

**ORDINANCE NO. F-1375**

**AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 331 BEECHWOOD COURT - LAVEEN**

**WHEREAS**, written application has been made requesting a variation to Article 9.2.5 and Article 3.4A.5a of the Wheaton Zoning Ordinance to allow the construction of a front porch with a front yard setback of 29.10 feet in lieu of the required 41.0 feet and a side yard setback of 4.08 feet in lieu of the required 5.44 feet on certain property legally described herein and commonly known as 331 Beechwood Court, Wheaton, Illinois; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on August 26, 2008, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 29.10 feet in lieu of the required 41.0 feet and a side yard setback of 4.08 feet in lieu of the required 5.44 feet is granted in full compliance with the plans entitled "*Todd and Karen Laveen, 331 Beechwood Court, Wheaton, Illinois 60187*" prepared by *Bradford & Kent Custom Builders, Downers Grove, Illinois 60515, sheets 1 - 3, dated June 30, 2008*, to allow the construction of a covered front porch on the following-described real estate:

LOT 43 IN PHEASANT HOLLOW III, BEING A SUBDIVISION OF PART OF THE NORTHWEST QUARTER OF SECTION 29, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 17, 1977 AS DOCUMENT R77-106277, IN DUPAGE COUNTY, ILLINOIS.

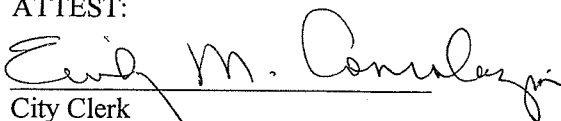
P.I.N.: 05-29-108-015

The subject property is commonly known as 331 Beechwood Court, Wheaton, IL 60187.

**Section 2:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 3:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

ATTEST:

  
City Clerk

  
Mayor

R2008-144951

Roll Call Vote:

Ayes: Councilman Mouhelis  
Councilman Prendiville  
Councilman Suess  
Councilwoman Corry  
Councilman Johnson  
Councilman Levine  
Mayor Gresk

Nays: None

Absent: None

Motion Carried Unanimously

Passed: September 2, 2008  
Published: September 3, 2008

**SCOPE OF WORK**

**LAVELLE RESIDENCE**  
**OVERVIEW: REMOVE AND REPLACE FRONT PORCH**  
**DEMO:** As noted on sheet 41  
**SITE PLAN:** NA  
**FLOOR PLAN:** See sheet #1 for layout  
**FOUNDATION:** See sheet #1 for layout  
**FRAMING:** See framing details for entry  
**ROOFING:** See exterior elevations for shingles locations  
**SCHEM:** James Murrie construction for entry  
**PASCHAL/OUTLETTERS & DS:** See exterior elevations for eave selections  
**WINDOWS AND EXTERIOR DOORS:** NA  
**ELECTRICAL:** replace entire exterior outlet with new GFI (3) 110v smoke detectors wired in series with battery back-up install at basement, 1st floor & 2nd floor  
**PLUMBING:** (2) owner supplied fixtures.  
**PAINTING:** NA  
**INSULATION:** install R-15 at exterior walls flanking front entry  
**DRYWALL:** NA  
**INTERIOR TRIM:** NA  
**CASING:** NA  
**INTERIOR DOORS:** NA  
**FINISHED FLOORING:** NA  
**MISC:** NA

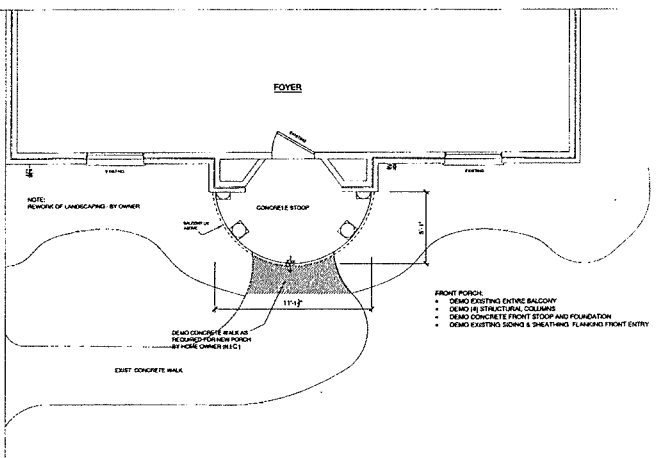
- BY OWNER:**
1. Painting, staining, decorating (including stairs, landing and railing components).
  2. Landscaping.
  3. Decorative light fixtures.
  4. Any and all charges by the utility companies shall be at the expense of the buyer and are not in any way part of this project.
  5. All concrete sidewalk work.
  6. Variance required by village.

**CLARIFICATION: THESE ITEMS TO BE ADDRESSED PRIOR TO START OF CONSTRUCTION:**

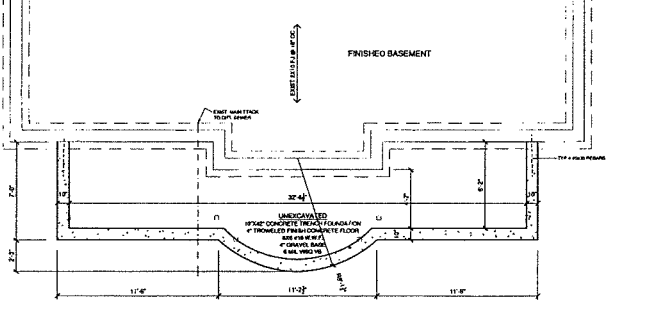
1. Portable toilet.
2. reworking steel, sewer line to avoid new porch foundation

**GENERAL NOTES:**

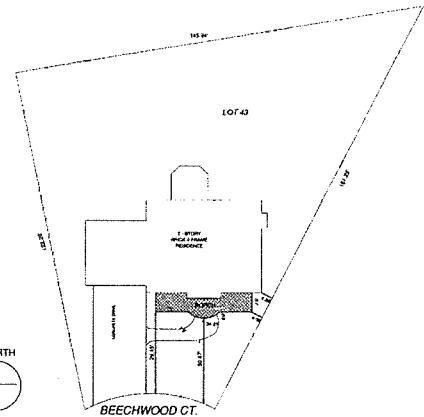
1. Bradford and Kent Builders shall take every precaution in installing or handling owner supplied items. If these items are determined to be unusable by DEMO then items suitable for use must be provided. B&K will not warranty any owner supplied materials, products or any transportation damage resulting from items of this nature.
2. Owner supplied light fixtures are to be on site at the time of installation of electrical conduit brought to allow laborer to reattach to overhead fixtures provided as compatible with the electrical layout on the approved plans. If these fixtures are not compatible with the layout, a change order may be required for the number of rough openings to be revised. If the fixtures are not on site at the requested time and a labor determined rough opening is not complete with the installed roughing, the owner will be charged to remove the roughing and as required.
3. Dimensions shown on plans are stated constants and may vary as much as 4/16" due to framing. No allowance is provided for altering existing framing to accommodate precise placement of light fixtures.
4. All items to have a minimum size of 1/2" and a minimum total depth of 1/2". Minimum width of 3/8" and a minimum clear headroom measured vertically from the base of the ceiling to a head in it this parallel with the run of the ceiling. Dimensions to have no restriction to any future remodeling change of headroom within a stair run.
5. Bradford and Kent will take every reasonable precaution to protect the areas adjacent to the construction. The protection of personal property, however, is the responsibility of the homeowner. Specifically, all structural repairs or other work adjacent to the construction area shall be removed before any demolition or construction begins. Further, Bradford and Kent cannot be held responsible for re-demolishing any surfaces that may be damaged by work conducted in an adjacent room. In such a situation, Bradford and Kent's liability will be limited to the repair of the damaged or plaster.
6. Conditions:
7. A.C.A.P.: As close as possible. Match existing conditions with readily available stock materials (bricks, vinyl, and other type material) nearest.
8. V.I.F.: Verify in field. A condition, size, or other item needs to be field verified after construction has started. The field verification should be noted on any revised A.C.P. conditions prior to commencement of related work. Changes should also be noted on the revised B&K work made in accordance with the approved drawings.
9. A.S.F.: Above finished floor. The dimension given is from the top of the finished floor (i.e., the finished floor).
10. N.T.S.: Not to scale. Dimensions related are correct but the area has not been drawn to the noted dimensions. (NOTE: items cannot be scaled for a completed drawing)
11. R.O.: Rough Opening. Good opening required for proper installation of an item.
12. DEMO: DEMOLITION. The owner should be in contact with 100% support crew when they arrive on site over an approved trailer for removal of items to be demoed.



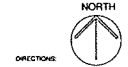
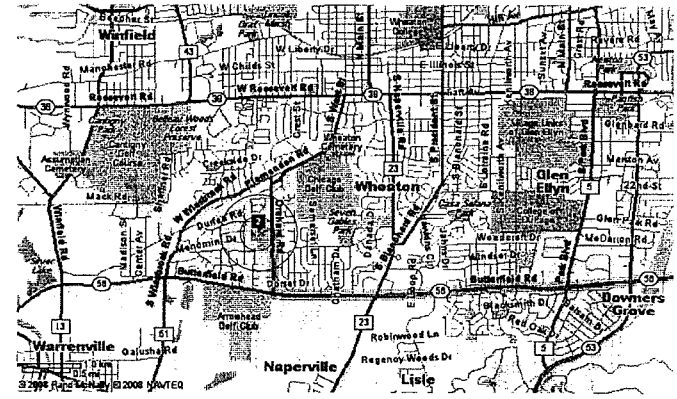
**A-1 DEMO PLAN**  
Scale: 1/4" = 1'-0"



**B-1 FOUNDATION PLAN**  
Scale: 1/4" = 1'-0"



**C-1 SITE PLAN**  
Scale: 1" = 20'



**DIRECTIONS**  
 LEFT (N) ON OGDEN TO MARK ST (R) IN TO MULTI EMPLOY RD  
 IS (N) TO OGDEN RD  
 TURN (N) TO MAPLEWOOD DR  
 TURN (N) TO BEECHWOOD CT  
 TURN (N) TO 311

**TECH / SALES REVIEW**

REVIEWER: \_\_\_\_\_  
 DATE OUT FOR T/S REVIEW: \_\_\_\_\_  
 REQUIRED BACK BY (3-DAYS): \_\_\_\_\_  
 RECEIVED BACK BY ENGINEERING: \_\_\_\_\_

HOMEOWNER REVIEW DATE: \_\_\_\_\_  
 (To be reviewed by the Homeowner)

REVIEWERS SIGNATURE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

SHEET	DESCRIPTION	REVISIONS
1	SCOPE, SCHEDULES, MAP	
1	DEMO PLAN, FOUNDATION	
1	SITE PLAN	
2	FLOOR PLAN, ELEVATIONS	
3	SECTIONS	

WHEATON BUILDING DEPT., (630) 260-2000  
 PERMIT # \_\_\_\_\_

REVISIONS BY:	DATE:

**DO NOT BUILD SET**

Bradford & Kent, Inc.  
 331 BEECHWOOD CT.  
 DOWNERS GROVE, IL 60515  
 Phone 630.969.8585  
 Fax 630.969.8621  
 bradfordandkent.com

**Bradford & Kent**  
 CUSTOM BUILDER S



**TODD & KAREN LAVENE**  
 331 BEECHWOOD CT.  
 WHEATON, IL 60187  
 PHONE: (630) 794-1534 WORK: (312) 234-5312

DRAWN/SLS: NG/JC  
 O.T.E: G.M./H  
 SCALE: AS NOTED  
 JOB NO.: 8033

SHEET **1**  
 OF THREE

ELECTRIC SYMBOLS	
Single Pole Switch	Single Outlet
Three Way Switch	WPO Outlet
Four Way Switch	Water Proof Outlet
Dimmer Switch	WV Outlet
Three Way Dimmer Switch	WV Water Proof Outlet
Door Bell Switch	1/2" Wall W/P
Exterior GFI WPO Light	Exterior Wall Light Opening
Callout - Water Proof	Pre-Ceiling Callout
Callout - No Opening	Pre-Ceiling Callout
Pull Chain Light	Pre-Ceiling Callout
Under Cabinet Lighting	Fluorescent Pull Chain Light
Back Exhaust Fan Light Unit	Fluorescent Pull Chain Light Unit
Back Exhaust Fan Unit	1/4" W/O Smoke Detector
Television Jack - Video Module	Phone Jack - Video Module

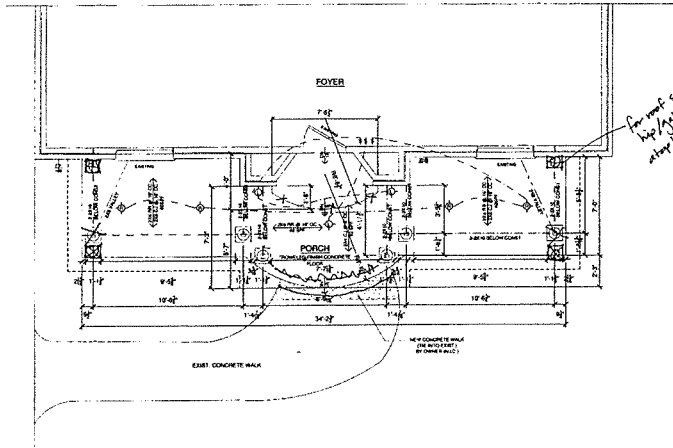
**NOTES:**  
 1. All switches, receptacles & light fixtures in a bathroom, powder room, kitchen, etc. shall be GFI protected.

ELECTRICAL SCHEDULE		
SERVICE SIZE	200 AMP	
PANEL SIZE	40 PLACE	
DEVICE	STYLE	COLOR
SWITCHES	STD.	T.B.O.
OUTLETS	STD.	T.B.O.
CAN LIGHTS	6"	T.B.O.

**DESIGN LOADS**  
 MINIMUM DESIGN UNIFORM LIVE LOADS:

FLOOR LOAD	40 PSF
SLAB ON GROUND FLOOR LOAD	20 PSF
STAIR AND DECK LOAD	40 PSF
CEILING LOAD	20 PSF
ROOF LOAD	30 PSF

PRODUCT	MANUFACTURER	SERIES	MODEL NO.	COLOR	COMMENTS
COLUMNS	H&B	FUSCAN	FIBERGLASS	1" DIA.	STRUCTURAL
CROWN	T&O	MATCH BOARD	6" W		
CEILING	T&O	MATCH BOARD	6" W		
CEILING FINISH	T&O	T&O BEAD BOARD	1/2"		
ENTRY CASE PANELS	JAMES MURRIE	CEMENT PANELS	COLOR PLUS		JAMES MURRIE TRIM BOARDS

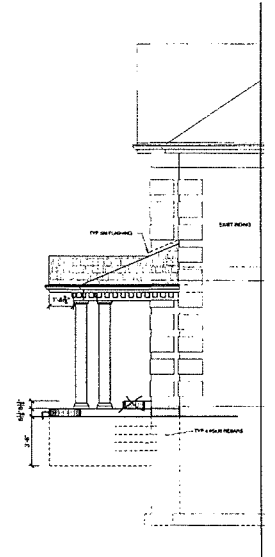


**(A-2) FLOOR PLAN** Scale: 1/4" = 1'-0"



**(B-2) ELEVATION** Scale: 1/4" = 1'-0"

# SELECTIONS



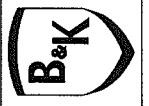
**(C-2) ELEVATION** Scale: 1/4" = 1'-0"

REVISIONS BY:	DATE:

**DO NOT BUILD SET**

Bradford & Kent, Inc.  
 807 Ogden Ave., #6015  
 Downers Grove, IL 60515  
 Tel: 630.959.8821  
 Fax: 630.959.8821  
 bradfordandkent.com

**Bradford & Kent**  
 CUSTOM BUILDERS



**TODD & KAREN LAVIEN**  
 311 BEECHWOOD CT.  
 HOME: (630) 784-6338 FAX: (630) 254-5312

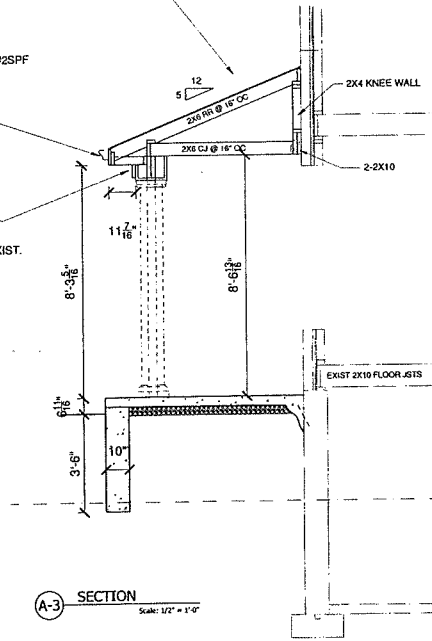
DRWN/SLS	MG/JG
DATE:	6-30-08
SCALE:	AS NOTED
JOB NO.	8033

SHEET **2**  
 OF THREE

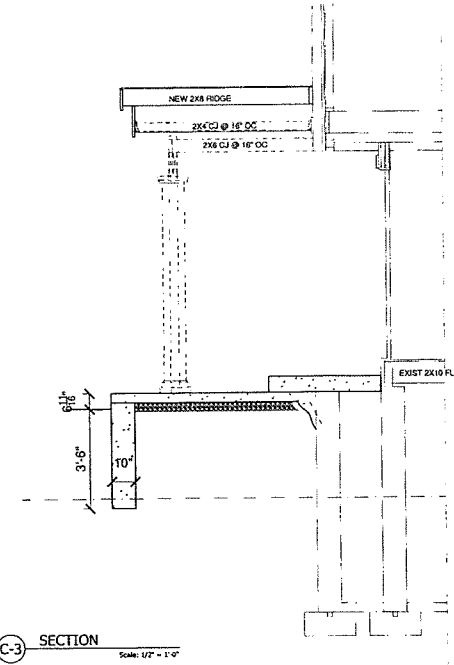
**TYP ROOF CONST:**  
 ARCHITECTURAL GRADE SHINGLES  
 MATCH EXIST ACAP  
 15 LB FELT  
 ICE AND WATER SHIELD EAVE EDGES AND VALLEYS  
 1/2" PLYWOOD SHEATHING  
 COPPER FLASHING  
 2X8 RIDGE  
 2X6 RAFTERS @ 16" OC #2SPF  
 2X4 CEILING JOISTS @ 16" OC #2SPF  
 T&G FIR BEAD BOARD CEILING

**TYP EAVE CONST:**  
 ALUMINUM GUTTERS AND DS  
 1X PINE FASCIA  
 1X PINE SOFFIT  
 2X6 SUB FASCIA

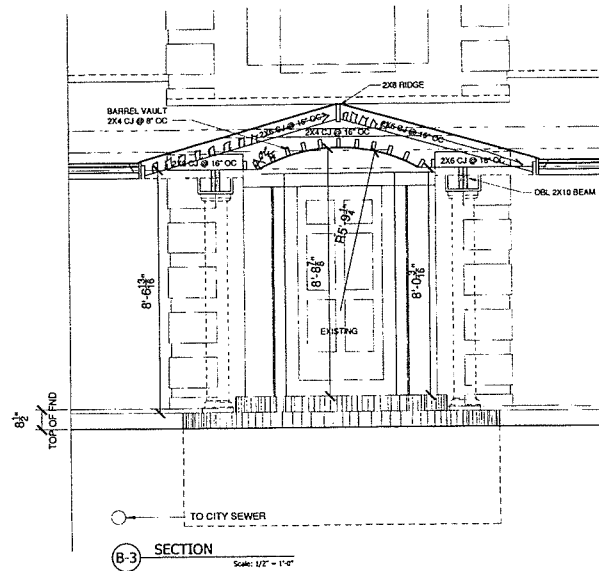
**FREEZE BOARD CONST:**  
 PINE CROWN TO MATCH EXIST.  
 DENTIL MOLDING TO MATCH EXIST.  
 1X PINE FOR SOFFIT CONST.



(A-3) SECTION Scale: 1/2" = 1'-0"



(C-3) SECTION Scale: 1/2" = 1'-0"



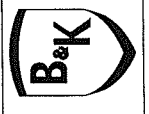
(B-3) SECTION Scale: 1/2" = 1'-0"

REVISIONS BY	DATE

**DO NOT BUILD SET**

Bradford & Kent, Inc.  
 807 Ogden Ave. # 60515  
 Home Office 630.969.8385  
 Phone 630.969.8385  
 Fax 630.969.8621  
 bradfordandkent.com

**Bradford & Kent**  
 CUSTOM BUILDER 5



**TODD & KAREN LAVEN**  
 337 BRIDGEWOOD CT.  
 WHEATON, IL 60187  
 HOME (630) 941-1518 WORK (312) 24-4312

DRWN/SIS	MC/JC
DATE	6-20-08
SCALE	AS NOTED
JOB NO.	W13

SHEET  
**3**  
 OF THREE