

ORDINANCE NO. F-1367

AN ORDINANCE GRANTING A FRONT AND SIDE YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 211 NORTH WILLISTON STREET - SANGUINETTI

WHEREAS, written application has been made requesting a variation from the provisions of Article 10.2.5 and Article 3.4A.5b of the Wheaton Zoning Ordinance to allow the construction of a residential addition with a front yard setback of 38.0 feet in lieu of the required 58.0 feet and a south side yard setback of 6.11 feet in lieu of the required 9.24 feet, all on certain property legally described herein and commonly known as 211 North Williston Street, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on July 22, 2008 to consider the variation request; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variation, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 10.2.5 and Article 3.4A.5b of the Wheaton Zoning Ordinance to allow the construction of a residential addition with a front yard setback of 38.0 feet in lieu of the required 58.0 feet and a south side yard setback of 6.11 feet in lieu of the required 9.24 feet, on the following-described property:

LOT 2 IN STEVENSON'S RESUBDIVISION OF THE SOUTH 110 FEET OF THE NORTH 242 FEET OF THE WEST ½ OF BLOCK 4, ALSO THE SOUTH 56 FEET OF THE NORTH 298 FEET OF THE WEST 140 FEET OF BLOCK 4, ALSO THE SOUTH 69 FEET OF THE WEST 140 FEET OF BLOCK 4 IN JONATHAN BLANCHARD'S SUBDIVISION IN THE NORTHWEST ¼ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID STEVENSON'S RESUBDIVISION RECORDED NOVEMBER 12, 1959 AS DOCUMENT 947119, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-15-124-004

This property is commonly known as 211 North Williston Street, Wheaton, IL 60187 ("subject property").

Section 2: The variation provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

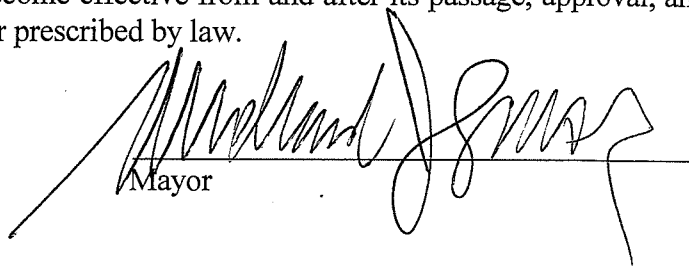
- A. The addition design and location shall be as illustrated on the plans titled "Proposed Addition for Mr. and Mrs. Sanguinetti, 211 North Williston Street, Wheaton, IL",

R2008-144959

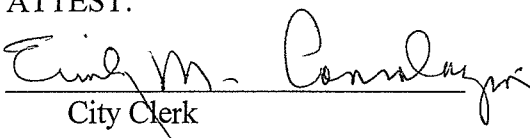
prepared by L.A. Dohrer, Elk Grove Village, IL, which are on file in the office of the Planning and Economic Development Department.

Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Mayor

ATTEST:


City Clerk

Roll Call Vote:

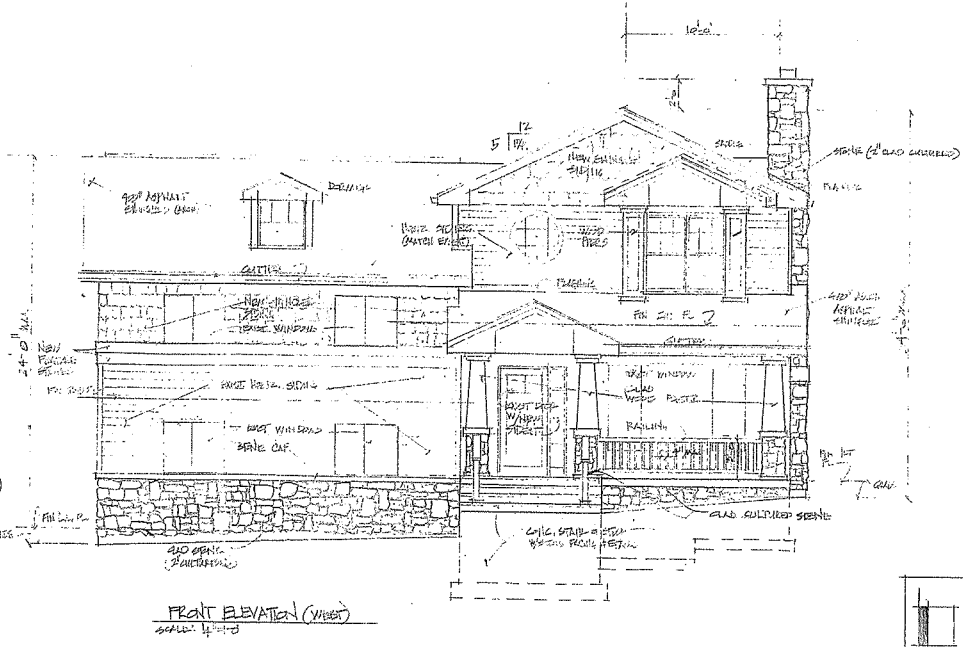
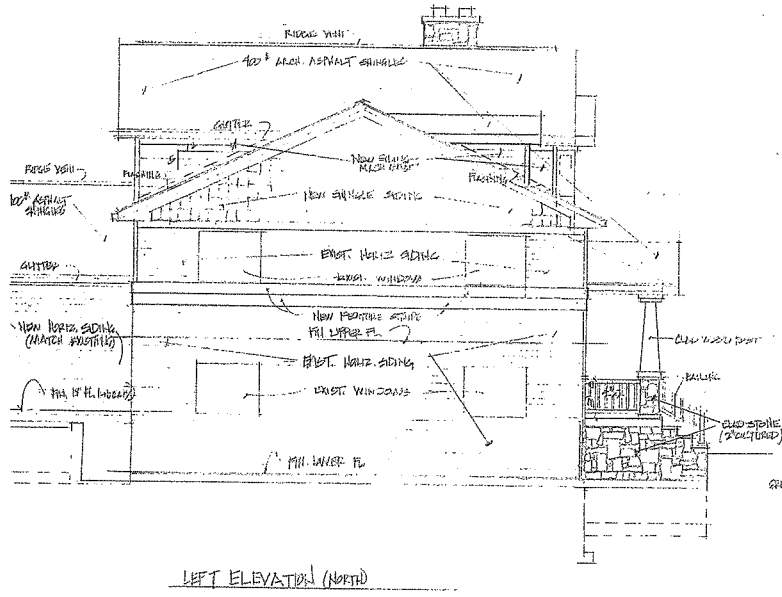
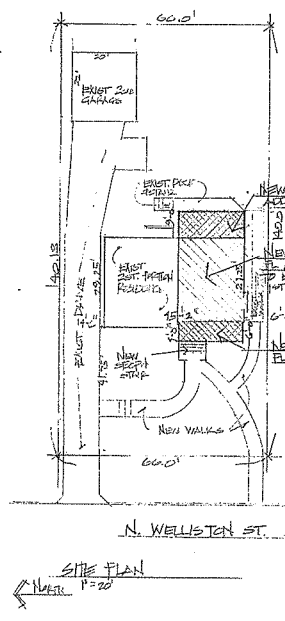
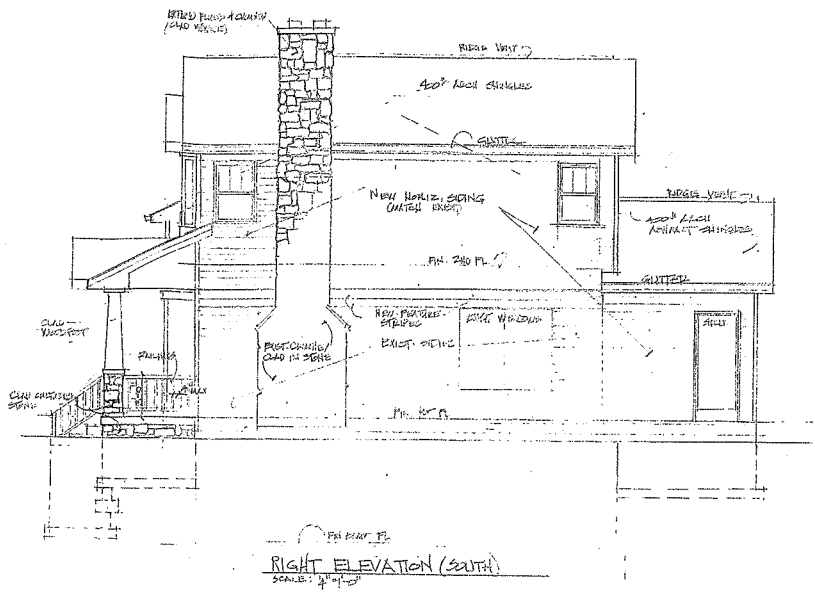
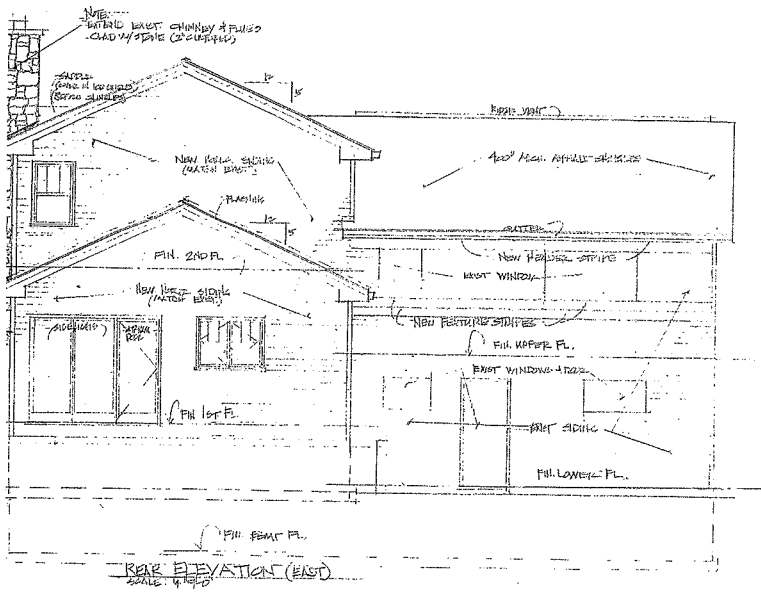
Ayes: Councilman Mouhelis
Councilman Prendiville
Councilman Suess
Councilwoman Corry
Councilman Levine
Mayor Gresk

Nays: None

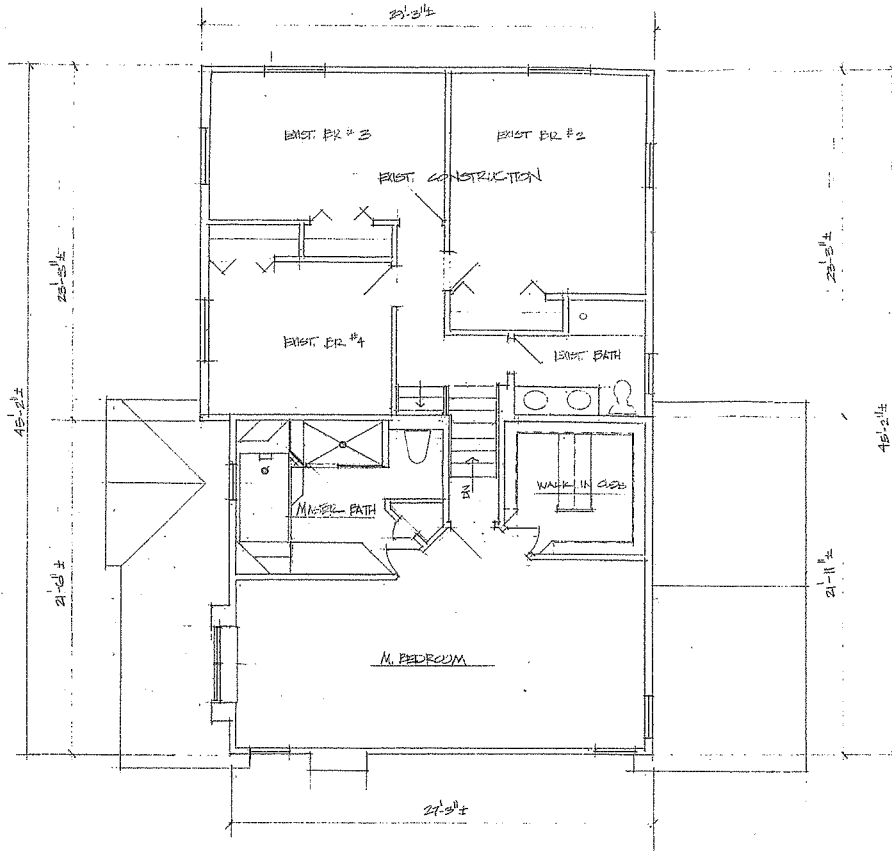
Absent: Councilman Johnson

Motion Carried Unanimously

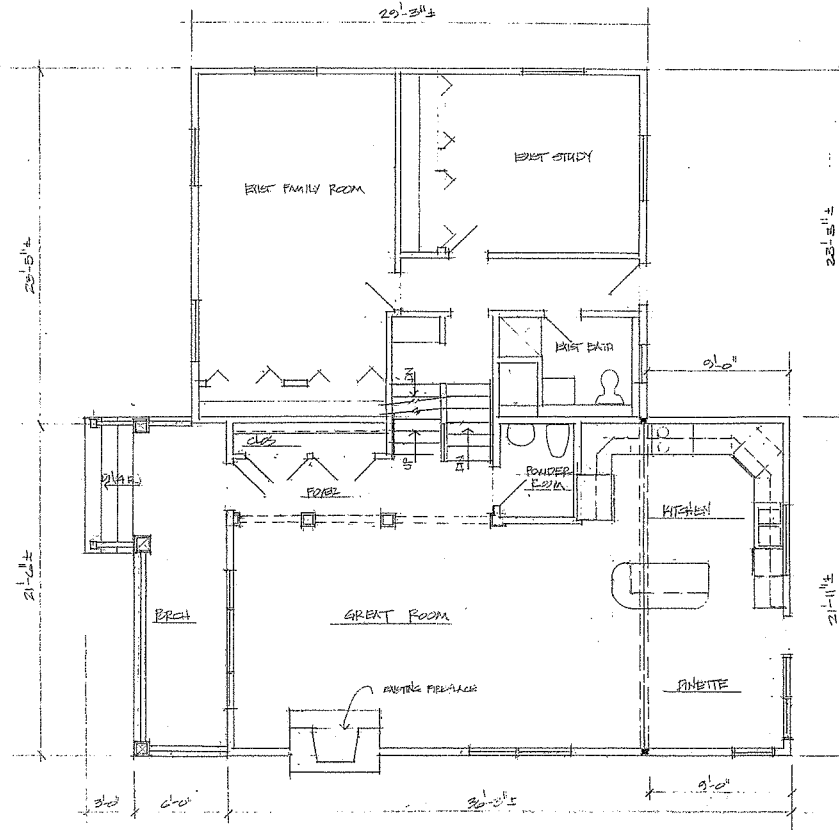
Passed: August 4, 2008
Published: August 5, 2008



PROJECT LOCATION IS
 MR & MRS. R. SANGUINETTI
 211 N. WELLINGTON WHEATON, ILL.

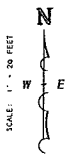


2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROJECT ADDRESS TO	JOB
MR. & MRS. R. SANGUNETTI	1000
211 N. WILSON ST. WHEATON, ILL.	SHT.
L. A. DONNER, ARCHITECT	



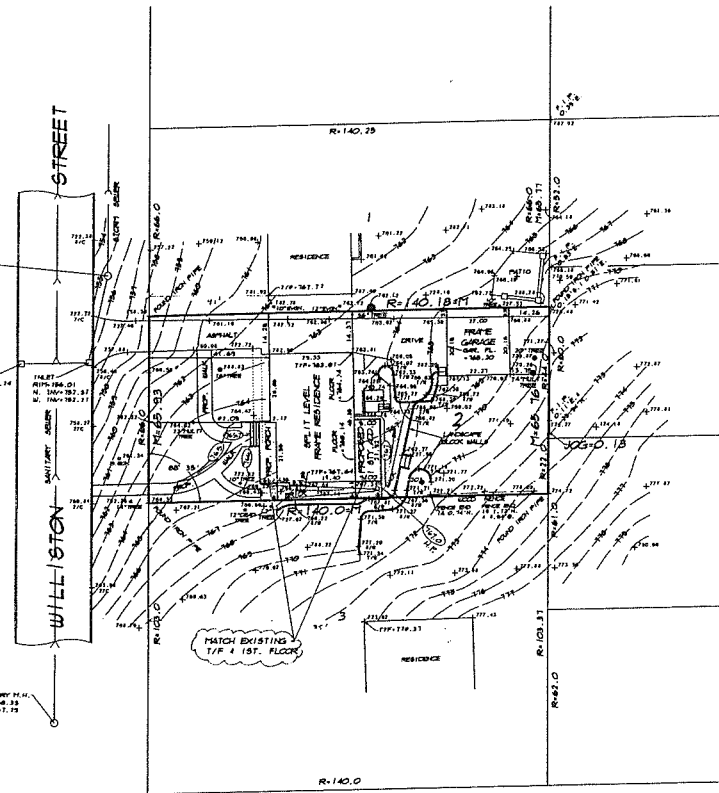
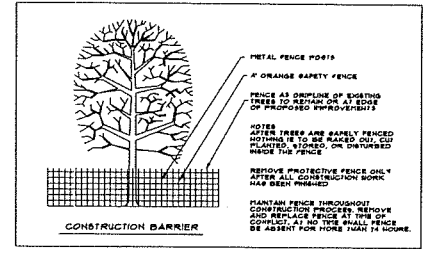
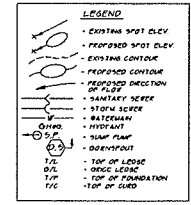
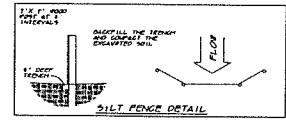
LEGAL DESCRIPTION

LOT 2 IN STEVENSON'S RESUBDIVISION, BEING A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 12, 1959, AS DOCUMENT 541115, IN DU PAGE COUNTY, ILLINOIS.

REFERENCE BENCH MARK
 DU PAGE COUNTY - 7115001
 BRONZE DISK IN CONCRETE BASE OF LIGHT POLE NEAR THE SOUTHEAST CORNER OF HARRISON AVE. AND PREVALENT ST. STAFFED "DU PAGE COUNTY MAPS & PLATS" ELEVATION = 719.09

DESIGN CONTROL NOTES

1. EXISTING AND PROPOSED CONTOUR LINES SHALL BE PLANNED TO MAINTAIN A MINIMUM OF 2% SLOPE TO THE NEAREST NEIGHBORING DRAINAGE COURSE.
2. ALL PROPOSED CONTOUR LINES SHALL BE PLANNED TO MAINTAIN A MINIMUM OF 2% SLOPE TO THE NEAREST NEIGHBORING DRAINAGE COURSE.
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10. ALL PROPOSED CONTOUR LINES SHALL BE PLANNED TO MAINTAIN A MINIMUM OF 2% SLOPE TO THE NEAREST NEIGHBORING DRAINAGE COURSE.



REVISITONS BY:

PREPARED FOR:
 RAYMOND SANGUINETTI

SITE PLAN

PROJECT LOCATION:
 211 N. WILLISTON ST.
 WHEATON, ILL.



STATE OF ILLINOIS |
 COUNTY OF DU PAGE |

To the best of my knowledge and belief that such surface waters will be planned for in accordance with generally accepted engineering practices and that the development of the subject site in accordance with the site development plan will not increase the amount or rate of runoff so as to adversely affect the quality of surface water draining onto other properties and will not damage other properties.

West Chicago, Illinois, May 30, 2008

By: *Richard J. Steinbrecher*
 Richard J. Steinbrecher
 Professional Land Surveyor 3583
 License expires November 30, 2008

Steinbrecher Land Surveyors, Inc.
 Professional Engineering and Professional Land Surveying
 Design Firm Corporation No. 184-00326
 141 S. Halsted St., West Chicago, IL 60595-2844
 (630) 293-8900 Fax 293-8902

SHEET
 1 OF 1