

**ORDINANCE NO. F-1351**

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP  
BY GRANTING A SPECIAL USE PERMIT FOR PLANNED UNIT DEVELOPMENT - 20  
WEST LOOP ROAD/ DANADA VETERINARY HOSPITAL**

**WHEREAS**, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development to subdivide the subject property, currently occupied by an Aldi grocery store, into two lots with sizes of 2.16 and 0.91 acres, in order to construct a 9,732 square foot veterinary hospital and 48 space parking lot on the southern vacant portion of the site, on property zoned C-5 Planned Commercial District, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 20 West Loop Road; ("Subject Property") and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on March 25, 2008, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit for planned unit development.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

LOT 2 IN KEIM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF LOT 4, IN KEIM'S DANADA FARMS WEST LOOP RESUBDIVISION OF LOT 4, BEING A SUBDIVISION OF PART OF THE SOUTHWEST ¼ OF SECTION 28, THE NORTHWEST ¼ OF SECTION 33 AND THE NORTHEAST ¼ OF SECTION 32, ALL IN TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF KEIM'S WEST LOOP ROAD SUBDIVISION AFORESAID, RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-28-300-026

The subject property is commonly known as 20 West Loop Road, Wheaton, IL 60187.

**Section 2:** Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit is hereby issued on the subject property to allow the subdivision of the property into two lots and the construction of a 9,732 square foot veterinary hospital and 48 space parking lot on the southern vacant portion of the site on property zoned C-5 Planned Commercial District, in full compliance with the site plan, elevations, floor plans and engineering plans entitled "Danada Veterinary Hospital, Wheaton, IL" prepared by Peter Krallitsch & Associates, Chicago, IL and dated April 15, 2007 (elevations and floor plans) and February 29, 2008 (site plan) and landscaping plan entitled "Danada Veterinary Hospital" prepared by Birchwood Landscape, Glen Ellyn, IL and dated March 3, 2008; and in further compliance with the following conditions, restrictions, and requirements:

R2008-089935

1. The Danada Veterinary Clinic shall contribute to the care and maintenance of the private service road in the manner set forth in the easement recorded on July 20, 1988, as Document R88-79082 at the DuPage County Recorder of Deeds Office; and
2. Additional plantings and trees shall be provided in the perimeter landscaping setbacks; and
3. The proposed trash enclosure shall be constructed of masonry to match the building; and
4. All signage for the property shall be required to comply with Article 23 of the Zoning Ordinance; and
5. All lighting shall comply with Article 22.4.9 of the Zoning Ordinance; and
6. Additional visual screening on the west side of the animal exercise area shall be provided; and
7. A color rendering of the building and materials proposed shall be approved by City staff.

**Section 3:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 4:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
\_\_\_\_\_  
Mayor

ATTEST:

  
\_\_\_\_\_  
City Clerk

ROLL CALL VOTE:

Ayes: Councilman Levine  
Mayor Gresk  
Councilman Mouhelis  
Councilman Prendiville  
Councilman Sues  
Councilwoman Corry  
Councilman Johnson

Nays: None

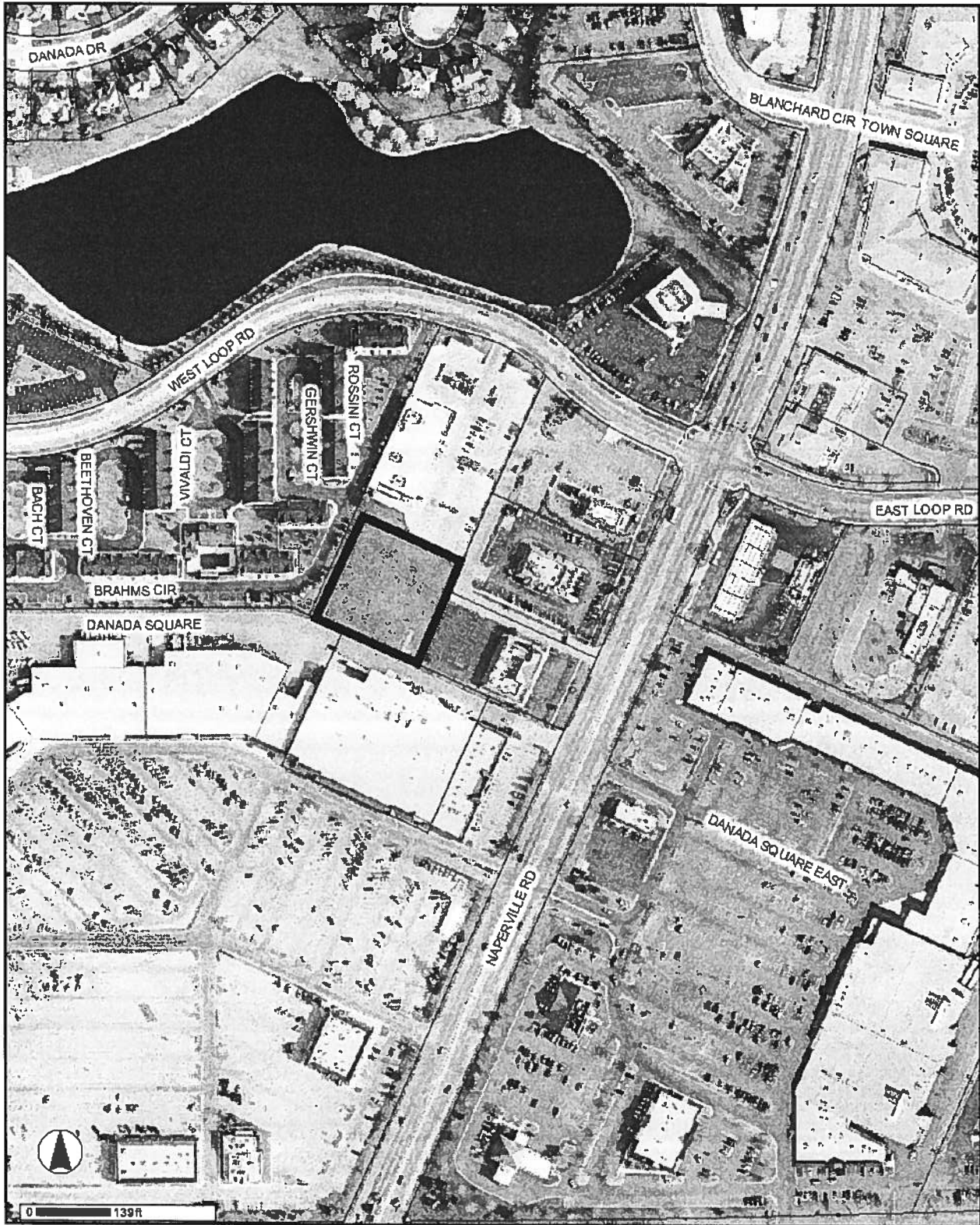
Absent: None

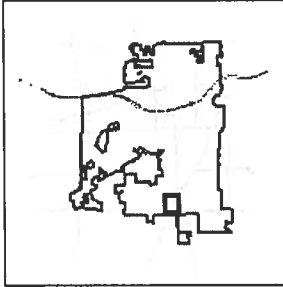
Motion Carried Unanimously

Passed: April 21, 2008  
Published: April 22, 2008

Subject Property

Print Close





### City of Wheaton

#### WARNING AND DISCLAIMER

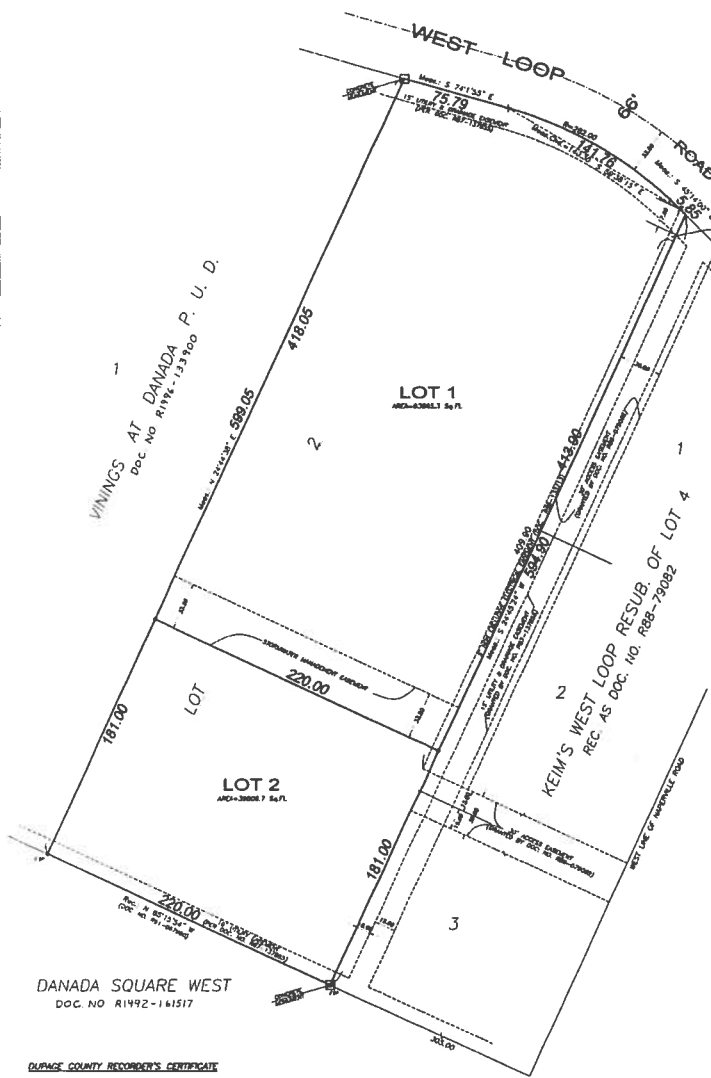
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Printed: 04/16/2008 10:25:19 AM

# FINAL PLAT OF ALDI INC RESUBDIVISION

OF LOT 2 IN KEIM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

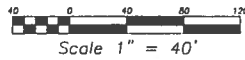
P.I.N. # 05-28-300-026



**LEGEND**

---	LOT LINE
---	CENTER LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
○	FOUND IRON PIPE
○	SET IRON PIPE
○	FOUND CUT CROSS
○	SET CONCRETE MONUMENT
○	PUBLIC UTILITY & DRAINAGE EASEMENT
---	REC. MEAS.
---	MEASURED MEASUREMENT

**SURVEYOR'S NOTE:**  
 1- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTH  
 2- IRON PIPES AT ALL CORNERS (UNLESS NOTED OTHERWISE)  
 3- IRON PIPE STAKES SHALL BE PLACED AT ALL LOT CORNERS AND AT ALL CURVE CONTROL POINTS AS PERMANENT MONUMENTS FROM WHICH FUTURE SURVEY MAY BE MADE.  
 4- ALL MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS OF A FOOT.  
 5- BASIS OF BEARING AS PER DOCUMENT NO. R91-067990



**STORMWATER MANAGEMENT EASEMENT**

ALL EASEMENTS INDICATED AS DETENTION AND/OR STORMWATER MANAGEMENT EASEMENT ARE RESERVED FOR AND GRANTED TO THE CITY OF WHEATON AND ITS SUCCESSORS AND ASSIGNS ON A NON-EXCLUSIVE BASIS. NO BUILDINGS SHALL BE PLACED ON SAID EASEMENT BUT THE SAME MAY BE USED FOR OTHER PURPOSES THAT DO NOT ADVERSELY AFFECT THE STORAGE/TREE FLOW OF STORMWATER. EACH OWNER OR SUBSEQUENT PURCHASER SHALL BE EQUALLY RESPONSIBLE FOR MAINTAINING SUCH EASEMENTS AND SHALL NOT DESTROY OR MODIFY GRADES OR SLOPES WITHOUT FIRST HAVING RECEIVED WRITTEN APPROVAL FROM THE CITY OF WHEATON OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING JURISDICTION OVER DRAINAGE.

IN THE EVENT ANY OWNER OR SUBSEQUENT PURCHASER FAILS TO MAINTAIN ANY SUCH EASEMENT, THE CITY OF WHEATON, ILLINOIS, SHALL UPON THIRTY(30) DAYS WRITTEN NOTICE TO THE OWNER OUTLINE THE NATURE AND DEFECT OF THE OWNER'S DEFAULT AND THAT THE OWNER SHALL NOT HAVE CURED SAID DEFAULT, SHALL RESERVE THE RIGHT TO PERFORM OR HAVE PERFORMED ON ITS BEHALF, ANY MAINTENANCE WORK UPON THE DETENTION WHICH ARE REASONABLY NECESSARY TO INSURE ADEQUATE STORMWATER STORAGE, FREE/FLOW OF WATER, EROSION CONTROL AND CURB MAINTENANCE TO ELIMINATE STAGNANT WATER WITHIN THE DETENTION AREA AND PROVIDED FURTHER THAT IN THE EVENT THAT THE CITY OF WHEATON OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING JURISDICTION OVER DRAINAGE ELECTS TO PERFORM OR CAUSES TO PERFORM ANY SUCH WORK IT SHALL PROVIDE THE OWNERS WITH PROPER INSURANCE CERTIFICATES OF ALL SUBCONTRACTORS WORKING ON THE EASEMENT PREMISES CO-INSURING THE OWNER FOR THE WORK TO BE PERFORMED.

IN THE EVENT THE CITY OF WHEATON, ILLINOIS SHALL BE REQUIRED TO PERFORM OR HAVE PERFORMED ON ITS BEHALF ANY MAINTENANCE WORK UPON ANY SUCH EASEMENT THE COST TOGETHER WITH AN ADDITIONAL SUM OF TEN (10) PERCENT OF SAID COST SHALL BE ASSESSED TO THE OWNER OR ITS SUCCESSORS AND ASSIGNS AND SHALL CONSTITUTE A LIEN AGAINST THE PROPERTY WHICH MAY BE ENFORCED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE CITY OF WHEATON, ILLINOIS OR ANY OTHER UNIT OF LOCAL GOVERNMENT HAVING THE JURISDICTION OVER DRAINAGE.

**SURFACE WATER CERTIFICATION**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 THIS IS TO CERTIFY TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY SUCH SUBDIVISION OR ANY PART THEREOF OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION AND DIVERSION OF SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SURVEYOR HAS A RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL NOT BE DEPOSITED ON THE PROPERTY OF ADJOINING LANDOWNERS IN SUCH CONCENTRATIONS AS MAY CAUSE DAMAGE TO THE ADJOINING PROPERTIES BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_.

OWNER OR ATTORNEY \_\_\_\_\_ ENGINEER \_\_\_\_\_

**OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 THIS IS TO CERTIFY THAT ALDI INC., AN ILLINOIS CORPORATION, IS THE OWNER OF THE PROPERTY LEGALLY DESCRIBED HEREON AND AS SUCH OWNER I CALL FOR THE PROPERTY TO BE SURVEYED AND PLATED AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTE AND SAID CORPORATION DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT \_\_\_\_\_ ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 200\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_

TITLE: \_\_\_\_\_  
 ALDI INC.  
 1200 NORTH KIRK RD.  
 BATAVA, IL 60210

**NOTARY PUBLIC**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ AND \_\_\_\_\_ OF SAID CORPORATION WHO ARE PERSONALLY KNOWN TO ME TO BE THE SAME PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AS SUCH \_\_\_\_\_ AND \_\_\_\_\_ RESPECTFULLY APPEARED BEFORE ME THIS DAY IN PERSON AND JOINTLY AND SEVERALLY ACKNOWLEDGED THAT THEY SIGNED AND DELIVERED THE SAID INSTRUMENT AS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION FOR THE USES AND PURPOSES THEREIN SET FORTH, AND SAID \_\_\_\_\_ DID ALSO THEN AND THERE ACKNOWLEDGE THAT THEY AS THE CUSTODIANS OF THE CORPORATION SEAL OF SAID CORPORATION, DID AFFIX SAID SEAL OF SAID CORPORATION TO SAID INSTRUMENT AS IS THEIR OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID CORPORATION, FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ IN THE YEAR 200\_\_.

NOTARY PUBLIC \_\_\_\_\_ COMMISSION EXPIRES \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 THIS IS TO CERTIFY THAT I, NORBERT V. LAMBERT JR., AN ILLINOIS PROFESSIONAL LAND SURVEYOR, NUMBER 1853, HAVE SURVEYED AND RESUBDIVIDED THE PROPERTY DESCRIBED AS:

LOT 2 IN KEIM'S WEST LOOP ROAD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 5, 1991 AS DOCUMENT NO. R91-067990, IN DUPAGE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT ALL REGULATIONS ENACTED BY THE CITY COUNCIL RELATIVE TO PLATS AND SUBDIVISIONS HAVE BEEN COMPLIED WITH IN THE PREPARATION OF THIS PLAT.  
 THE PROPERTY SHOWN ON THIS PLAT HEREON DRAWN IS SITUATED WITHIN THE CORPORATE LIMITS OF THE CITY OF WHEATON WHICH HAS ADOPTED A COMPREHENSIVE PLAN AND WHICH IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6-6 (FORMERLY KNOWN AS ORDNANCE 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE).

I FURTHER CERTIFY THAT PARCELS INCLUDED IN THIS PLAT ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO THE FLOOD RATE MAP PANEL NUMBER 170197 C 0505 A, DATED DEC. 16, 2004, A.D.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.  
 GIVEN UNDER MY HAND AND SEAL THIS 31<sup>st</sup> DAY OF January, 2008.

\_\_\_\_\_  
 NORBERT V. LAMBERT JR.  
 ILLINOIS LAND SURVEYOR NUMBER 1853



**DUPAGE COUNTY RECORDER'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 THIS INSTRUMENT \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_ AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M.  
 RECORDER \_\_\_\_\_

**CITY COLLECTOR'S CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 I, \_\_\_\_\_, CITY COLLECTOR FOR THE CITY OF WHEATON, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE BEEN APPOINTMENT AGAINST THE TRACT OF LAND DESCRIBED ON THIS PLAT.  
 DATED AT WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_.

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 APPROVED BY THE MAJOR AND THE CITY COUNCIL OF THE CITY OF WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_.  
 BY \_\_\_\_\_ MAYOR ATTEST: \_\_\_\_\_ CITY CLERK

**COUNTY CLERK'S CERTIFICATE**

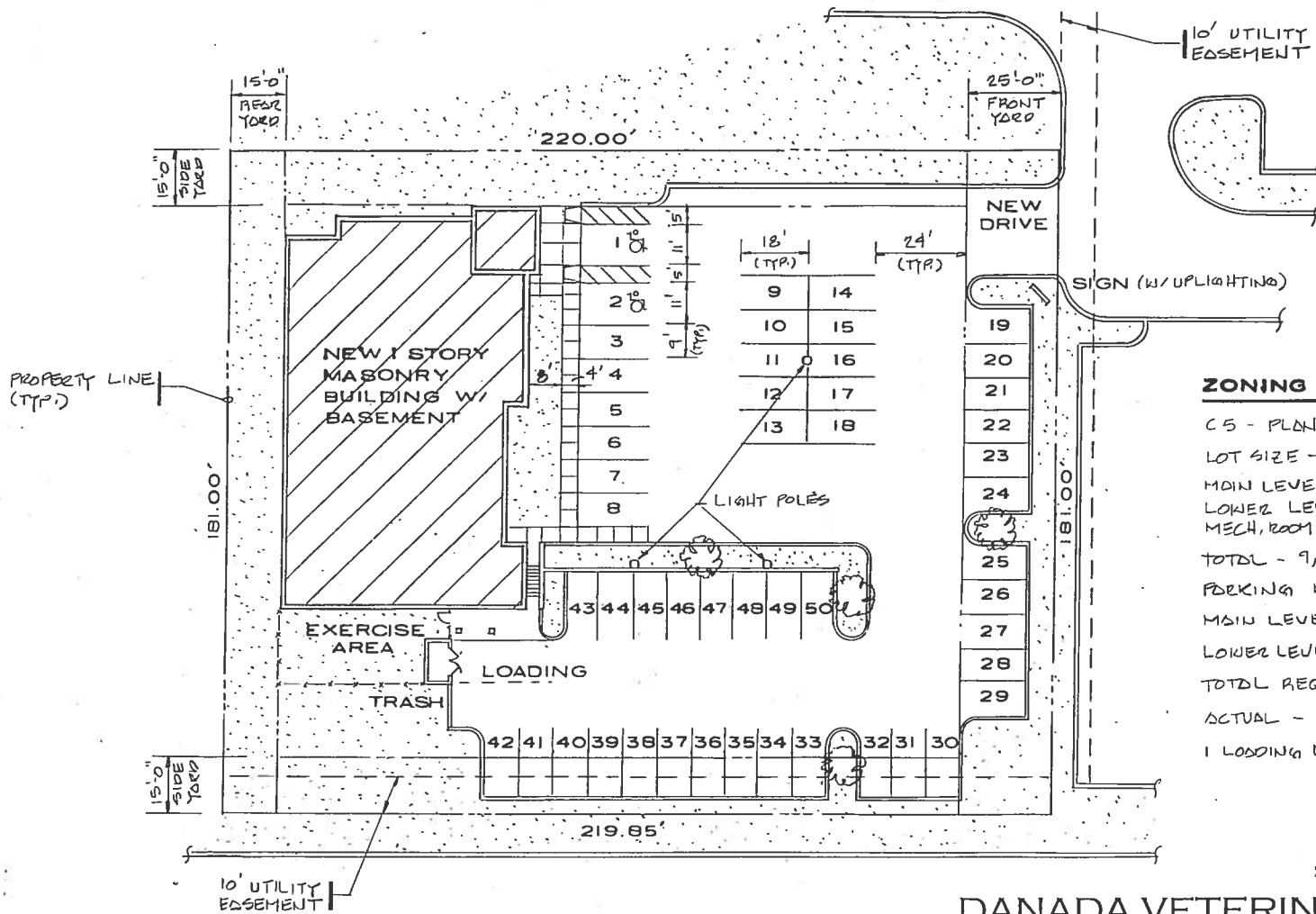
STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 I, \_\_\_\_\_, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT TAXES, NO UNPAID OR FORFEITED TAXES AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT.  
 I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.  
 GIVEN UNDER MY HAND AND SEAL OF THE COUNTY CLERK OF WHEATON, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_.

**DIRECTOR OF ENGINEERING CERTIFICATE**

STATE OF ILLINOIS )  
 COUNTY OF DUPAGE ) S.S.  
 I, \_\_\_\_\_, CITY ENGINEER OF WHEATON, ILLINOIS, DO HEREBY CERTIFY THAT THE PLAT APPENDED HERETO MEETS WITH THE REQUIREMENTS AND PLANS AND SPECIFICATIONS OF THE WHEATON CITY CODE AND HAS BEEN APPROVED BY ALL PUBLIC AUTHORITIES.  
 DATED AT WHEATON, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 200\_\_.

**SUBMITTED BY & RETURN TO:**  
 CITY OF WHEATON  
 303 W. WESLEY ST.  
 WHEATON, ILL. 60187

PROPERTY BY DUPAGE MET. CODE    ORDER NO. 07-4-133    P.I.N. 05-28-300-026  
**LAMBERT & ASSOCIATES**  
 LAND SURVEYORS  
 320 SOUTH REDDER ST. WHEATON, ILL. 60187  
 PHONE: (815) 853-8311 FAX: (815) 853-8398



**ZONING INFORMATION**

C5 - PLANNED COMMERCIAL DISTRICT  
 LOT SIZE - 39,806.72 SQ. FT.  
 MAIN LEVEL - 6,796 SQ. FT.  
 LOWER LEVEL (NOT INCLUDING STORAGE, MECH. ROOM, KENNEL AREAS) - 29,936 SQ. FT.  
 TOTAL - 9,732 SQ. FT.  
 PARKING REQ'D:  
 MAIN LEVEL 5/1000 SQ. FT. = 34 SPACES  
 LOWER LEVEL 1/250 SQ. FT. = 12 SPACES  
 TOTAL REQ'D - 46 SPACES  
 ACTUAL - 50 SPACES  
 1 LOADING BERTH @ 10'x25'

**DANADA VETERINARY HOSPITAL  
 WHEATON, IL.**

**SITE PLAN (REVISED)**

1" = 30'-0"

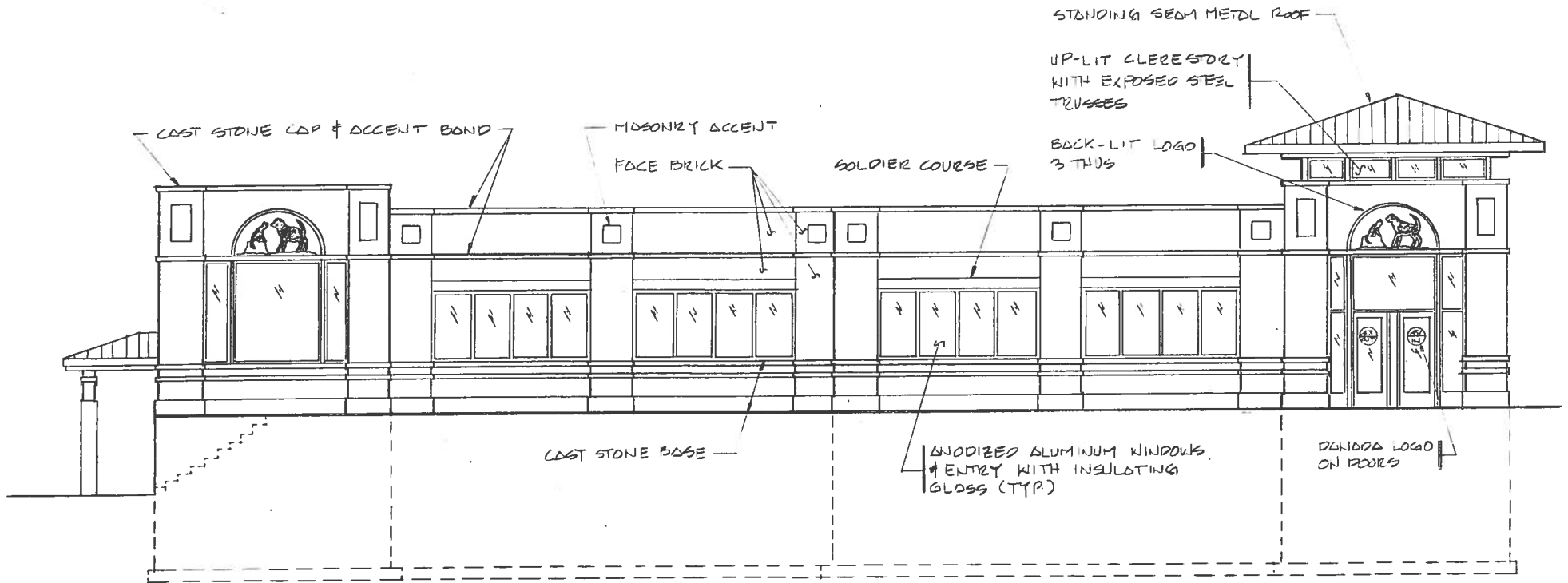


**Peter R. Krallitsch & Assoc., Ltd.**

Architect Structural Engineers Design Firm Lic. #164-003437  
 220 South State Street Chicago, IL 60604 295 Rebecca St. Crystal Lake, IL 60014  
 (312) 939-0603 FAX (312) 939-8715 (815) 455-4880

VILLAGE REVIEW 2.29.08

# DANADA VETERINARY HOSPITAL WHEATON, IL.



## PROPOSED EAST ELEVATION

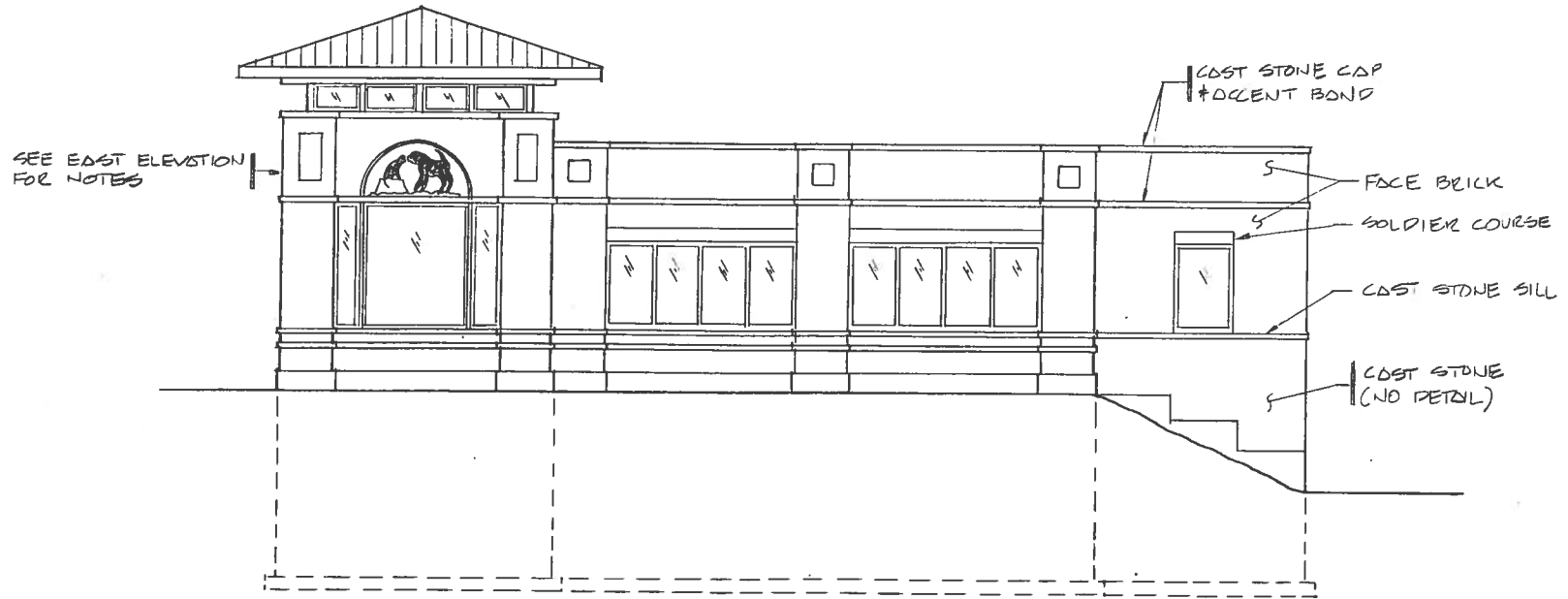
1/8" = 1'-0"

VILLAGE REVIEW 4.15.07

Peter R. Krallitsch & Assoc., Ltd.

Architects/Structural Engineers Design Firm Lic #184-003437  
 220 South State Street 295 Rebecca St.  
 Chicago, IL 60604 Crystal Lake, IL 60014  
 (312) 939-0603 FAX (312) 939-8715 (815) 455-4880

DANADA VETERINARY HOSPITAL  
WHEATON, IL.



**PROPOSED NORTH ELEVATION**

1/8" = 1'-0"

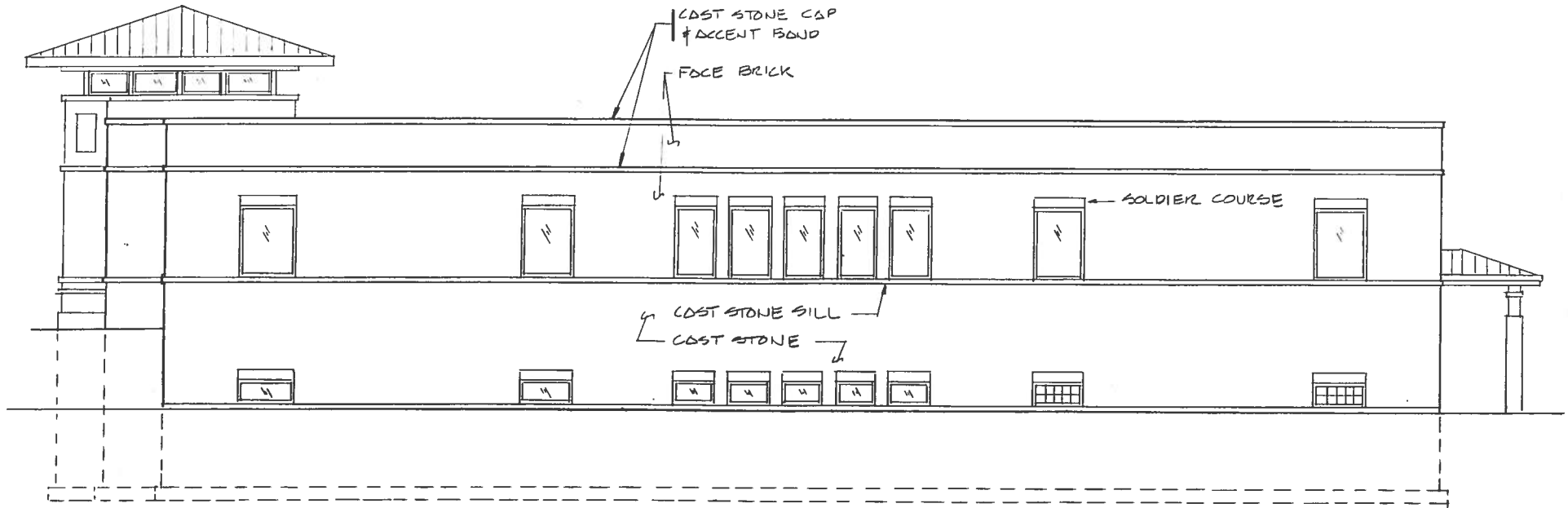
VILLAGE REVIEW 4.15.07

**Peter R. Krallitsch & Assoc., Ltd.**

Architects/Structural Engineers Design Firm Lic #184-003407  
220 South State Street Chicago, IL 60604 295 Rebecca St. Crystal Lake, IL 60014  
(312) 939-0603 FAX (312) 939-6715 (815) 455-4880



# DANADA VETERINARY HOSPITAL WHEATON, IL.



## PROPOSED WEST ELEVATION

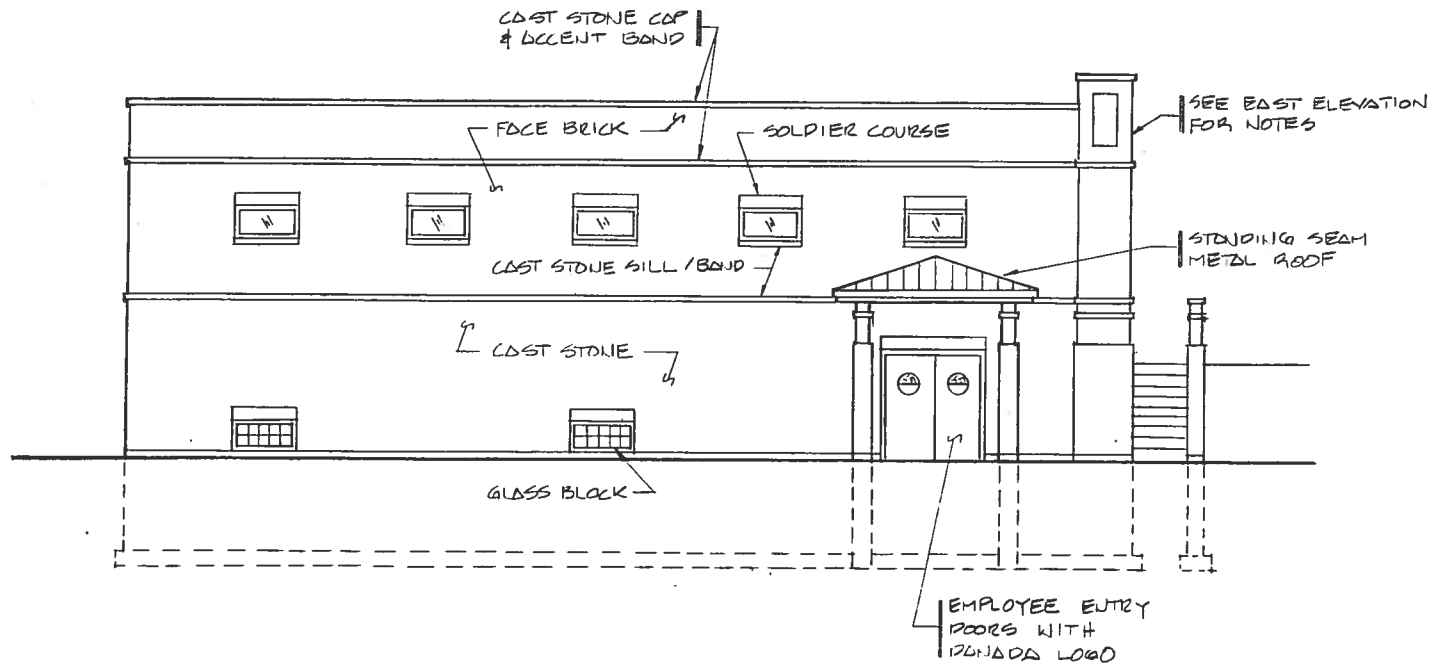
1/8" = 1'-0"

VILLAGE REVIEW 4.15.07

**Peter R. Krallitsch & Assoc., Ltd.**

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220 South State Street Chicago, IL 60604 295 Rebecca St. Crystal Lake, IL 60014  
(312) 939-0603 FAX (312) 939-8715 (815) 455-4880

# DANADA VETERINARY HOSPITAL WHEATON, IL.



**PROPOSED SOUTH ELEVATION**  
1/8" = 1'-0"

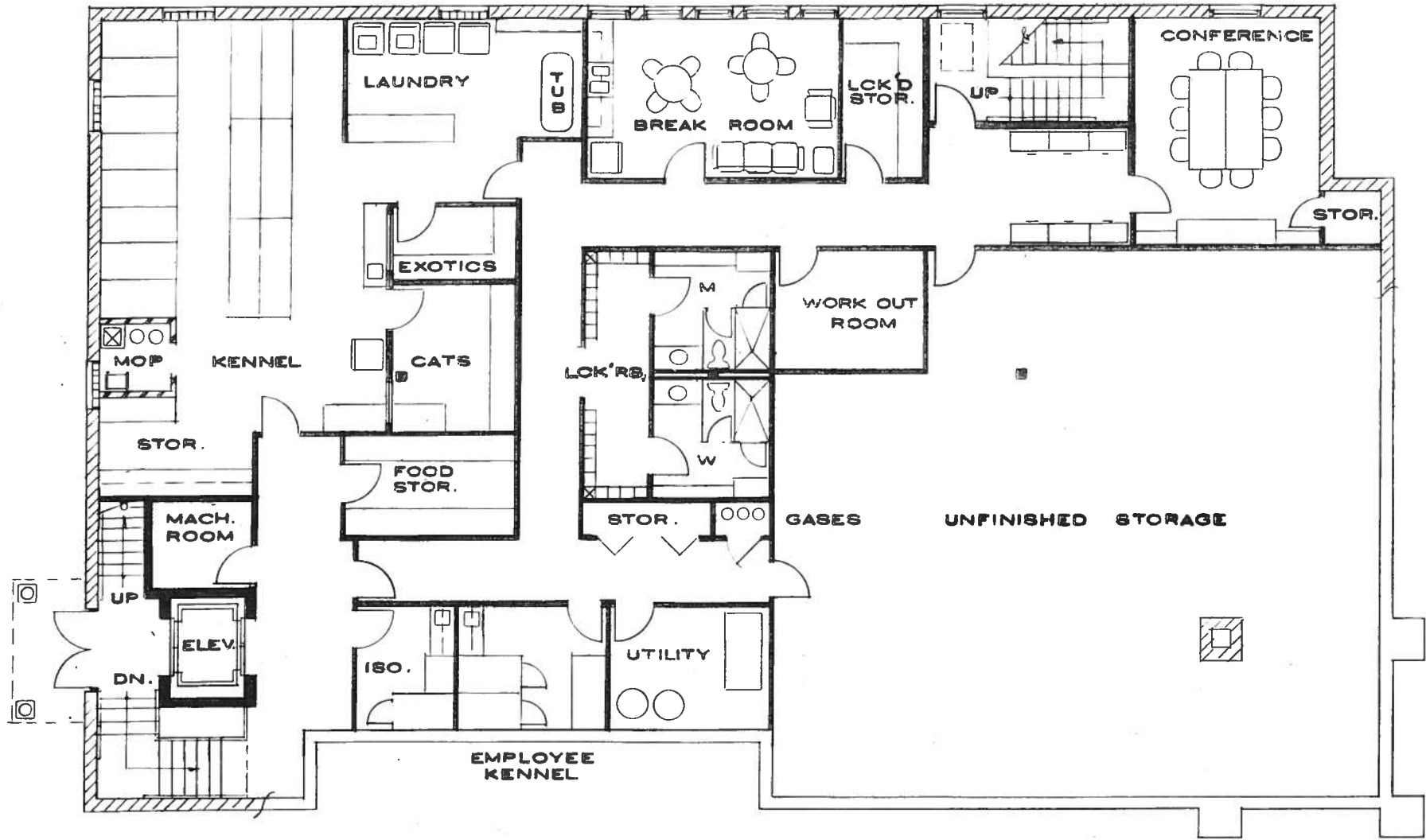
VILLAGE REVIEW 4.15.07

**Peter R. Krallitsch & Assoc., Ltd.**  
Architects Structural Engineers Design Firm Lic #184-003437  
220 South State Street Chicago, IL 60604 (312) 939-0603  
295 Rebecca St. Crystal Lake, IL 60014 (815) 455-4880 FAX (312) 939-8715

# DANADA VETERINARY HOSPITAL WHEATON, IL.

Peter R. Krallitsch & Assoc., Ltd.  
*Architect-Structural Engineers* Design Firm Lic #184-003437  
 220 South State Street Chicago, IL 60604 295 Rebecca S Crystal Lake, IL 60011  
 (312) 939-0603 FAX (312) 939-8715 (815) 455-4888

VILLAGE REVIEW 4/15/07

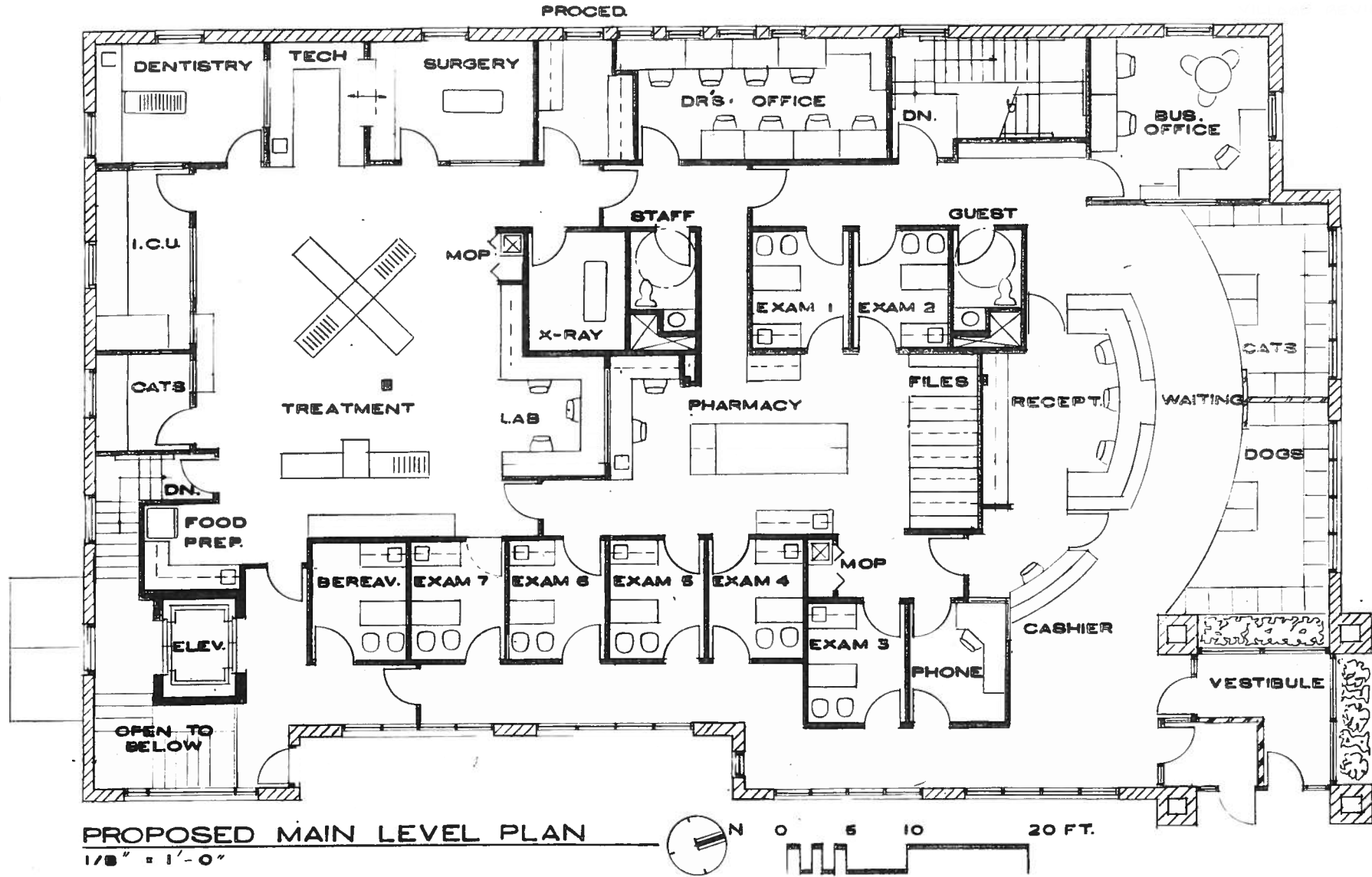


**PROPOSED LOWER LEVEL PLAN**

1/8" = 1'-0"

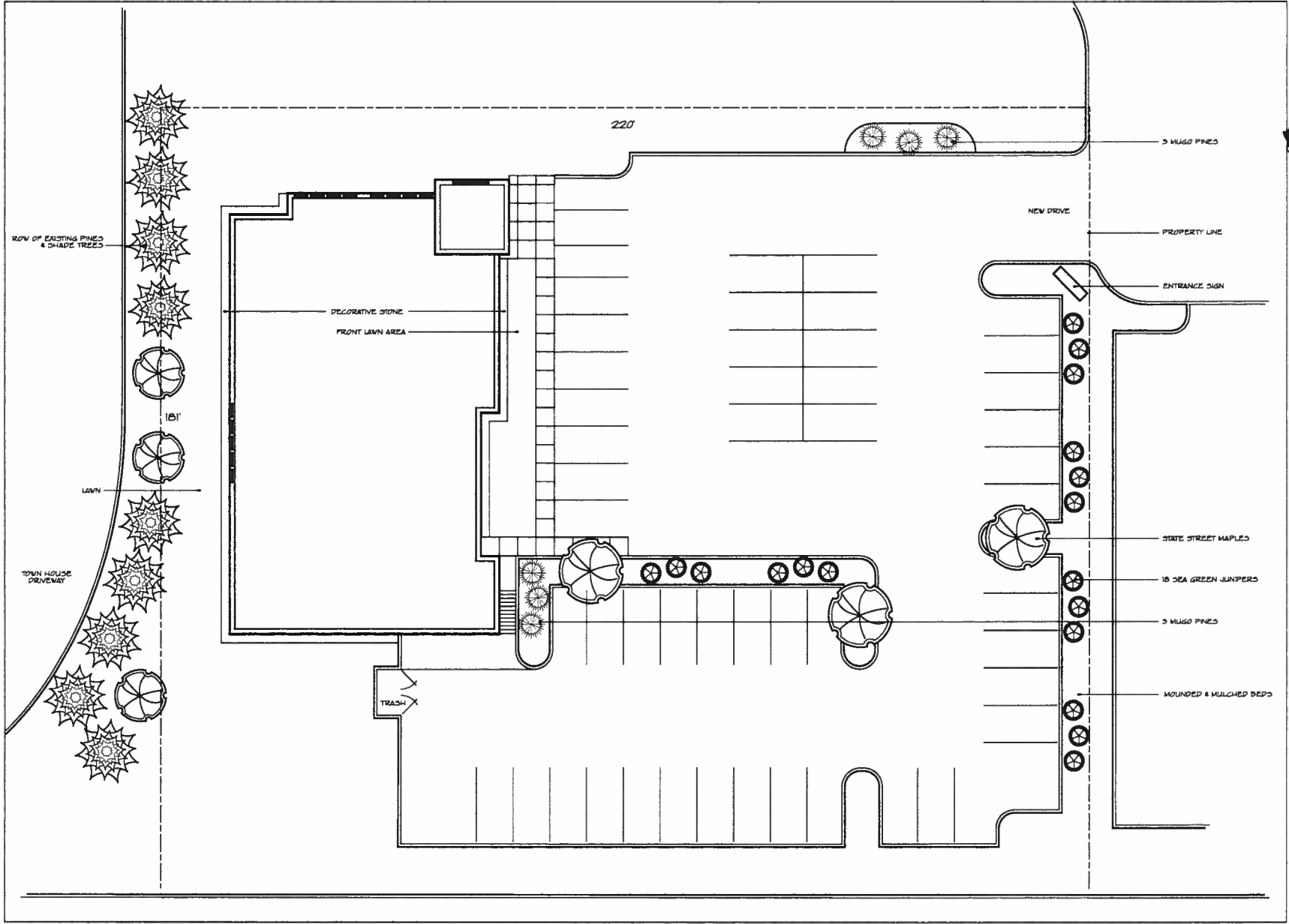


# DANADA VETERINARY HOSPITAL WHEATON, IL.



PROPOSED MAIN LEVEL PLAN

1/8" = 1'-0"



**Birchwood Landscape DESIGN**

22W457 Birchwood Drive • Glen Ellyn, IL 60137  
 fsuda@abctglobal.net • 630.606.7325

**MASTER PLAN**  
**DANADA VETERINARY HOSPITAL**  
 Winneton, IL 60187

Rev. 3/3/08  
 Frank J. Suda  
 Landscape Designer

SCALE  
 1" = 20' - 0"