

ORDINANCE NO. F-1382

**AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP
AND GRANTING A ZONING VARIATION FOR A CERTAIN PARCEL OF PROPERTY
COMMONLY KNOWN AS 222 EAST ROOSEVELT ROAD - HENNINGER**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, to rezone, reclassify and secure a zoning variation in order to use the existing single-family house as an office building and construct a new parking lot, all on certain property legally described herein within the city limits of Wheaton, Illinois ("City"), and commonly known as 222 East Roosevelt Road ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the City Zoning Ordinance, a public hearing was conducted by the Planning and Zoning Board on September 9, 2008 and September 23, 2008, to consider the requested zoning amendment and variation; and the Board has recommended approval of the rezoning and variation requests.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the findings of fact made and determined by the Planning and Zoning Board, the Zoning Map which is attached to and forms a part of the City Zoning Ordinance is amended by removing the following described property from the R-3 Residential District Zoning classification and adding and including the subject property in the O-R Office Research District Zoning classification:

THE WEST THIRTY FEET OF LOT 3 AND THE EAST FORTY FEET OF LOT 2 IN COUNTRY CLUB ADDITION TO WHEATON, IN THE WEST HALF OF SECTION 21, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED ON FEBRUARY 19, 1921 AS DOCUMENT 146591, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-21-103-004

The subject property is commonly known as 222 East Roosevelt Road, Wheaton, IL 60187.

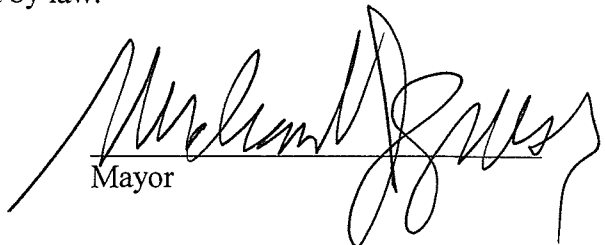
Section 2: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a zoning variation is hereby granted from the provisions of Article 6.6.2b(2) of the Wheaton Zoning Ordinance to allow side yard landscaping setbacks of 6.5 feet in lieu of the required 10.0 feet, in full compliance with the following plans: "222 East Roosevelt Road New Parking Lot, Sheets C-0, C-1, C-2 and L-2", dated July 14, 2008, and "222 East Roosevelt Road New Parking Lot, Sheet L-1", dated September 17, 2008, all prepared by Webster, McGrath & Ahlberg, Wheaton, IL and in further compliance with the following conditions, restrictions, and requirements:

R 2008-165738

1. The approval is subject to the amended landscaping plan dated September 17, 2008;
2. Prior to the issuance of a site development permit, the applicant shall provide a sign plan for approval by the Director of Planning and Economic Development; and
3. If a license agreement is not in effect by the time of construction, the perpendicular paved area connecting this property to the property to the east should be removed from the plan.

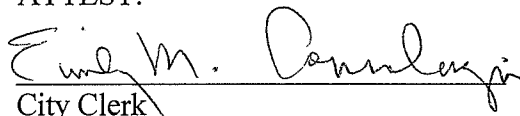
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilman Mouhelis
Councilman Prendiville
Councilman Sues
Councilwoman Corry
Councilman Levine
Mayor Pro Tem Johnson

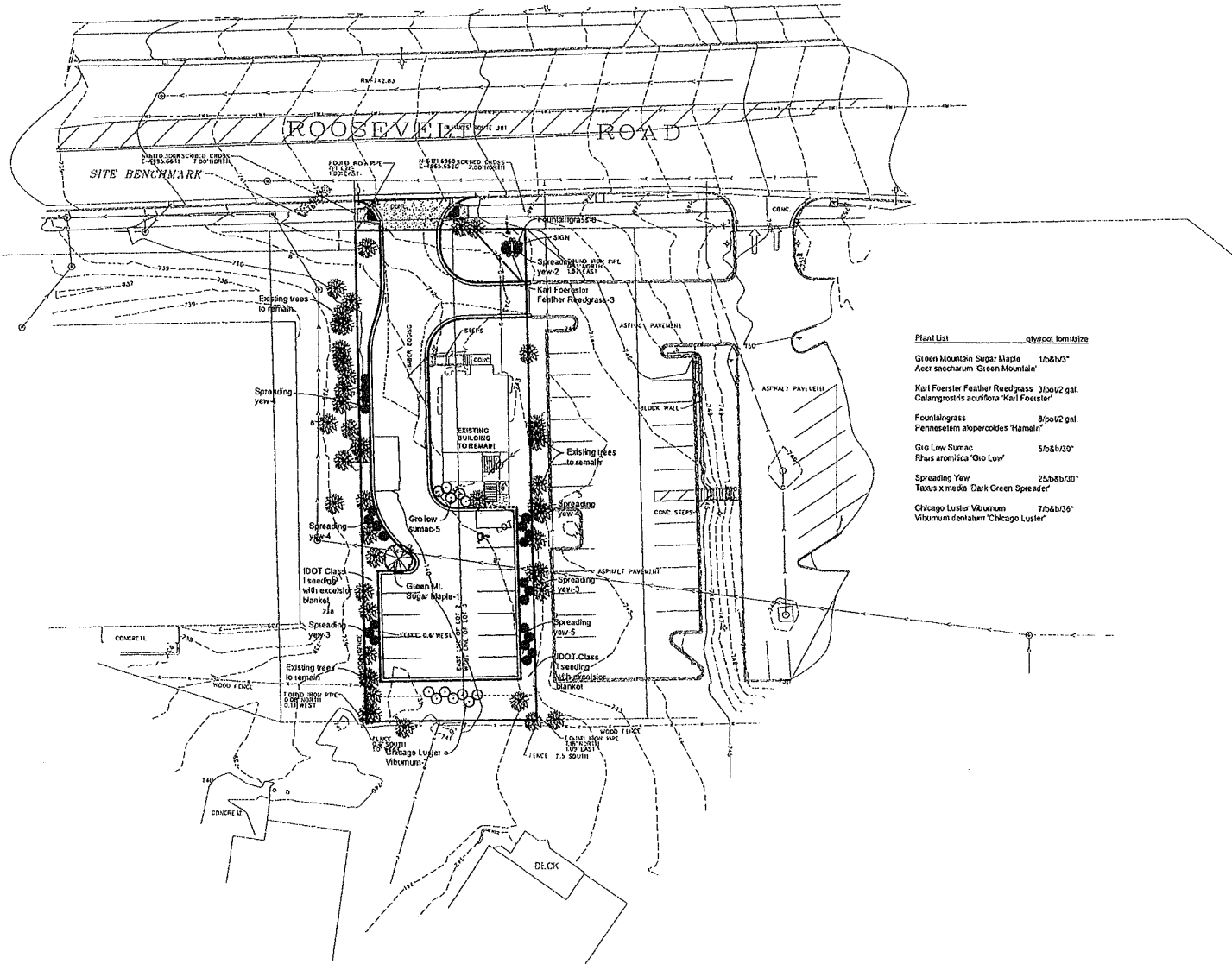
Nays: None

Absent: Mayor Gresk

Motion Carried Unanimously

Passed: October 6, 2008
Published: October 7, 2008

LANDSCAPE PLAN



- Plant List
- Green Mountain Sugar Maple 1/0&b/3"
 - Acer saccharum 'Green Mountain'
 - Karl Foerster Feather Reedgrass 3/pot/2 gal.
 - Calamagrostis acutiflora 'Karl Foerster'
 - Fountain Grass 8/pot/2 gal.
 - Pennisetum alopecuroides 'Hameln'
 - Gr Low Sumac 5/b&b/30"
 - Rhus aromatica 'Gr Low'
 - Spreading Yew 25/b&b/30"
 - Taxus x media 'Dark Green Spreader'
 - Chicago Lustre Viburnum 7/b&b/36"
 - Viburnum dentatum 'Chicago Lustre'

RD.
NAPERVILLE



222 E. ROOSEVELT RD
NEW PARKING LOT

Prepared by: GRAPES & HOLLING CO.
NAPERVILLE, IL 60540

LANDSCAPE
PLAN

WEBSTER, MCGRATH & ANBERG LTD.

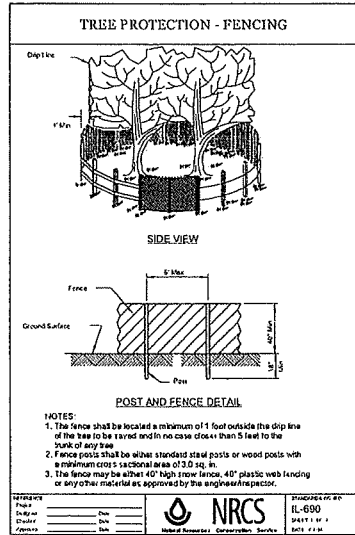
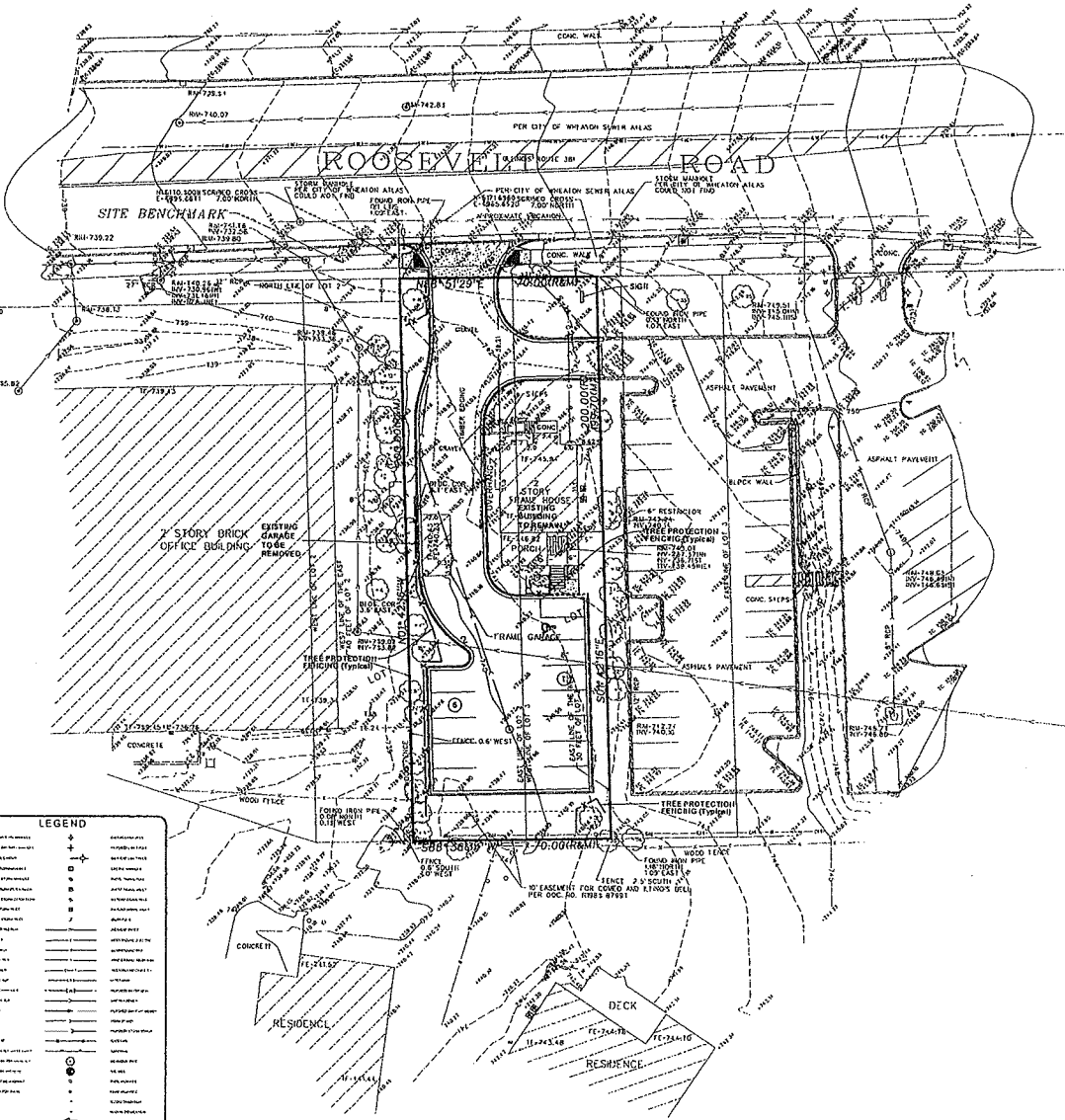
WMA
WATER MANAGEMENT ASSOCIATION
201 West Park Drive, Naperville, IL 60563
Phone: 630.334.2200
Fax: 630.334.2201
www.wma-ill.com

NO.	DATE	DESCRIPTION	BY

Scale: AS SHOWN
Date: 10/10/06
Drawn by: JMS
Checked by: JMS
Date: 10/10/06

TREE PRESERVATION PLAN

THE WEST THIRTY FEET OF LOT 3 AND THE EAST FORTY FEET OF LOT 2H QUANTITY CLEAR AND TO BE REMOVED IN THE WEST HALF OF SECTION 25, TOWNSHIP 37 NORTH, RANGE 15 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OVERSHAW 19, 1914 AS DOCUMENT WEST, HOUTAGE COUNTY, IOWA.



- TREE PRESERVATION NOTES:**
1. X DENOTES TREE REMOVAL
 2. INSTALL TREE FENCING PRIOR TO THE START OF SUB-GRADING AND UTILITY WORK.
 3. INSTALL TREE FENCING 2' BEHIND THE BACK OF CURB WITH THE DRIVE LINE SUCCESS THE CURB LIMITS.

LEGEND

Symbol	Description	Symbol	Description
Circle with cross	Tree to be removed	Circle with dot	Tree to be saved
Square with cross	Post to be removed	Square with dot	Post to be saved
Triangle with cross	Utility to be removed	Triangle with dot	Utility to be saved
Diamond with cross	Other to be removed	Diamond with dot	Other to be saved
Circle with X	Tree to be removed	Circle with dot	Tree to be saved
Square with X	Post to be removed	Square with dot	Post to be saved
Triangle with X	Utility to be removed	Triangle with dot	Utility to be saved
Diamond with X	Other to be removed	Diamond with dot	Other to be saved
Circle with X	Tree to be removed	Circle with dot	Tree to be saved
Square with X	Post to be removed	Square with dot	Post to be saved
Triangle with X	Utility to be removed	Triangle with dot	Utility to be saved
Diamond with X	Other to be removed	Diamond with dot	Other to be saved
Circle with X	Tree to be removed	Circle with dot	Tree to be saved
Square with X	Post to be removed	Square with dot	Post to be saved
Triangle with X	Utility to be removed	Triangle with dot	Utility to be saved
Diamond with X	Other to be removed	Diamond with dot	Other to be saved

222 E. ROOSEVELT RD
NEW PARKING LOT
GRAPENHE HOLDING CO.
2749 PINE
WEST, IOWA 52745

TREE
PRESERVATION
PLAN

WEBSTER, MCGRATH & AULBERG LTD.
1000 UNIVERSITY BLVD
DES MOINES, IOWA 50319
PHONE: 563-681-1111
FAX: 563-681-1112
WWW.WMA-DESIGN.COM

DATE	11/20/11
BY	JL
REVISED	
DATE	
BY	
DATE	
BY	
DATE	
BY	

ENCLOSURE PROJECT 12/21/11 213910-D-APP/ENGR/MR/3114/PLT/ENR/aps, Model: L2 Tree Plan, Date: 11/20/11