

ORDINANCE NO. F-1256

AN ORDINANCE GRANTING A GARAGE HEIGHT VARIATION AND SIDE AND REAR YARD SETBACK VARIATION ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 714 N. SCOTT STREET-MCHENNEY

WHEREAS, written application has been made requesting variations from the provisions of Article 3.4A.8b of the City of Wheaton Zoning Ordinance, to allow the construction and use of a two-story detached garage in lieu of the permitted maximum one and one-half story detached garage height, and Article 3.4A.5b of the City of Wheaton Zoning Ordinance, to allow a side and rear yard setback of 5 feet in lieu of the required two story setback of 10 feet, all on certain property legally described herein and commonly known as 714 N. Scott Street, Wheaton, Illinois; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on October 24, 2006, November 14, 2006, and January 23, 2007, to consider the variation requests; and the Wheaton Planning and Zoning Board has recommended approval of the zoning variations, pursuant to certain conditions and requirements.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: Pursuant to the Findings of Fact determined by the Wheaton Planning and Zoning Board, a variation from the requirements of Article 3.4A.8b of the Wheaton Zoning Ordinance is granted to permit the construction and use of a two-story detached garage, in lieu of the permitted maximum one and one-half story detached garage, and a variation from the provisions of Article 3.4A.5b of the Wheaton Zoning Ordinance is granted to allow side and rear yard setbacks of 5.8 feet for the detached garage, in lieu of the required 10 feet, on the following-described property:

LOT 3 IN GREGORY'S SUBDIVISION OF PART OF THE EAST HALF OF BLOCK 6 IN LYMAN E. DEWOLF AND GUY TRACY'S ADDITION TO THE TOWN OF WHEATON, IN THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED MARCH 22, 1956 AS DOCUMENT 793716.
P.I.N. 05-16-108-007

This property is commonly known as 714 N. Scott Street, Wheaton, IL 60187 ("subject property").

Section 2: The variations provided for in Section 1 of this ordinance shall be subject to the following conditions, restrictions and requirements:

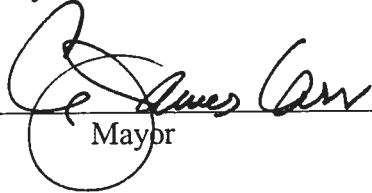
- A. The owner shall landscape adjacent to the detached garage as illustrated on a landscape plan that shall be filed with the City prior to the issuance of a building

R2007-064466

- B. permit and the plan shall be subject to the reasonable approval of the Director of Planning and Economic Development; and
- C. The detached garage design and location shall be as illustrated on the plan dated January 23, 2007, and which is on file in the office of the Planning and Economic Development Department; and
- D. Owner shall demolish and remove the existing garage and driveway presently on the subject property.

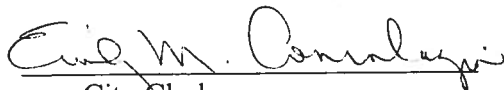
Section 3: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 4: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



City Clerk

Roll Call Vote:

Ayes: Councilwoman Corry
Councilman Johnson
Mayor Carr
Councilman Mouhelis
Councilman Bolds

Nays: Councilman Levine
Councilman Sues

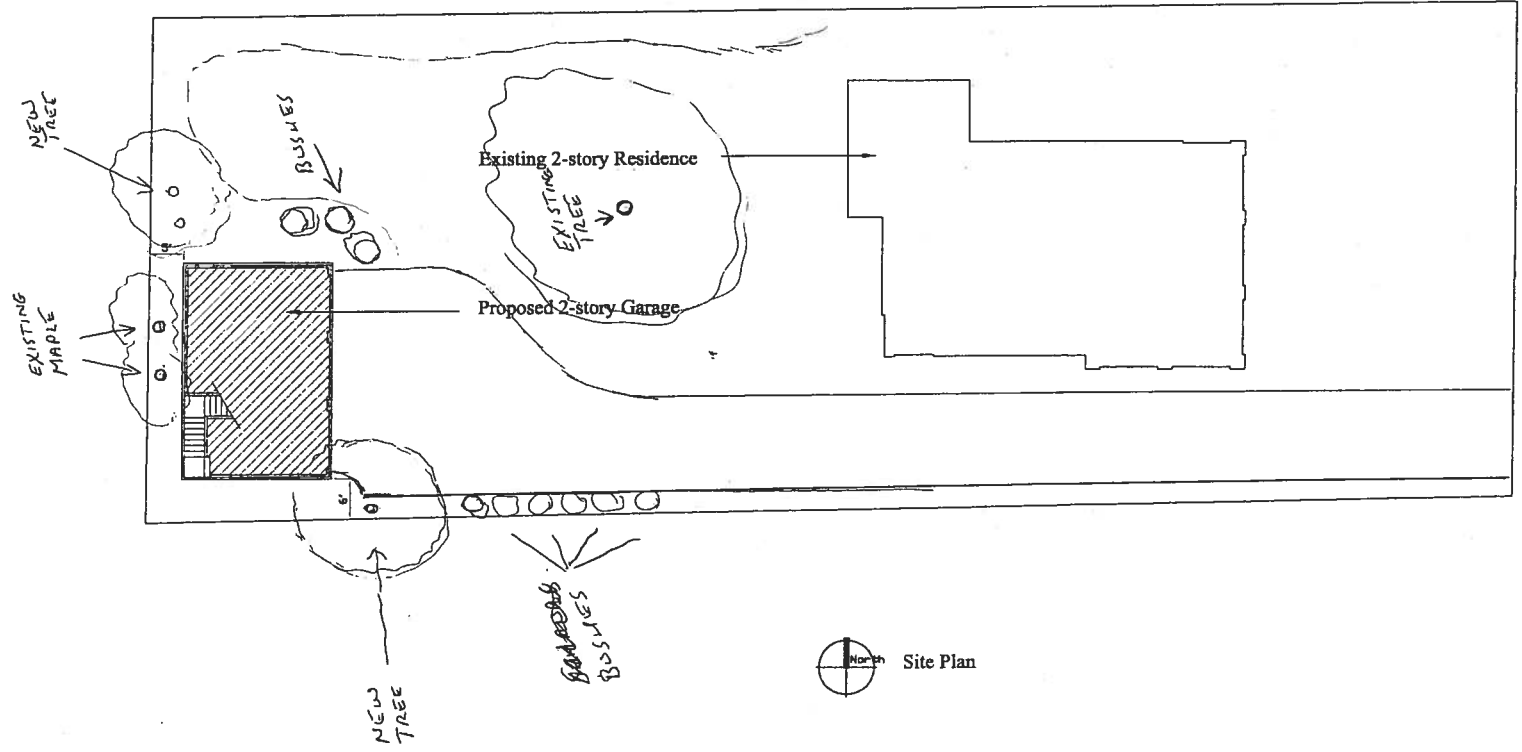
Absent: None

Motion Carried

Passed: February 20, 2007
Published: February 21, 2007

PLAN AS OF 7-18-2007
 THIS PLAN MAY A
 CHANGE AFTER A
 PROFESSIONAL
 LANDSCAPER HAS
 SEEN THE
 COMPLETED
 GARAGE & HAS
 REVIEWED THIS
 PLAN.

MARK
 MCHENNEY



General Notes

No.	Revision/Issue	Date
1	Permit	6/2/07

File Name and Address
**Ronald R Creswell
 ARCHITECTURE**
 719 North Scott Street
 Wheaton IL 60187
 (630) 681-8449
 rcresw@earthlink.net

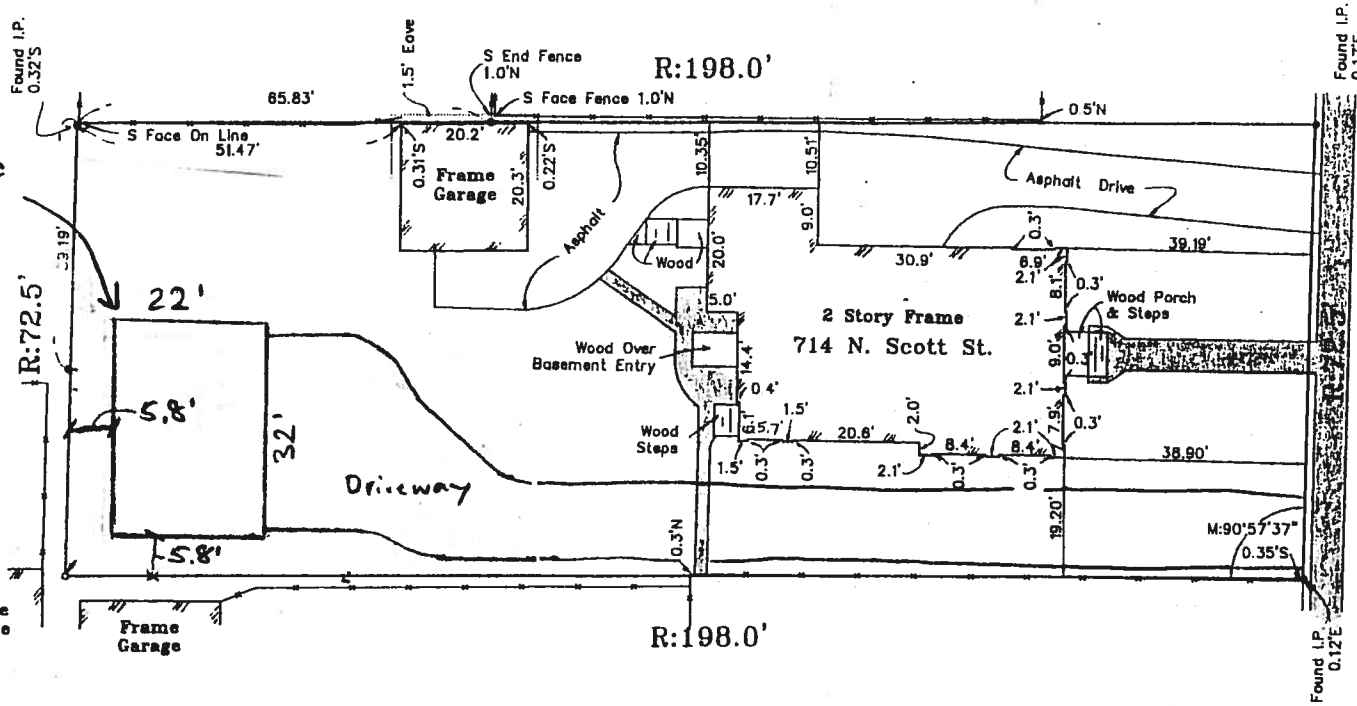
Project Name and Address
 State of Illinois
 #001-012286
 Expires 11/30/08

Project	1
Date	
Scale 1/8" = 1'-0"	

PLAT OF SURVEY

Of Lot 3 in Gregory's Subdivision of part of the East half of Block 6 Lyman E. DeWolf and Guy Tracy's Addition to the Town of Wheaton, in the Northwest quarter of Section 16, Township 39 North, Range 10, East of the Third Principal Meridian, in DuPage County, Illinois, according to the Plat of said Subdivision recorded March 22, 1956 as Document 793716.

Proposed Garage



Scott St.

STATE OF ILLINOIS
COUNTY OF DU PAGE

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SURVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THE ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCROACH ON THE ABOVE DESCRIBED PROPERTY.

I FURTHER CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

Vincent E. Frye

MY LICENSE EXPIRES 11-30-2006

COMPARE THE DESCRIPTION OF THIS PLAT WITH DEED. REFER TO TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN ABOVE. UNLESS OTHERWISE NOTED, UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON.

ILLINOIS PROFESSIONAL DESIGN FIRM LAND SURVEYING CORPORATION NO. 4183



Access To
Jefferson Ave.

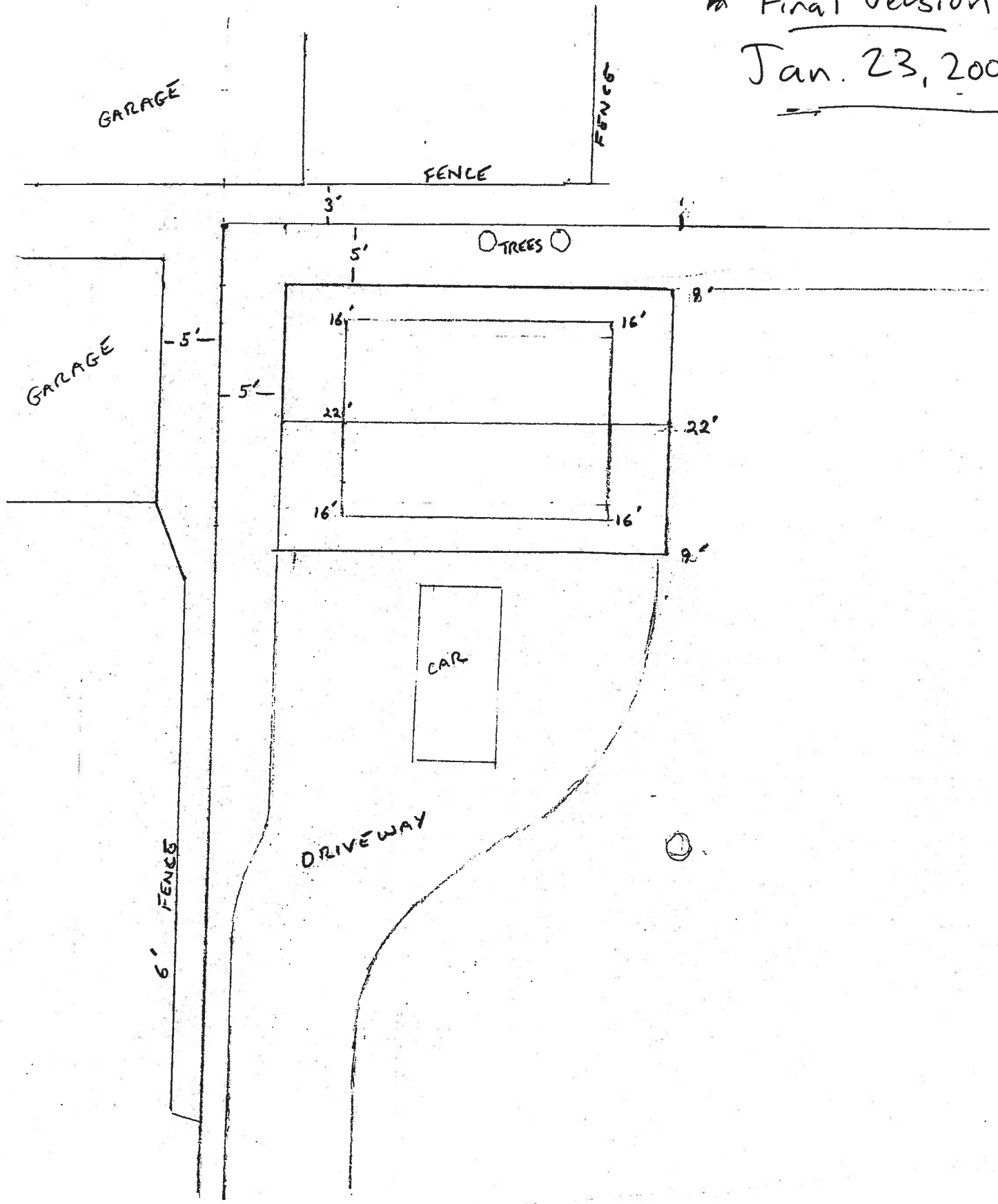
DATE OF SURVEY MAY 30, 2006
CLIENT: ATTY. McLENNAN
IN 160837

LEGEND	
R - RECORD DISTANCE	CH - CHORD
M - MEASURED DISTANCE	● FOUND IRON
D - DEED	○ SET IRON
CONCRETE SHOWN SHADED	○ UTILITY POLE W
—+—+—+—	○ OVHD. WIRES
—+—+—+—	FENCE LINE
—+—+—+—	LIMITS OF BUILDING

SCALE 1" = 20 FEET

SCHLAF-SEDIG & ASSOCIATES, INC.
1030 Summerfield Drive
Roselle, Illinois 60172
(630) 924-7100

~~Final~~ Final Version
Jan. 23, 2007



$\frac{3}{16} = 1'$

