

ORDINANCE NO. F-1279

**AN ORDINANCE GRANTING A FRONT YARD SETBACK VARIATION
ON PROPERTY COMMONLY KNOWN AS
1211 WEBSTER AVENUE/SCHMELA**

WHEREAS, written application has been made requesting a variation from the provisions of Article 9.2.5 of the Wheaton Zoning Ordinance to allow the construction of a second-story addition over an existing garage and the construction of a covered front porch with a front yard setback of 34.0 feet in lieu of the required 44.3 feet on certain property legally described herein and commonly known as 1211 Webster Avenue, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on May 7, 2007, to consider the variation request; and the Planning and Zoning Board has recommended approval of the zoning variation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact made and determined by the Wheaton Planning and Zoning Board, a front yard setback of 34.0 feet in lieu of the required 44.3 feet is granted in full compliance with the plans entitled "*Schmela Residence, 1211 Webster, Wheaton, Illinois 60187*" prepared by Romack Associates, Wheaton, Illinois 60187, sheets 1 to 3, dated March 5, 2007, to allow construction of a second-story addition and covered front porch to an existing house on the following-described real estate:

LOT 34 IN CADILLAC REALTY CO.'S SUBDIVISION OF PART OF THE SOUTHEAST
QUARTER OF SECTION 9, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD
PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF RECORDED MAY 2,
1955 AS DOCUMENT 755134, IN DUPAGE COUNTY, ILLINOIS.
P.I.N. 05-09-404-036

This property is commonly known as 1211 Webster Avenue, Wheaton, IL 60187.

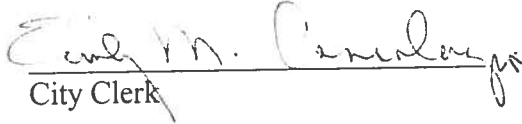
Section 2: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 3: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilman Levine
Mayor Gresk
Councilman Mouhelis
Councilman Prendiville
Councilman Sues
Councilwoman Corry
Councilman Johnson

Nays: None

Absent: None

Motion Carried Unanimously

Passed: May 21, 2007
Published: May 22, 2007



FRED BUCHOLZ

**Du Page County Recorder
421 North County Farm Road
Wheaton, IL 60187**

(630) 407-5400



FRED BUCHOLZ
DUPAGE COUNTY RECORDER
JUN.27,2007 3:28 PM
OTHER 05-09-404-036
004 PAGES R2007-119900

RECORDING COVER PAGE

DEED OTHER UCC PLAT RE-RECORD

***Please note - This cover page has been attached to the document for recording purposes. It is a permanent part of the document and has been included in the page count.**

General notes

- ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR OR #2 CANADIAN SPRUCE PINE FIR OR BETTER WITH BRIDGING U.S.A. OR PLANS.
- FOOTING SIZES MUST BE 8" x 12" SUPPORTING FRAME 10" x 12" SUPPORTING BRICK VENEER DESIGN SOIL BEARING CAPACITY = 3000 PSF
- FOUNDATION WALLS SHALL BE 10" THICK UNDER BRICK VENEER AND 8" THICK UNDER FRAME CONSTRUCTION
- NO MORE THAN 4" PERMITTED BETWEEN RAILING BALLASTERS OR OTHER CONSTRUCTION ON BSMT. STAIR
- NO MORE THAN 12"-0" PERMITTED BETWEEN ELECTRICAL RECEPTACLES AND THEY SHALL BE LOCATED NOT MORE THAN 6'-0" FROM AN OPENING IN A WALL.
- PROVIDE A (1) HOUR FIRE SEPARATION AT WALLS AND CEILING IN GARAGE ADJACENT TO RESIDENCE.
- INSTALL (1) ELECTRIC FIRE AND SMOKE DETECTOR ON EACH FLOOR, INCLUDING BASEMENT, AND EACH BEDROOM WOOD IN SERIES FOR SIMULTANEOUS ACTION. 110V INTERCONNECTED WITH 15' OF EACH SLEEPING ROOM.
- INSTALL TYPE "L" COPPER OR BETTER WATER DISTRIBUTION PIPE.
- VENT THE ROOF RAFTER AREA, CATHEDRAL (VALUED) CEILING, AND SKYLIGHTS W/ ADEQUATE AIR CIRCULATION. ALL FIREPLACE HEATERS MUST EXTEND A MINIMUM OF 20" FROM FIRE OF FIREPLACE AND 10" TO THE SIDE FROM LATEST FIRE OR BUILDING CODE.

- ALL FRAMING DRILLED FOR PLUMBING VENTS OR BRINE HOLES SHALL BE A MINIMUM OF 2 x 8 STUDS IN LIEU OF 2 x 4 STUDS
- ALL DRAFTSTOPPING TO COMPLY WITH 1995 C.A.B.O. CODE 502.11 AND FIRESTOPPING TO COMPLY WITH 1995 C.A.B.O.C.
- ALL GLAZING TO FOLLOW 1995 C.A.B.O. CODE AS REQUIRED. WINDOWS SHALL BE PELLA OR EQUAL.
- THE GENERAL CONTRACTOR SHALL REVIEW DRWS. FOR ACCURACY AND THE DESIGNER/ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES AND/OR POTENTIAL PROBLEMS BETWEEN DRAWINGS, THESE NOTES, AND FIELD CONDITIONS THEREON BEFORE COMMENCING WORK.
- DESIGNER IS NOT RETAINED FOR ON-SITE CONSTRUCTION OBSERVATION, CONSTRUCTION METHODS, AND SAFETY PROCEDURES WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR FULLY UNDERSTANDING THE DRAWINGS, NOTES, AND IMPLICIT DETAILS NECESSARY TO COMPLETE THE WORK.
- ALL BEARING HEADERS SHALL BE 2-2x12'S W/ 1/2" PLYWOOD BETWEEN FOR 2x4 WALLS, AND 2-2x12'S W/ 1/2" PLYWOOD BETWEEN FOR 2x6 WALLS. UNLESS OTHERWISE NOTED, SEE DETAIL FOR FLUSH HEADERS.

- PROVIDE DOUBLED JOISTS UNDER PARALLEL PARTITIONS, TUBS, SHOWERS, AND CANTILEVERS. FOR MECHANICAL ACCESS REQUIRED DBL JOISTS MAY BE SPACED NO MORE THAN 4' APART. PROVIDE SOLID SLOTTING, BRIDGING, AND NAILING AS REQ'D BY ROOFING CODES.
- ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROVED SEALANT MATERIAL TO COMPLY WITH BUILDING AND FIRE SAFETY CODES.
- FIREPLACES SHALL COMPLY WITH THE LATEST INSTALLATION REQUIREMENTS OF THE COUNTY.
- BRICK SHALL BE SUPPLIED AND INSTALLED PER THE LATEST STANDARDS OF THE BRICK INSTITUTE OF AMERICA. STEEL LINTELS SHALL EXTEND 8" EACH SIDE BEYOND OPENING. STANDARD LINTEL SIZES ARE:

MAX. CLEAR SPAN	EXTERIOR ANGLES
4'-0"	3 1/2" x 3 1/2" x 5/16"
6'-0"	4" x 3 1/2" x 5/16"
8'-0"	5" x 3 1/2" x 5/16"
10'-0"	6" x 3 1/2" x 3/8"

- SUPPLY AND INSTALL THE PLUMBING SYSTEM PER REQUIREMENTS OF THE 1998 ILLINOIS STATE PLUMBING CODE WITH THE 14 AMENDMENTS.
- SUPPLY AND INSTALL THE ELECTRICAL SYSTEM PER THE REQUIREMENTS OF THE 1988 NATIONAL ELECTRICAL CODE. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION AT ALL BATHROOM, EXTERIOR, GARAGE, KITCHEN OUTLETS (WITHIN 8' OF SINK), AND BASEMENT (SINGLE DEDICATED OUTLETS FOR SLAMP AND FURNACE NOT GFI). WHIRLPOOL TO FOLLOW 1990 NATIONAL ELECTRICAL CODES.
- SUPPLY AND INSTALL THE HVAC SYSTEM PER THE REQUIREMENTS OF THE 1990 BOCA MECHANICAL CODE AND THE LATEST STANDARDS OF SIEMENS AND ASHRAE. PROVIDE HEATING CAPABLE OF MAINTAINING 70 F/-10 F W/ 15 MPH WINDS. IF COOLING IS PROVIDED, COOLING SHALL BE CAPABLE OF MAINTAINING A 15 DEGREE TEMP. DIFFERENTIAL. INDOOR DESIGN RELATIVE HUMIDITY WITHIN THE COMFORT ENVELOPE AS DEFINED IN ASHRAE 55 SHALL BE SELECTED. VERIFY N/ GOVERNING CODES. LOCATIONS, SIZE, AND QUANTITY OF DUCTS, SUPPLY AND RETURN VENTS, AND FURNACES TO BE VERIFIED BY HEATING

- ALL FOUNDATION EXCAVATIONS SHALL BE EXTENDED TO A DEPTH REQUIRED TO REACH SOILS HAVING A MIN. BEARING CAPACITY OF 2500 PSF. ALL EXCAVATIONS SHALL BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AT THE TIME OF EXCAVATION FOR ADEQUATE BEARING SOIL.
- ALL CONCRETE WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE ACI, LATEST EDITION.
- ALL CONCRETE SHALL HAVE THE FOLLOWING 28 DAY ULTIMATE COMPRESSIVE STRENGTHS: FOUNDATIONS: 3000 PSI, SLABS: 4000 PSI.
- ALL STEEL WORK SHALL COMPLY W/ THE REQUIREMENTS OF THE AISC, LATEST EDITION. ALL STRUCTURAL STEEL SHALL BE ASTM 36.
- CONTRACTOR SHALL FIELD VERIFY ALL DIM. AND ELEVATIONS PRIOR TO FABRICATION OF ALL STEEL COMPONENTS.
- ALL WELDING SHALL COMPLY W/ THE REQUIREMENTS OF THE AWS, LATEST EDITION. ALL STRUCTURAL STEEL SHALL BE ASTM 36.
- DO NOT BACKFILL UNTIL THE CONCRETE FOUNDATION HAS CURED PER ACI STANDARDS AND THE FIRST FLOOR JOISTS AND DECKING ARE IN PLACE. ARCHITECT ASSUMES NO RESPONSIBILITY IF BACKFILLED.

electrical key

- 120 V. DUPLEX OUTLET
- 220 V. OUTLET
- THERMOSTAT
- DIMMER
- DOOR BELL
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- SPEAKER OUTLET
- TELEPHONE OUTLET
- EXIST SIGN
- TV ANTENNA OUTLET
- JUNCTION BOX
- RECESSED INCAND.
- CEILING INCAND.
- PULL CHAIN
- FLOURESCENT
- WALL MOUNT INCAND.
- EXHAUST FAN
- MOTOR
- SMOKE DETECTOR
- LOCATION BY OWNER
- EXISTING DEVICE
- REMOVE OR RELOCATE

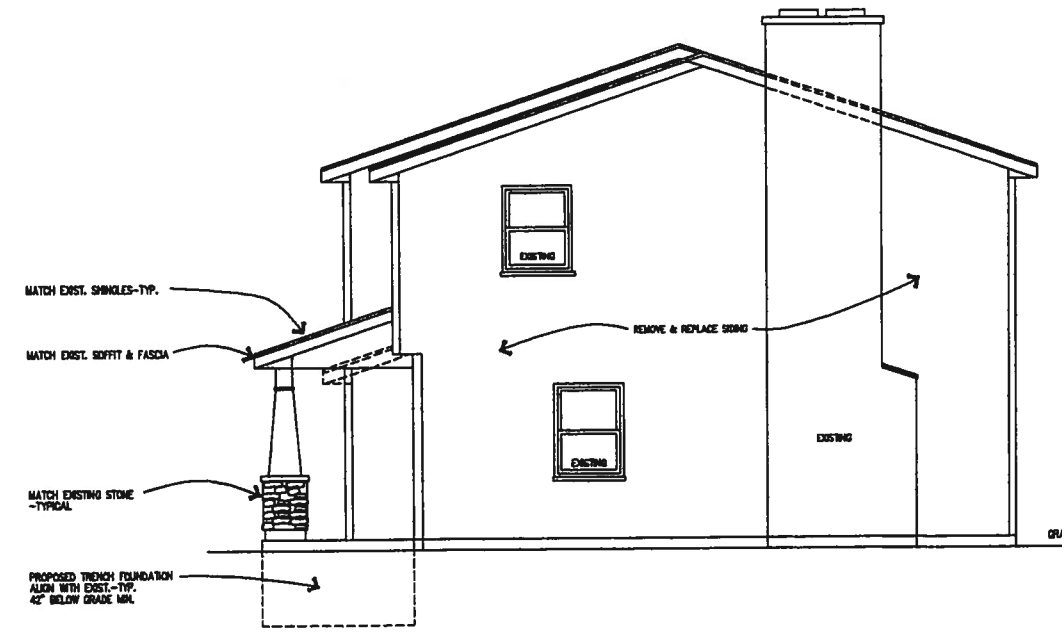
PROVIDE RECESSED INCANDESCENT LIGHT FIXTURE WITH SOLID LENS OR FLOURESCENTS IN ALL CLOSETS 2'-0" DEEP OR LESS. ALL RECESSED CAN FIXTURES SHALL HAVE LENS COVERS AND BE NO LESS THAN 1" HORIZONTALLY IN FRONT OF CLOSET SHELF OR STORAGE AREA IN COMPLIANCE WITH 1987 NATIONAL ELECTRIC CODE SECT. 410-8. FIRE AND SMOKE DETECTORS SHALL BE HARDWIRED AND INTERCONNECTED FOR SIMULTANEOUS ACTION. PROVIDE A MINIMUM OF ONE DETECTOR PER FLOOR AS SHOWN ON PLAN. ALL ELECTRICAL INSTALLATION SHALL BE PER THE NATIONAL ELECTRIC CODE AND PER ANY LOCAL ORDINANCES.

floor joist schedule

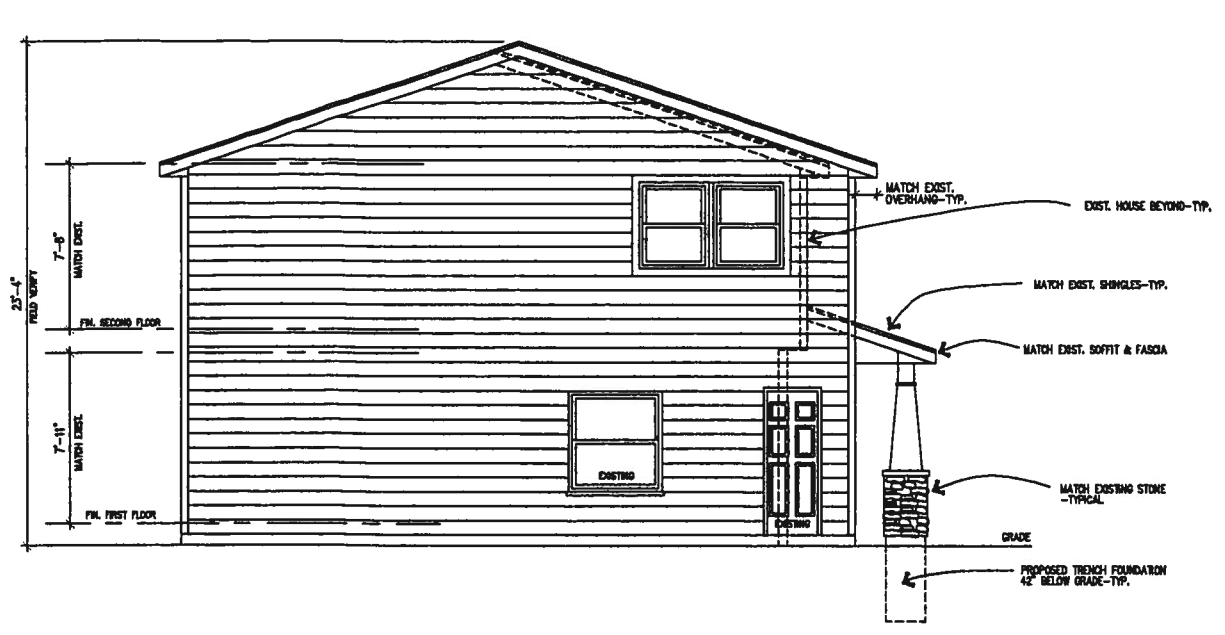
JOIST & SPACING	MAXIMUM SPAN	
	NON-SLEEPING ROOMS	SLEEPING ROOMS
2 x 6 @ 12" O.C.	13'-2"	14'-2"
2 x 6 @ 18" O.C.	12'-0"	13'-2"
2 x 10 @ 12" O.C.	18'-10"	18'-0"
2 x 10 @ 18" O.C.	15'-2"	18'-0"
2 x 12 @ 18" O.C.	15'-8"	17'-5"
2 x 12 @ 12" O.C.	20'-6"	22'-6"
2 x 12 @ 18" O.C.	17'-7"	18'-8"
2 x 12 @ 18" O.C. DBL EVERY OTHER JOIST	19'-1"	21'-4"
1 1/2" T&B @ 18" O.C.	20'-1"	18'-4"

PROVIDE DBL. FLOOR JOIST BELOW ALL PARALLEL PARTITIONS, UNLESS NOTED OTHERWISE ON PLANS. ALL FLOOR JOISTS SHALL BE #2 DOMESTIC HEM-FIR, #2 CANADIAN SPRUCE PINE FIR OR BETTER. PROVIDE CROSS BRIDGING AT MAX. 8'-0" O.C.

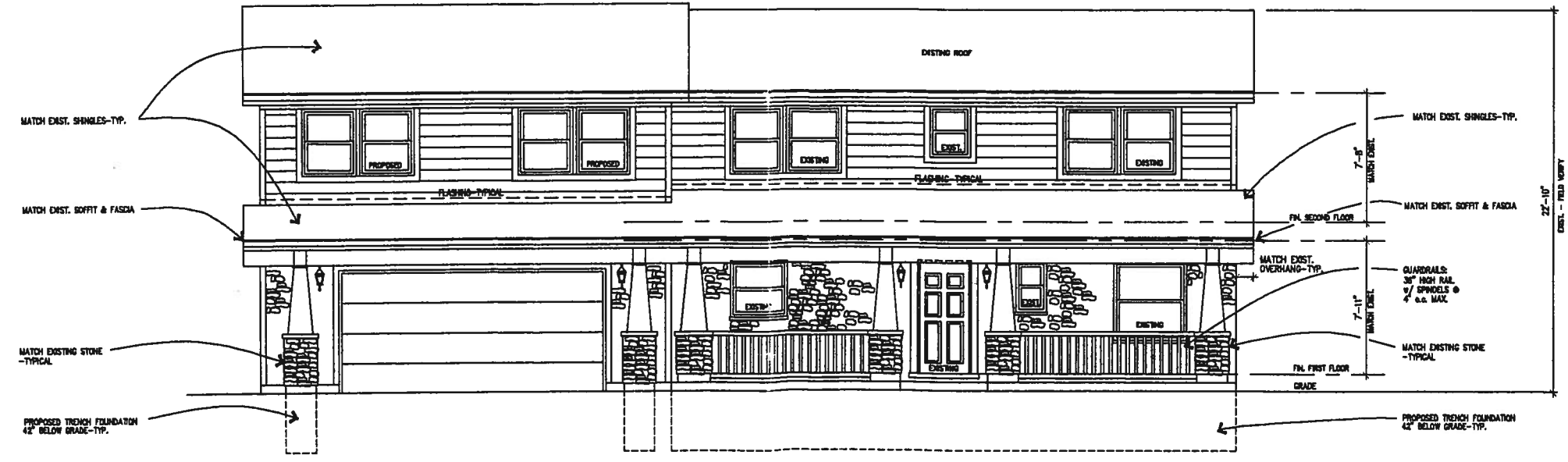
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RIGHT ELEVATION



LEFT ELEVATION



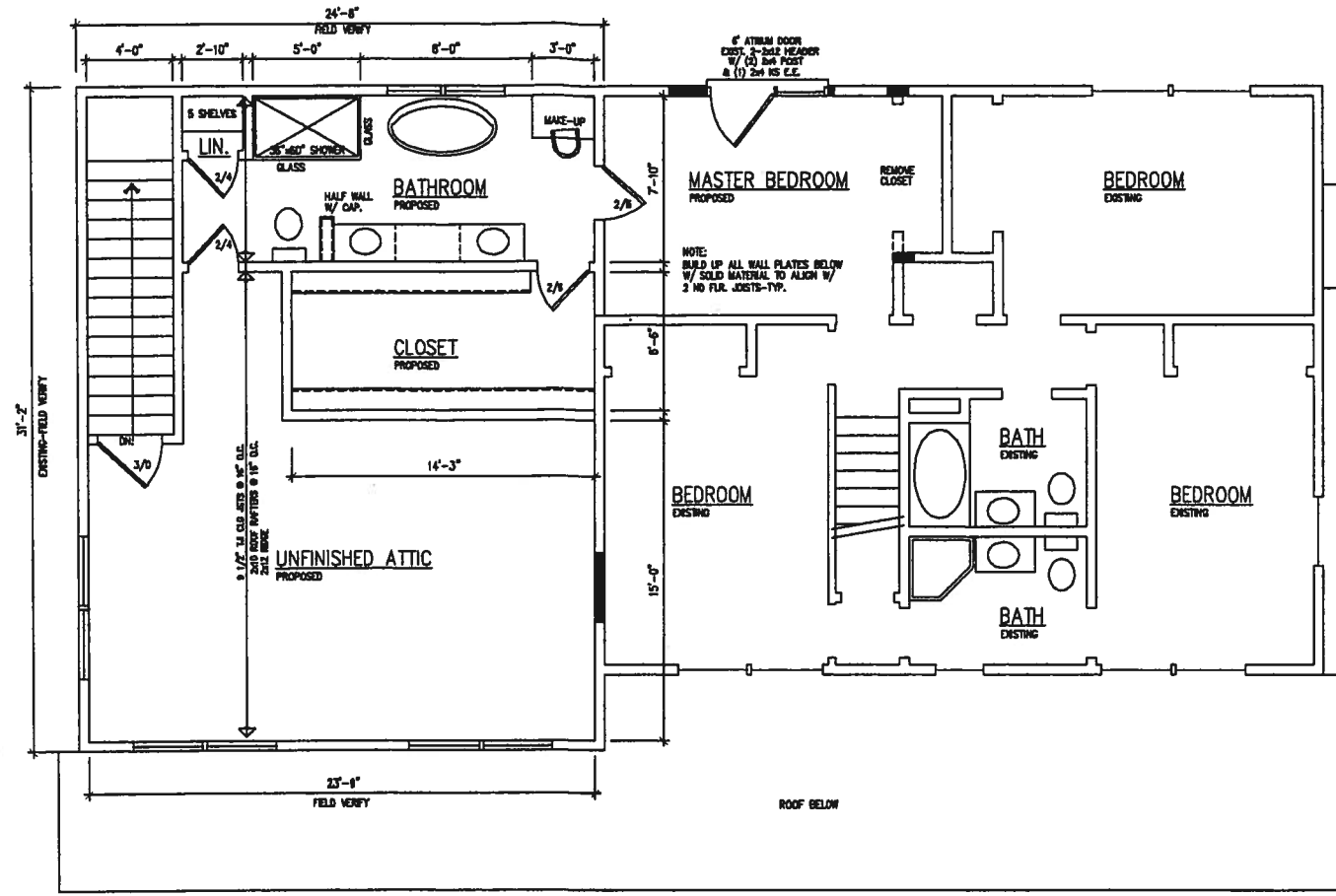
FRONT ELEVATION

PROPOSED PLAN

ADDITION:
 SCHEMELA RESIDENCE
 1211 WEBSTER
 WHEATON, ILLINOIS 60187

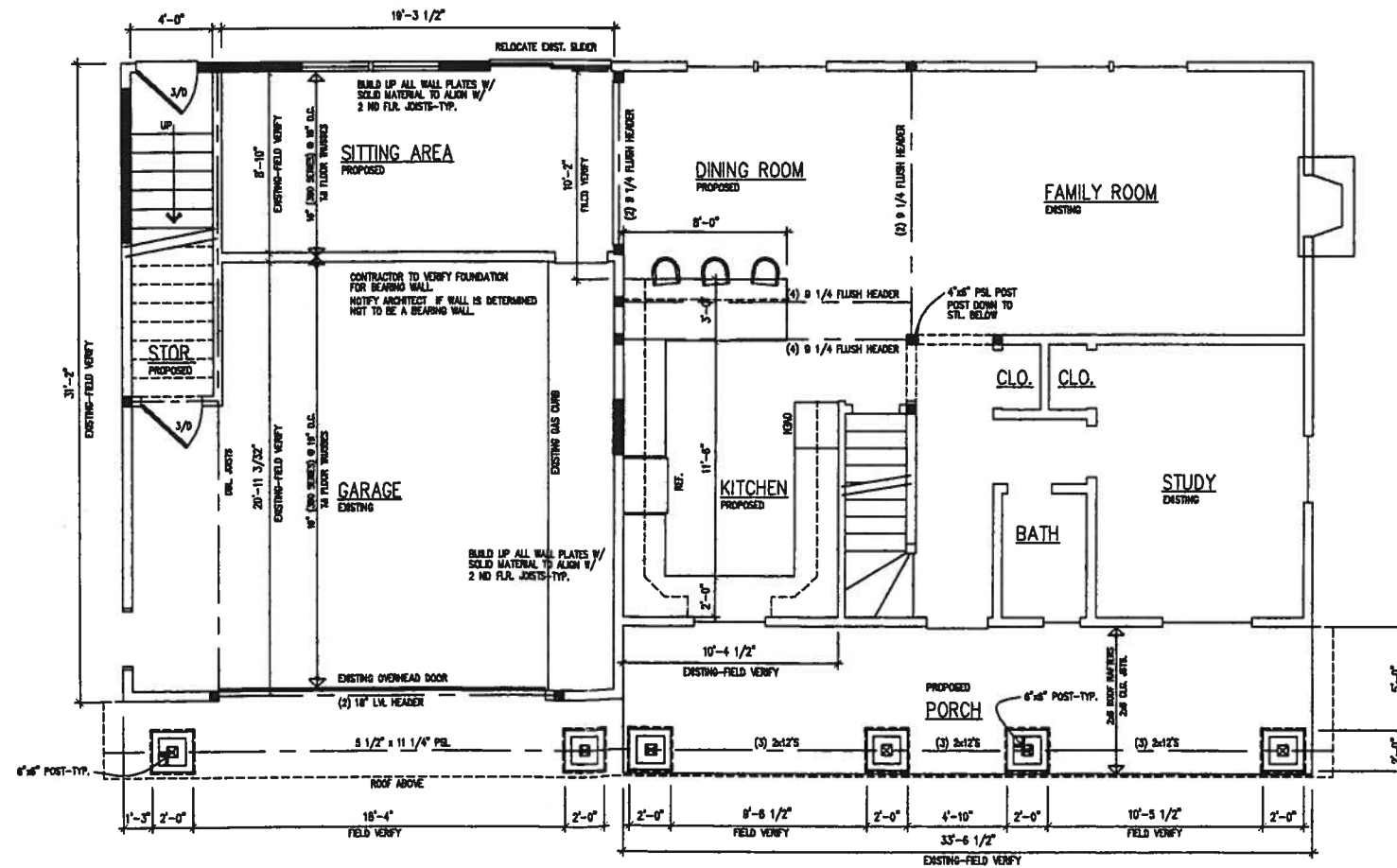
DATE	05/07
PROJECT	SCHEMELA
SCALE	1/4" = 1'-0"

SHEET
 1
 ELEVATIONS



SECOND FLOOR PLAN

PROPOSED PLAN



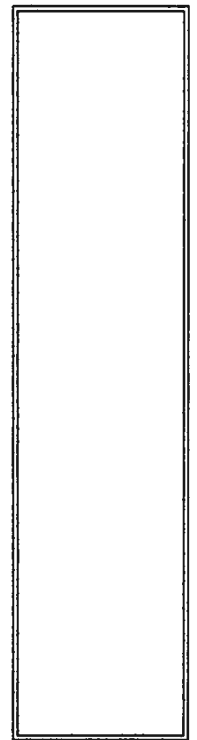
FIRST FLOOR PLAN

PROPOSED PLAN

OFFICE OF THE DEVELOPER
CITY OF WHEATON, ILLINOIS

ALL RIGHTS RESERVED

REVISIONS - CITY OF WHEATON



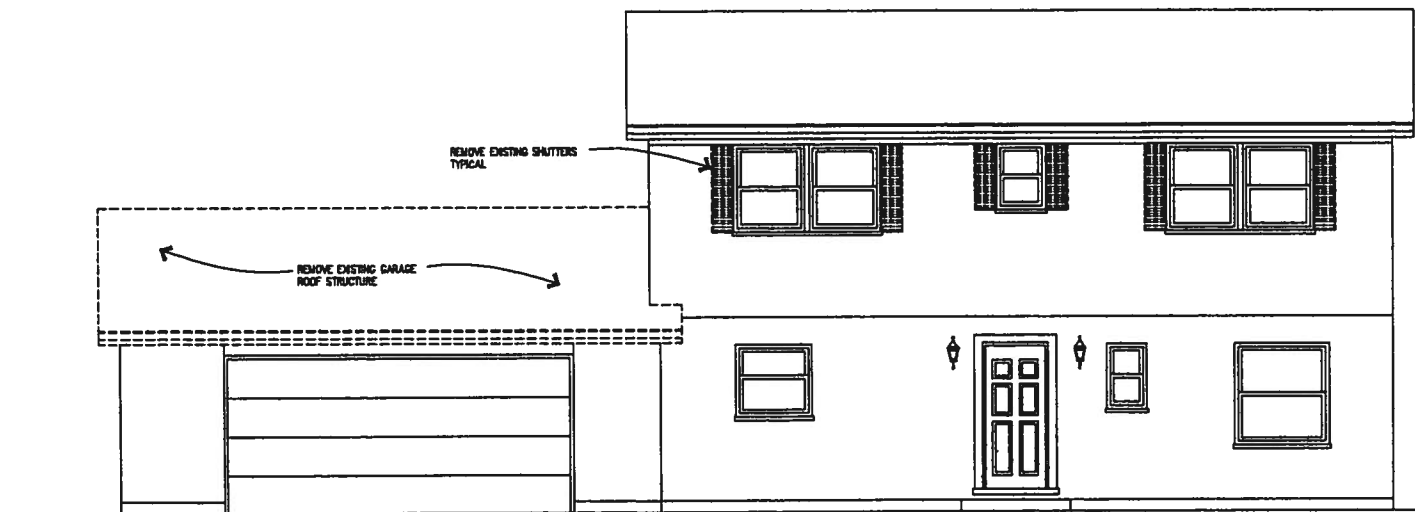
ADDITION:
SCHEMELA RESIDENCE
1211 WEBSTER
WHEATON, ILLINOIS 60187

DRAWN	JR
DATE	3.5.07
PROJECT	SCHEMELA
SCALE	1/4" = 1'-0"

SHEET

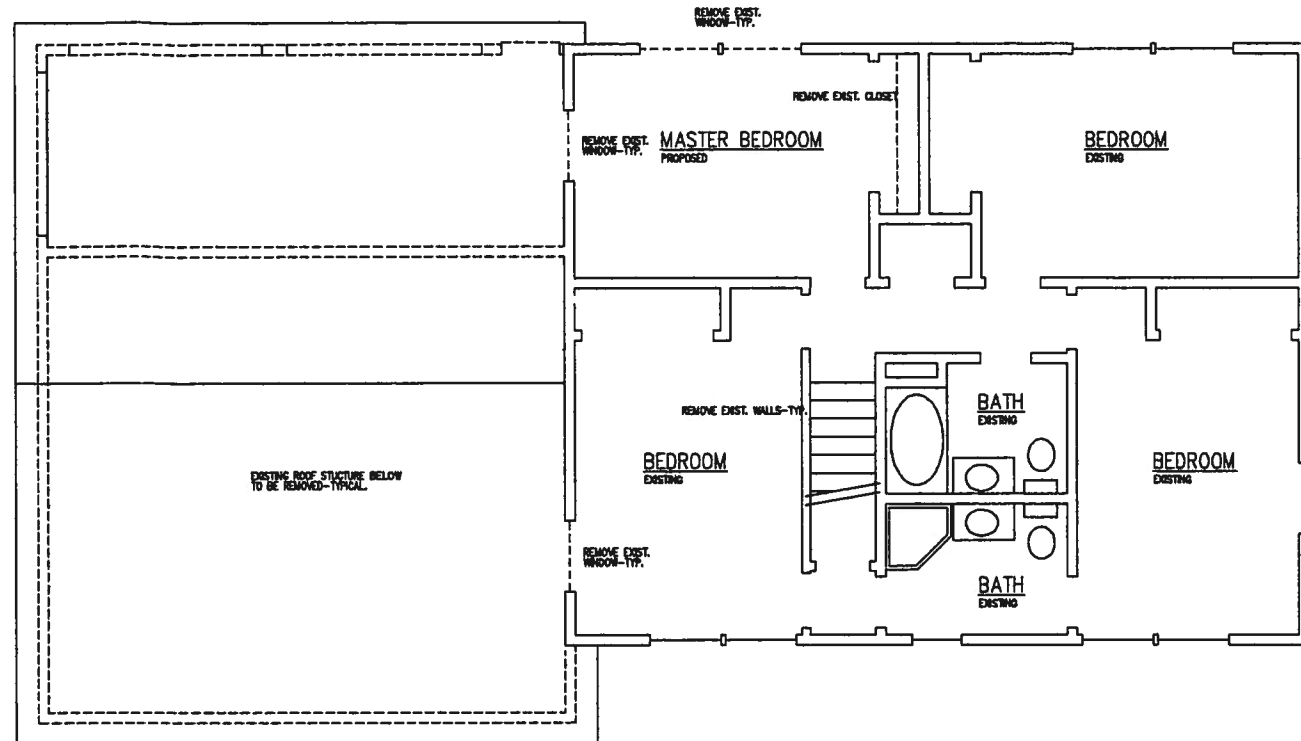
2

FLOOR PLANS



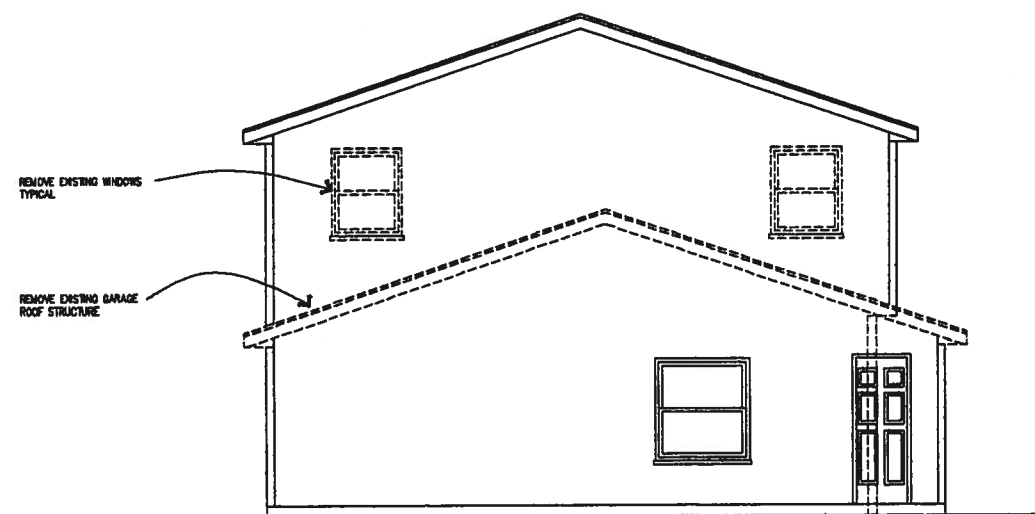
FRONT ELEVATION

EXISTING PLAN



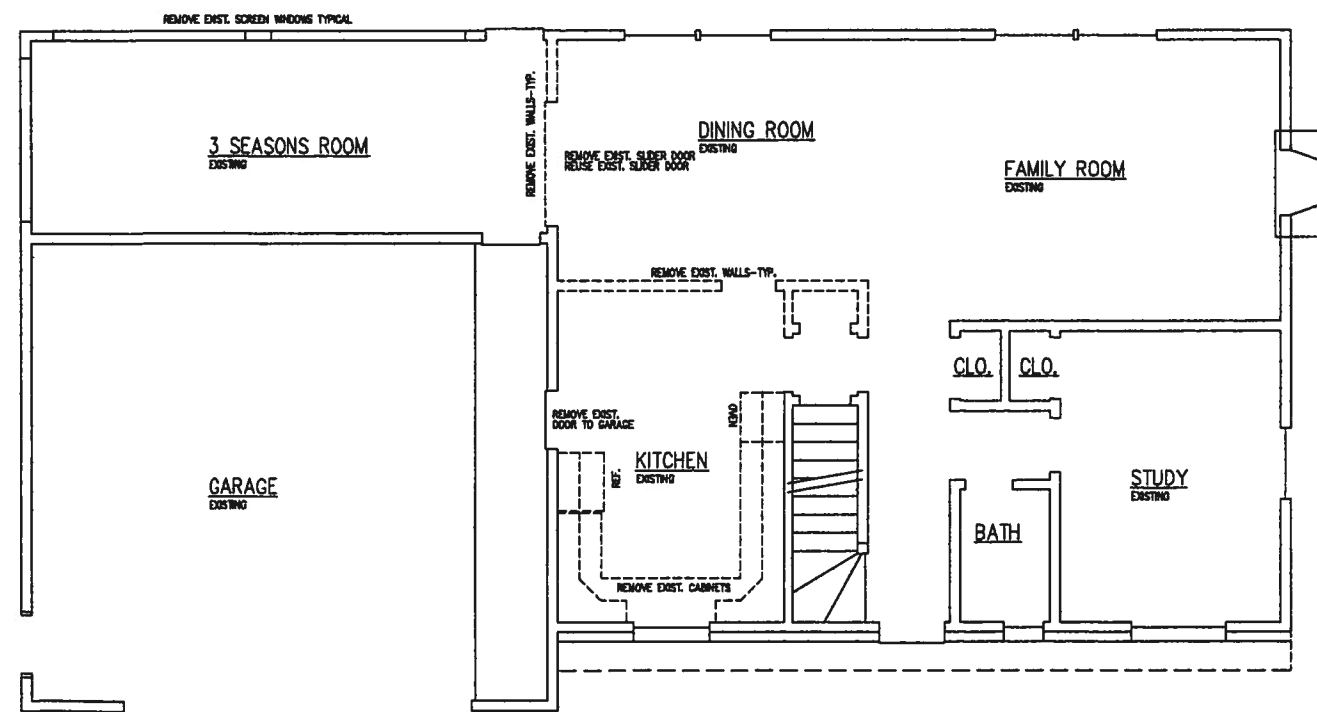
SECOND FLOOR PLAN

EXISTING PLAN/DEMOLITION PLAN



LEFT ELEVATION

EXISTING PLAN/DEMOLITION PLAN



FIRST FLOOR PLAN

EXISTING PLAN/DEMOLITION PLAN

OWNER: J. M. BROWN, JR.
 ARCHITECT: J. M. BROWN, JR.
 ALL RIGHTS RESERVED
 REVISIONS - CITY OF WHEATON

ADDITION:
 SCHMELA RESIDENCE
 1211 WEBSTER
 WHEATON, ILLINOIS 60187

DRAWN	JBR
DATE	3.8.97
PROJECT	SCHMELA
SCALE	1/4" = 1'-0"

SHEET
 3
 ELEVATIONS
 EXIST./DEMOLITION