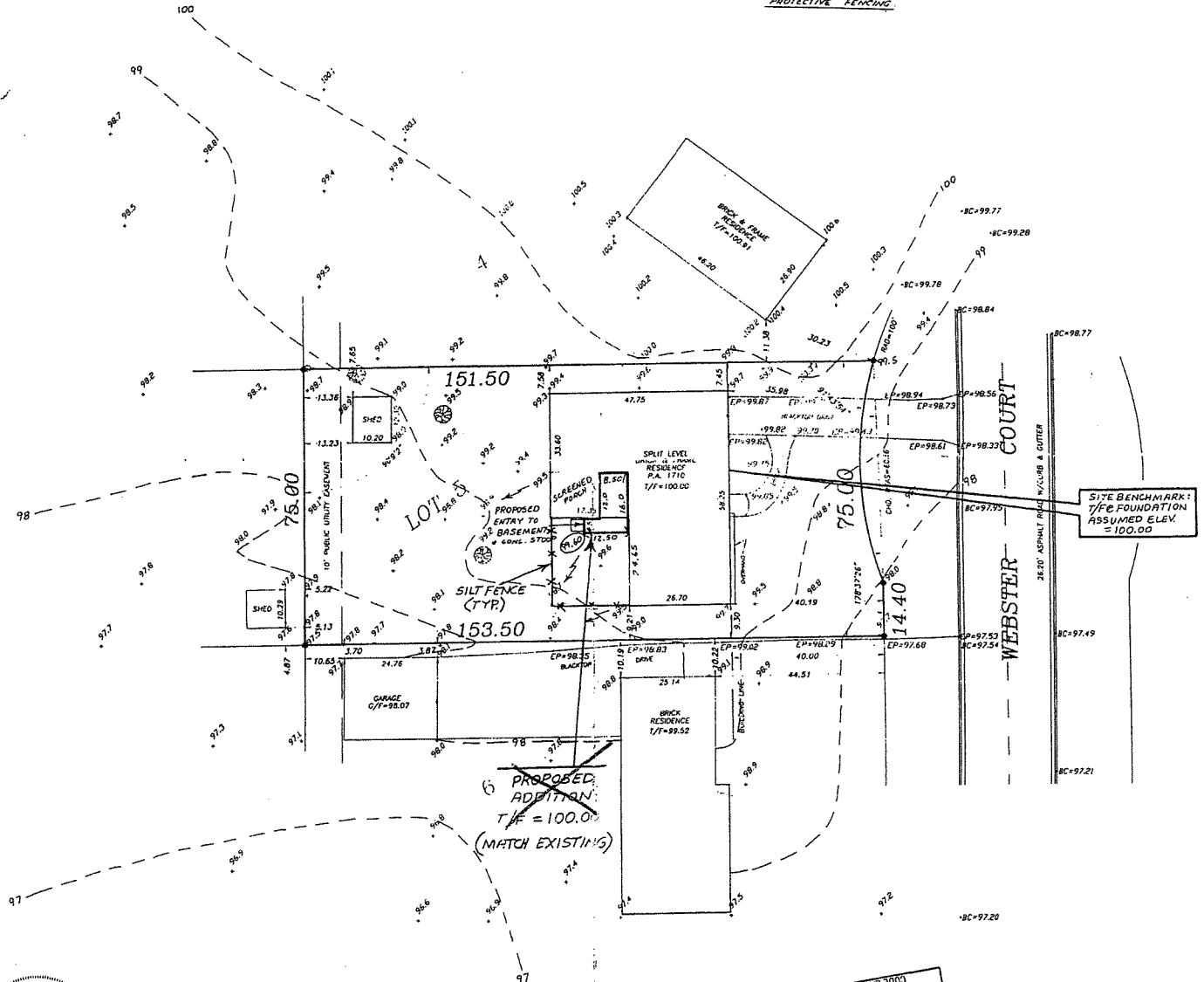
OF LOT 5 IN DURABLE CONSTRUCTION COMPANY'S RANCH ROAD ADDITION TO THE CITY OF WHEATON, DUPAGE COUNTY, ILLINOIS, BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN IN DUPAGE COUNTY, ILLINOIS.

## SITE PLAN FOR PROPOSED ADDITION:

LEGEND	
PROP. GRADE	(XXX.X)
PROP. CONTOUR	(---)
EXIST. GRADE	+ XXX.X
EXIST. CONTOUR	XXX.X
PLAN GRADE	+ (XXX.X)
PROP. DRAINAGE	(---)
OVERFLOW ROUTE	(---)
PROP. FNDTH. STEP	XXX.X



NOTE: INSTALL PROTECTIVE FENCING TO A MINIMUM HEIGHT OF 4' FENCING SHALL BE POSITIONED SUCH THAT THIS LINE OF TREES IS PROTECTED.  
**PROTECTIVE FENCING**



STATE OF ILLINOIS ) S.S.  
COUNTY OF DU PAGE )

THIS IS TO CERTIFY THAT I, AN ILLINOIS LAND SURVEYOR, HAVE SURVEYED THE PROPERTY DESCRIBED ABOVE AND THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL AT WHEATON, ILLINOIS, THIS 26TH DAY OF APRIL, A.D. 2002.

*Robert J. Lambert, Jr.*  
ILLINOIS LAND SURVEYOR NO 1863

PREPARED TOPOGRAPHY & SITE PLAN: 04-26-02.  
REVISED ON: 5-22-02 *M.J.*  
REVISED ON: 6-11-02 *M.J.*

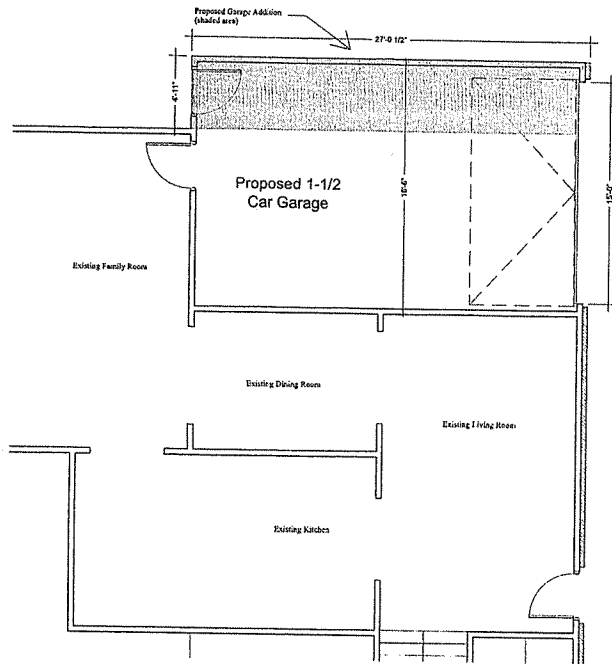
● Found Iron Stake  
○ Set Iron Stake

ORDERED BY: JOHN & LINDA O'BRIEN ORDER NO. 02-E-163 FILE NO. 02-0273

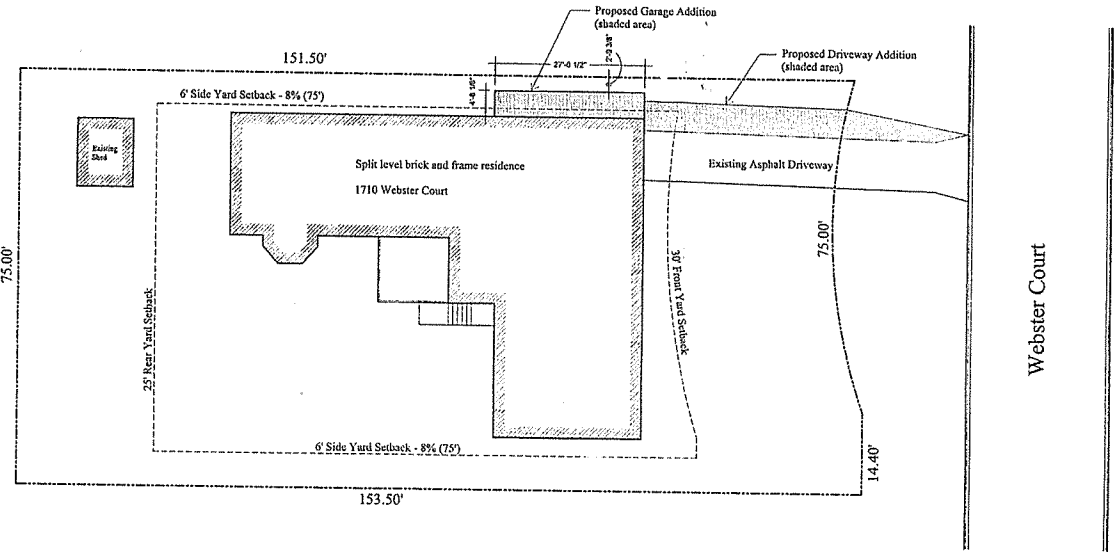
**LAMBERT & ASSOCIATES**  
LAND SURVEYORS  
320 SOUTH REBER ST. WHEATON, ILL. 60187  
PHONE: (630) 653-6331 FAX: (630) 653-6396

REFER TO DEED OR GUARANTEE POLICY FOR RESTRICTIONS NOT SHOWN ON SURVEY.  
ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.  
COMPARE ALL POINTS BEFORE BUILDING AND REPORT ANY APPARENT DISCREPANCIES TO THE SURVEYOR.

Zoning Classification: R3					
Zoning Data	Required		Existing		Proposed
Lot Area	10,000 SF Min.		11,259 SF		
Allowable lot coverage	33 1/3%	3,715 SF	26%	3,037 SF	28% 3,170 SF
Max FAR	40%	4,503 SF	31%	3,531 SF	32% 3,660 SF
<b>Areas</b>					
Existing House / Garage			2,912 SF		3,041 SF
Existing Shed			125 SF		
Garage addition					129 SF



Proposed Garage Floor Plan scale 1/4" = 1'



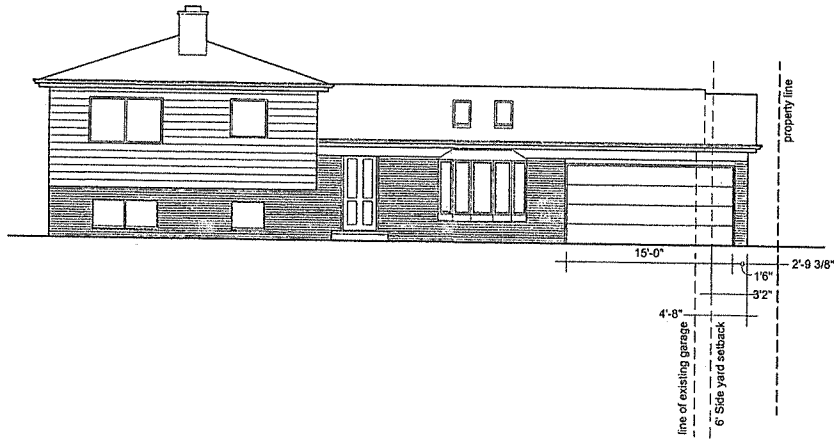
Proposed Site Plan scale 3/32" = 1'

# O'brien Residence : Proposed Garage Addition

107 N. Hale Street  
Suite 210  
Wheaton, IL 60187

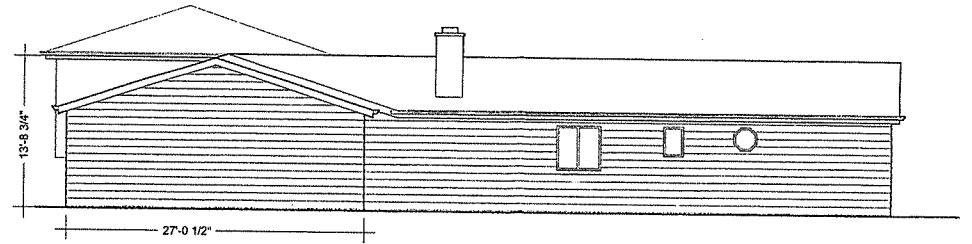
630.752.1446  
630.762.1447  
www.rs2design.com

**RS2**  
ARCHITECTS



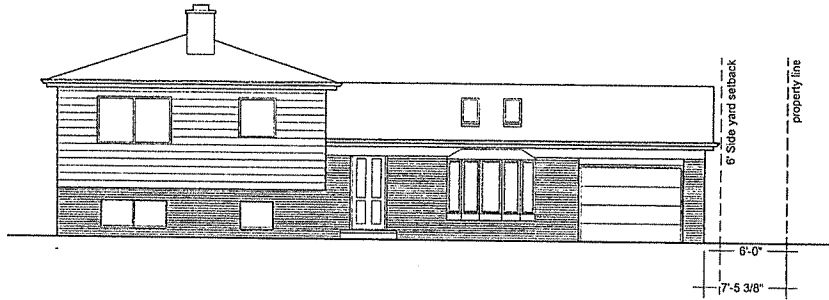
Proposed East Elevation

scale 3/16" = 1'



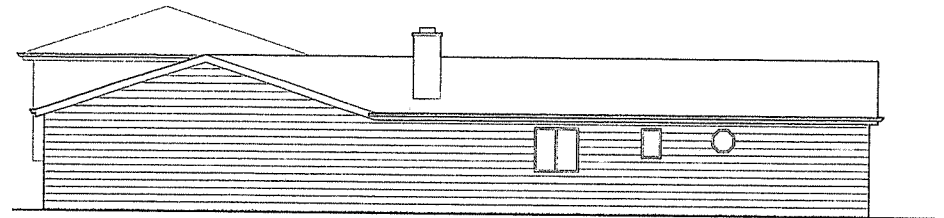
Proposed North Elevation

scale 3/16" = 1'



Existing East Elevation

scale 3/16" = 1'



Existing North Elevation

scale 3/16" = 1'

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