

ORDINANCE NO. F-1384

AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 2237 WARRENVILLE AVENUE - BELLE

WHEREAS, written application has been made requesting a variation to Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of an unenclosed front porch with a front yard setback of 30.67 feet in lieu of the required 44.6 feet and to allow the construction of a screen porch with a front yard setback of 41.88 feet in lieu of the required 44.6 feet on certain property legally described herein and commonly known as 2237 Warrenville Avenue, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on October 14, 2008, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 30.67 feet in lieu of the required 44.6 feet is granted for an unenclosed front porch and a front yard setback of 41.88 feet in lieu of the required 44.6 feet is granted for a screen porch, all in full compliance with the site plan entitled "Site Plan, 2237 Warrenville Road, Wheaton, Illinois" prepared by Steinbrecher Land Surveyors, West Chicago, Illinois, dated September 7, 2008 and the elevations and floor plan entitled "The Belle Residence, 2237 Warrenville Avenue, Wheaton, Illinois" prepared by Skarin Custom Homes, Wheaton, Illinois, sheets 1-4, dated September 3, 2008, to allow the construction of an unenclosed front porch and screen porch on the following-described real estate:

LOT 1 IN LAVERY'S THIRD WHEATON RESUBDIVISION, BEING A RESUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 40 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 2000 AS DOCUMENT R2000-174875, IN DU PAGE COUNTY, ILLINOIS.

P.I.N.: 05-30-101-016

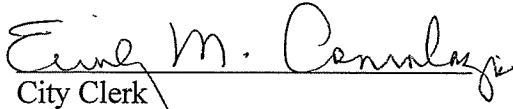
The subject property is commonly known as 2237 Warrenville Avenue, Wheaton, IL 60189.

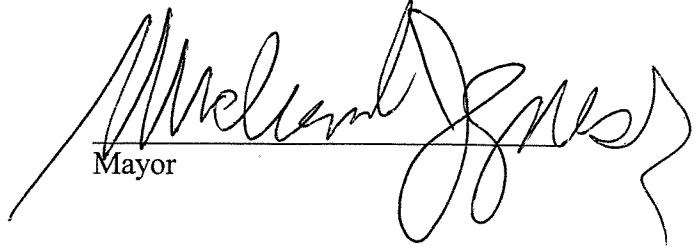
Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

R2008-165742

ATTEST:


City Clerk


Mayor

Roll Call Vote:

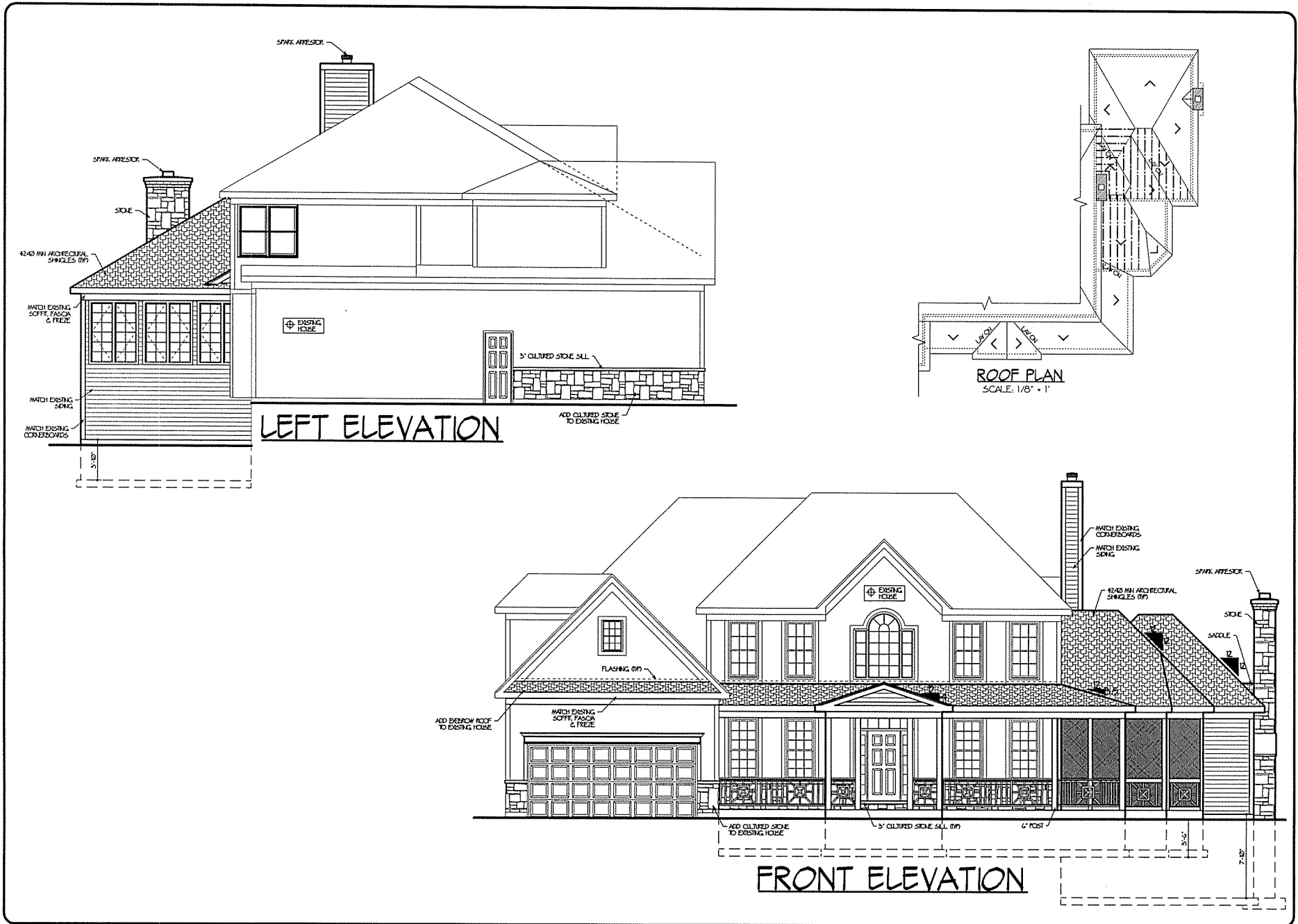
Ayes: Councilwoman Corry
Councilman Johnson
Councilman Levine
Mayor Gresk
Councilman Prendiville
Councilman Sues

Nays: None

Absent: Councilman Mouhelis

Motion Carried Unanimously

Passed: October 20, 2008
Published: October 21, 2008



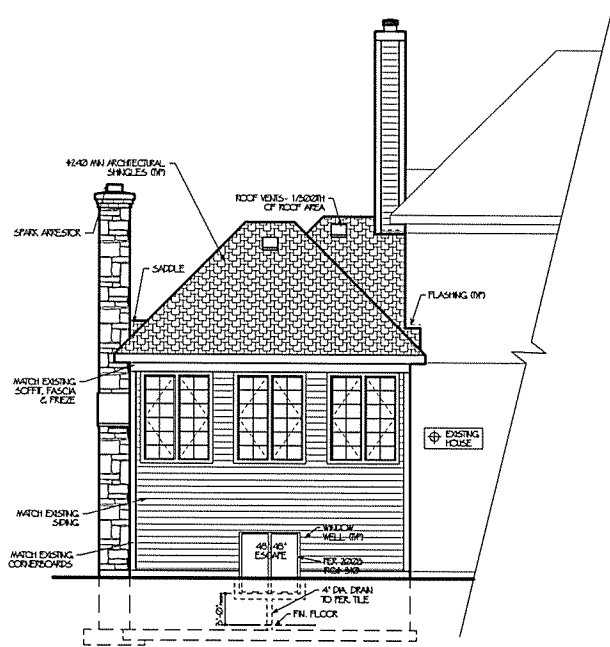
REVISION	BY

jeff@skarin.com
skarin.com
 618.434.4111
skarin.com

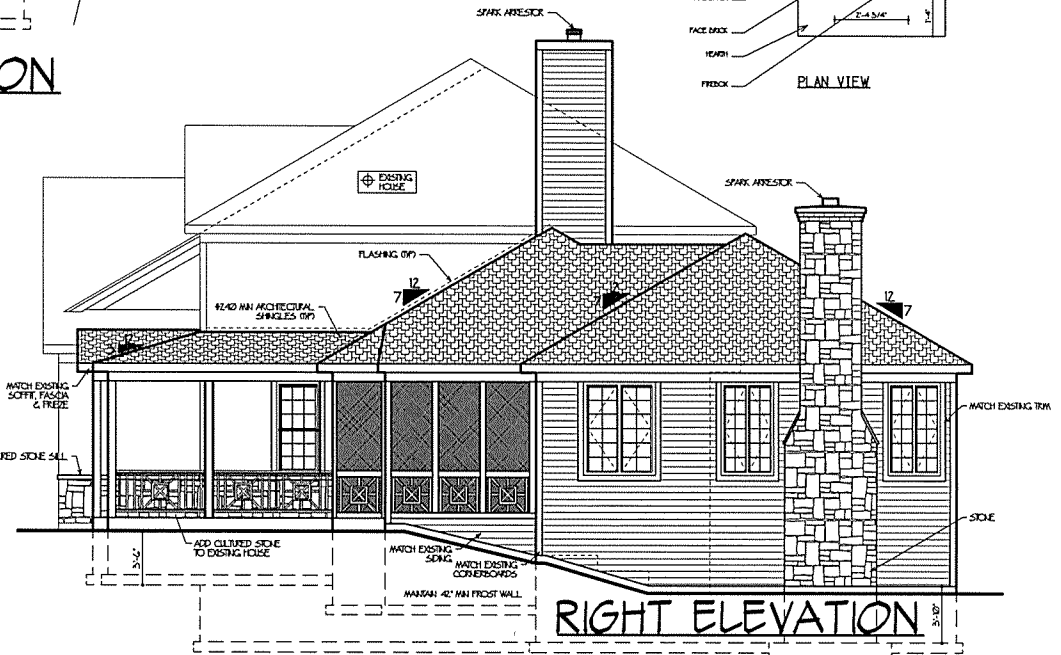
THE BELLE RESIDENCE
 2237 WARRENVILLE AVE, WHEATON IL
SKARIN CUSTOM HOMES, INC.
 PHONE (830) 890-5878
 FAX: (830) 728-3174

FRONT & LEFT ELEVATIONS

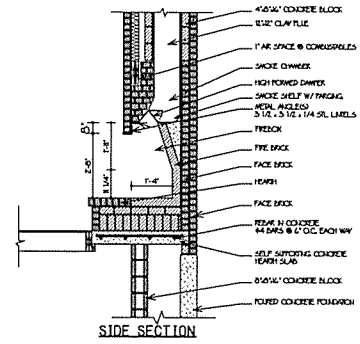
DRAWN
 chh
 FILE NAME
 S2 HOME
 DATE
 9/25/28
 SCALE
 1/4"=1'-0"
 SHEET
 1
 TOTAL
 4



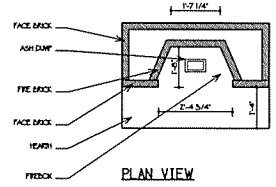
REAR ELEVATION



RIGHT ELEVATION



FIREPLACE DETAILS
SCALE: 1/2" = 1'-0"



REVISIONS	BY

skarin@skarin.com
skarin@skarin.com
skarin@skarin.com
skarin@skarin.com



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SKARIN CUSTOM HOMES, INC.
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RIGHT & REAR ELEVATIONS

DRAWN
 FILE NAME
 DATE
 9/25/08
 SCALE
 1/4" = 1'-0"
 SHEET

2

TOTAL 4

ELECTRICAL LEGEND	
SW	SWITCH
3SW	3-WAY SWITCH
4SW	4-WAY SWITCH
DSW	DIMMER SWITCH
○	LIGHT
○	RECESSED CRI LIGHT
○	FULL CRI LIGHT
○	WEATHER PROOF LIGHT
○	FLOOD LIGHT
○	FLOURESCENT LIGHT
○	WALL-MOUNTED LIGHT
○	WALL FAN
○	FAN OR FAN/LIGHT (F/L)
○	NO OUTLET
○	NO SWITCHED OUTLET
○	220 OUTLET
○	GFI OUTLET
○	NO FLOOR OUTLET
○	SINGLE DEDICATED OUTLET
○	GFI WE
○	SMOKE DETECTOR
○	SERVICE PANEL
○	GARBAGE DISPOSAL
○	CEILING FAN
○	THERMOSTAT
○	TELEPHONE
○	TELEVISION

DESIGN CRITERIA	
FLOOR	424 LL 124 PL EXCEPT SLEEPING AREAS
FLOOR	204 LL 124 PL SLEEPING AREAS
WALL	624 PLR OR ACTUAL LDR
CEILING	204 LL 124 PL SLOPES OVER 3/4"
ROOF	204 LL 124 PL
CORNER	204 LL 124 PL ALL SLOPES
EXT. DECK	424 LL 124 PL
PALCOV	624 LL 124 PL EXTERIOR

CB III Designs, Inc.
 ASSUMES NO LIABILITY FOR ANY WORK CONSTRUCTED FROM THIS PLAN. THE INFORMATION, INCLUDING TECHNICAL AND ENGINEERING DATA, FIGURES, DESIGNS AND DRAWINGS PRESENTED IN THE PLANS ARE FOR GENERAL INFORMATION ONLY. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO REFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION:

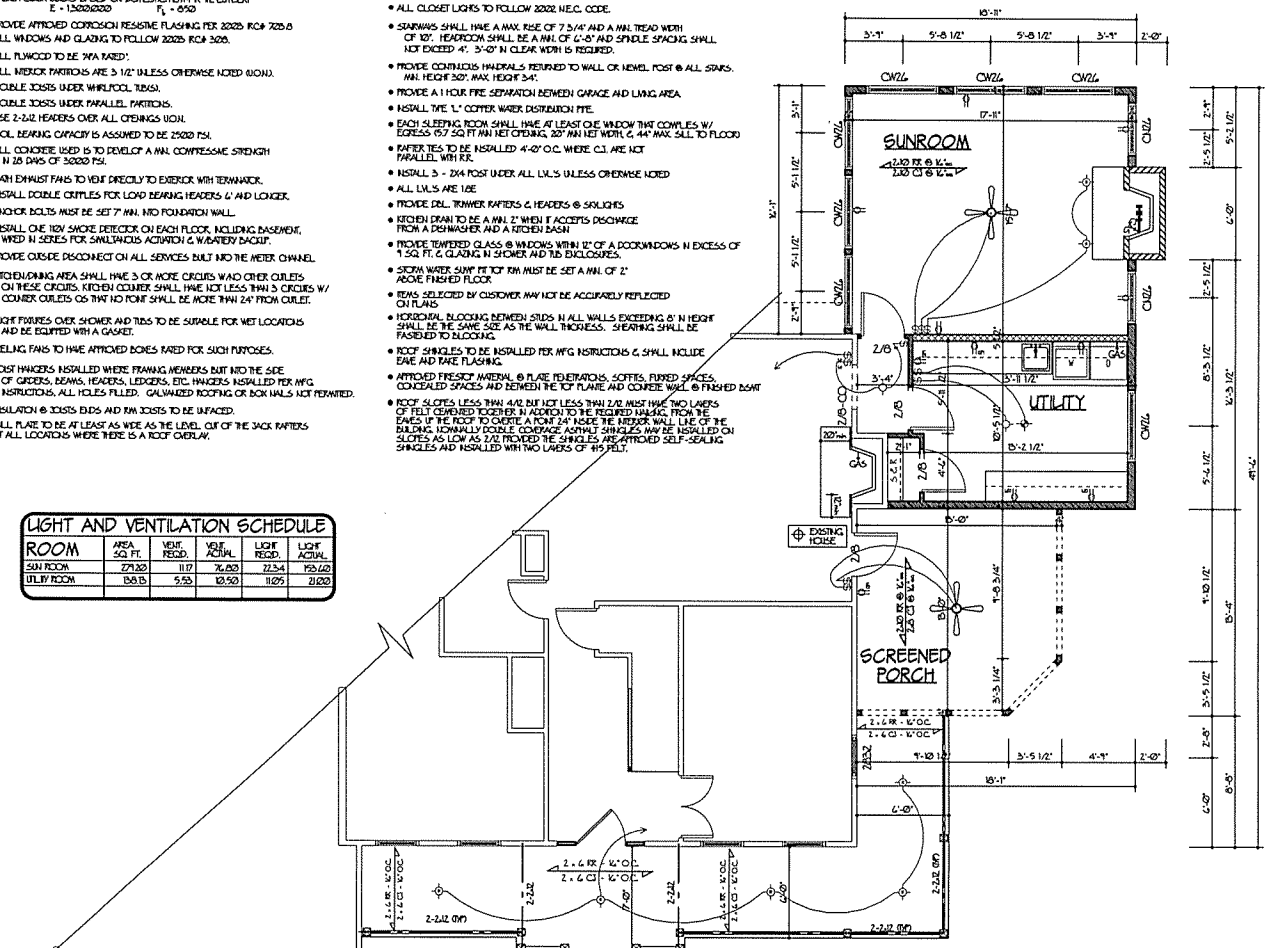
- 1) BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.
- 2) CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.

CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES TO THIS PLAN. IF ANY STRUCTURAL CHANGES OR ALTERATIONS ARE MADE, THE PLANS WILL BE INVALID AND NOT INSURABLE. ONLY A QUALIFIED DESIGNER, ARCHITECT, CONTRACTOR OR STRUCTURAL ENGINEER SHOULD ATTEMPT MODIFICATIONS. ANYONE MAKING USE OF THIS INFORMATION DOES SO AT HIS OR HER OWN RISK AND ASSUMES ANY AND ALL LIABILITY RESULTING FROM SUCH USE.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER.
- ALL WORK PERFORMED SHALL COMPLY WITH APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, ORDINANCES, AND REGULATIONS.
- ALL SPANS BASED ON CANADIAN SP42 LUMBER WITH THE FOLLOWING ALLOWABLE DESIGN VALUES (KIP/IN):
 $F_c = 1100$ (2000)
 $F_t = 675$
 $E = 1800000$
 2x12 FLOOR JOISTS BASED ON DOMESTIC HEAVY-FR 42 LUMBER,
 $F_c = 675$
 $F_t = 675$
 $E = 1800000$
- PROVIDE APPROVED COPROBON RESINIE FLASHING PER 2020S RCM 720.6
- ALL WINDOWS AND GLAZING TO FOLLOW 2020S RCM 3006.
- ALL WOOD TO BE 2x4 NAIL:
- ALL INTERIOR FINISHES ARE 3/4" UNLESS OTHERWISE NOTED (WOOD).
- DOUBLE JOISTS UNDER PARALLEL FINISHES.
- USE 2x12 HEADERS OVER ALL OPENINGS (WOOD).
- SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF.
- ALL CONCRETE USED IS TO DEVELOP A MIN. COMPRESSIVE STRENGTH IN 28 DAYS OF 3000 PSF.
- EXH. EXHAUST FANS TO VENT DIRECTLY TO EXTERIOR WITH TERMINATOR.
- INSTALL DOUBLE CRIPPLES FOR LOAD BEARING HEADERS 4" AND LOCKER.
- ANCHOR BOLTS MUST BE SET 7" MIN. INTO FOUNDATION WALL.
- INSTALL ONE 10W SMOKE DETECTOR ON EACH FLOOR INCLUDING BASEMENT, WIRE IN SERIES FOR SIMULTANEOUS ACTIVATION & WIREMPTY DASHUT.
- PROVIDE OUTSIDE DISCONNECT ON ALL SERVICES BUILT INTO THE METER CHAMBER.
- REFRIGERATING AREA SHALL HAVE 3 OR MORE CIRCUITS AND OTHER OUTLETS ON THESE CIRCUITS. KITCHEN COUNTER SHALL HAVE NOT LESS THAN 3 CIRCUITS W/ COUNTER OUTLETS SO THAT NO POINT SHALL BE MORE THAN 24" FROM OUTLET.
- LIGHT FIXTURES OVER SHOWER AND TUBS TO BE SUITABLE FOR WET LOCATIONS AND BE EQUIPPED WITH A GASKET.
- CEILING FANS TO HAVE APPROVED BONES TIED FOR SUCH PURPOSES.
- JOIST HANGERS INSTALLED WHERE FRAMING MEMBERS BUT INTO THE SIDE OF GIRDERS, BEAMS, HEADERS, LEDGERS, ETC. HANGERS INSTALLED PER MFG INSTRUCTIONS. ALL HOLES FILLER. GALVANIZED HOODING OR BOX WALLS NOT PERMITTED.
- INSULATION @ JOISTS ENDS AND RIM JOISTS TO BE UNFACED.
- SILL PLANE TO BE AT LEAST AS HIGH AS THE LEVEL CUT OF THE JACK PARTIES AT ALL LOCATIONS WHERE THERE IS A ROOF OVERLAY.
- RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN EITHER DIRECTION IN ANY WALL SPACE IS MORE THAN 6 FEET FROM AN OUTLET. OUTLETS SHALL BE IN ALL WALL SPACES 2 FEET OR MORE IN WIDTH.
- WIRING/POOL TUBS TO BE TIED TO A GFI OUTLET FOLLOWING MFC N.E.C.
- SEPARATE CIRCUITS REQUIRED FOR DRYWASHER, COLD SWMP, TURBACE, A/C, LAUNDRY ROOM, AND WIRING/POOL TUB.
- ALL CLOSET LIGHTS TO FOLLOW 2020S N.E.C. CODE.
- STAIRWAYS SHALL HAVE A MAX. RISE OF 7 3/4" AND A MIN. TREAD WITH 1" OF GR. HEADROOM SHALL BE A MIN. OF 6'-8" AND SPINDLE SPACING SHALL NOT EXCEED 4". 3'-0" IN CLEAR WITH IS REQUIRED.
- PROVIDE CONTINUOUS HANDRAILS RETURNED TO WALL OR NEVEL POST @ ALL STAIRS. MIN. HEIGHT 30". MAX. HEIGHT 3'-4".
- PROVIDE A 1 HOUR FIRE SEPARATION BETWEEN GARAGE AND LIVING AREA.
- INSTALL THE 1" COPPER WATER DISTRIBUTION PIPE.
- EACH SLEEPING ROOM SHALL HAVE AT LEAST ONE WINDOW THAT COMPLES W/ EGRESS 57 SQ. FT. MIN. NET OPENING, 20" MIN. NET WIDTH & 44" MAX. SILL TO FLOOR PARALLEL WITH RR.
- RAFTER TIES TO BE INSTALLED 4'-0" O.C. WHERE C.J. ARE NOT PARALLEL WITH RR.
- INSTALL 3" x 2x4 POST UNDER ALL LVL'S UNLESS OTHERWISE NOTED.
- ALL LVL'S ARE 10E.
- PROVIDE DEL. TRIMMER RAFTERS & HEADERS @ SLOTTING.
- KITCHEN DRAIN TO BE A MIN. 2" WHEN IT ACCEPTS DISCHARGE FROM A DRYWASHER AND A REFINED BASK.
- PROVIDE TWINNED GLASS @ WINDOWS WITHIN 12" OF A DOOR/OPENING IS EXCESS OF 1.50 FT. & GLAZING IN SHOWER AND TUB ENCLOSURES.
- SLOPE WATER SWMP TYP TOP RUN MUST BE SET A MIN. OF 2" ABOVE FINISHED FLOOR.
- ITEMS SELECTED BY CUSTOMER MAY NOT BE ACCURATELY REFLECTED ON PLANS.
- HORIZONTAL BLOCKING BETWEEN STUDS IN ALL WALLS EXCEEDING 8' IN HEIGHT SHALL BE THE SAME SIZE AS THE WALL THICKNESS. SHEATHING SHALL BE FACED TO BLOCKING.
- ROOF SHINGLES TO BE INSTALLED PER MFG INSTRUCTIONS & SHALL INCLUDE EAVE AND PANE FLASHING.
- APPROVED FINISH MATERIAL @ PLUMB ROOSTERS, SOTTES, FINED SPACES, CONCEALED SPACES AND BETWEEN THE TUB PLUMB AND COORD. WALL @ FINISHED BASK.
- ROOF SLOPES LESS THAN 4:12 BUT NOT LESS THAN 2:12 MUST HAVE TWO LAYERS OF FELT CENTERED TOGETHER IN ADDITION TO THE REQUIRED UNDERLAY FROM THE EAVE TO THE ROOF TO PROVIDE A ROOF 24" INSIDE THE EXTERIOR WALL. LIE OF THE BUILDING. TYPICALLY DOUBLE COVERAGE ASPHALT SHINGLES MAY BE INSTALLED ON SLOPES AS LOW AS 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF-SEALING SHINGLES AND INSTALLED WITH TWO LAYERS OF #15 FELT.

LIGHT AND VENTILATION SCHEDULE					
ROOM	AREA SQ. FT.	VENT. REQD.	VENT. ACTUAL	LIGHT REQD.	LIGHT ACTUAL
SUN ROOM	271.50	11.7	12.50	23.34	19.00
UTILITY ROOM	54.15	5.53	10.50	10.00	20.00



FIRST FLOOR PLAN
 MATCH EXISTING CEILING HEIGHT
 508 SQUARE FEET

REVISIONS	BY

quest formenarchitect
 at charles.juliano@quest74.com
 920.631.2424
 cbiii@cbiii.com

cbiii
 designs

THE BELLE RESIDENCE
 2237 WARRENVILLE AVE. WHEATON, IL
SKARIN CUSTOM HOMES, INC.
 PHONE: (630) 880-5878
 FAX: (630) 728-9174

FIRST FLOOR PLAN

DRAWN: cbh
 FILE NAME: 5_belle
 DATE: 9/25/20
 SCALE: 1/4" = 1'-0"
 SHEET: 3
 TOTAL: 4

