

**ORDINANCE NO. F-1214**

**AN ORDINANCE AMENDING CITY OF WHEATON ORDINANCE NUMBERS F-0529 AND F-0742 PERTAINING TO A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 107-111 BRIDGE STREET -WHEATON SELF STORAGE/SHURGUARD STORAGE/PUBLIC STORAGE**

**WHEREAS**, on November 6, 2000, the City of Wheaton, Illinois, ("City") enacted City Ordinance No . F-0529, ("original ordinance") which allowed a planned unit development for the construction and use of a self-storage facility on the property legally described in this ordinance and commonly known as 107-111 Bridge Street, Wheaton, Illinois ("subject property"); and on August 5, 2002 the City amended the original ordinance by enacting City Ordinance No . F-0742 ("amending ordinance"); and

**WHEREAS**, application has been made to amend the existing planned unit development which was authorized in the original and amending ordinances, demolish a residence on the property commonly known as 105 Bridge Street, adjacent to the subject property, and expand the existing self storage facility on the subject property; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on September 12, 2006, to consider the requested amendment to the existing special use permit; and the Board has recommended approval of the requests.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Demolition of the building(s) on the property commonly known as 105 Bridge Street Wheaton, IL is allowed and may proceed pursuant to and in accordance with the ordinances of the City. The following- described property has been and continues to be zoned and classified in the M-1 Manufacturing Zoning District:

LOT 1 IN WHEATON SELF STORAGE'S PLAT OF CONSOLIDATION, PHASE 2,  
OF LOT 1 IN WHEATON SELF STORAGE'S PLAT OF CONSOLIDATION AND LOT  
2 IN SOUTH RAILROAD STREET SUBDIVISION IN THE SOUTHEAST QUARTER  
OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED  
DECEMBER 11, 2000 AS DCOUMENT R2000-193771, IN DUPAGE COUNTY,  
ILLINOIS. ALSO THAT PART OF LOT 1, SITUATED IN WHEATON, ILLINOIS.

P.I.N. NUMBERS 05-17-406-008, 05-17-406-002

The subject property is commonly known as 107-111 N. Bridge Street, and 105 N. Bridge Street, Wheaton, IL 60187.

**Section 2:** The original ordinance, amending ordinance and special use permit for planned unit development are amended to allow for the construction and use of a four (4) story 47,800 square foot addition to be constructed onto the existing improvement on the

subject property in full compliance with the plans prepared by Dave Johnson and Associates, Ltd. Entitled "Topographic Survey and Preliminary Site Plan" dated May 5, 2006, the plans prepared by RBS Companies, Inc. dated July 7, 2006 and revised September 11, 2006 entitled "Shurgard Storage Center, Wheaton, Illinois", and the plans prepared by Gary R. Weber and Associates dated August 10, 2006 and revised September 28, 2006 entitled "Shurgard Storage and in further compliance with the following conditions, restrictions and requirements:

A. Setback variations are granted to allow for a setback of the western wall of the proposed improvement to be 12 feet, in lieu of the required 25 feet; and no parking setback shall be required along the north and east property lines, in lieu of the required 10 feet.

B. Any rooftop mechanical units shall be screened from view and shall be subject to the reasonable approval of the City;

C. There shall be no new ground sign;

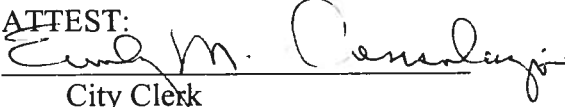
D. The owner shall submit a plat of consolidation of the entire property to the City for review and approval.

**Section 3:** In all other respects, the terms, conditions and provisions of the original ordinance and amending ordinance are ratified and remain in full force and effect.

**Section 4:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 5:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.

  
\_\_\_\_\_  
Mayor

ATTEST:  
  
\_\_\_\_\_  
City Clerk

Roll Call Vote:

Ayes: Councilman Bolds

Councilwoman Corry  
Mayor Carr  
Councilman Mouhelis  
Councilman Suess

Nays: None

Absent: Councilman Johnson  
Councilman Levine

Motion Carried Unanimously

Passed: October 16, 2006  
Published: October 17, 2006

# TOPOGRAPHIC SURVEY AND PRELIMINARY SITE PLAN

ADDRESS: 111 BRIDGE STREET, HEATON, KANSAS



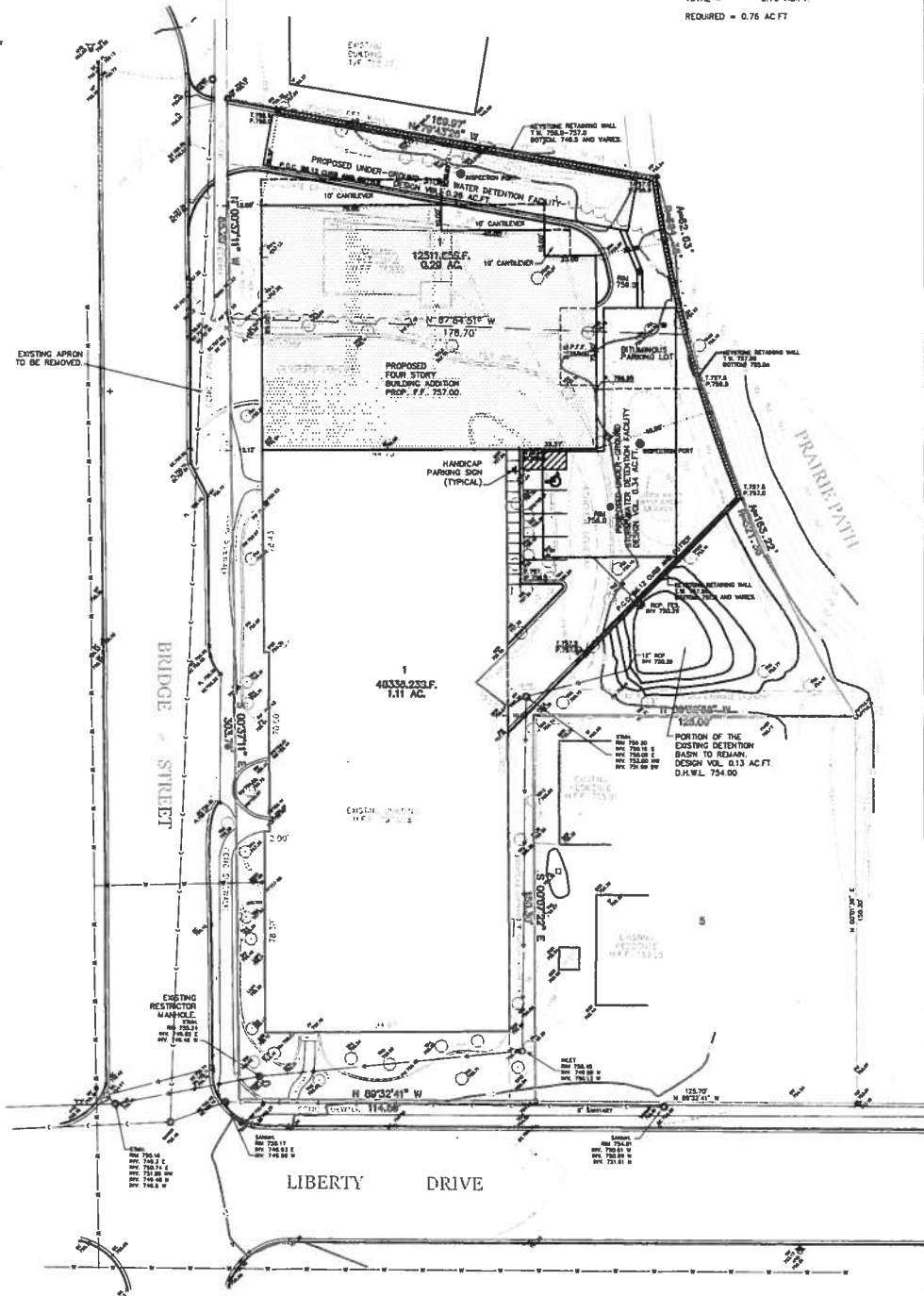
## SYMBOL LEGEND

- |                        |                        |
|------------------------|------------------------|
| ■ CONCRETE MONUMENT    | ○ MAIN BOX             |
| ▲ CORNER POINT         | ○ HIGH                 |
| — CULVERT              | ○ POWER POLE           |
| ○ ELECTRIC METER       | ▲ SIGN                 |
| □ ELECTRIC TRANSDUCER  | ○ SANITARY MANHOLE     |
| ○ FLARED END SECTION   | ○ FRESH MANHOLE        |
| ○ FRESH END SECTION    | ○ FRESH FRESHING       |
| ○ PLAN POLE            | ○ TELEPHONE FRESHING   |
| ○ GAS METER            | ○ TREE STRUCTURE       |
| ○ GAS VALVE            | ○ TREE CENTER          |
| ○ WATER METER          | ○ WELL                 |
| ○ WATER FLOW DIRECTION | ○ WATER FLOW DIRECTION |
| ○ WATER TAPING POINT   | ○ WATER TAPING POINT   |
| ○ WATER BOX            | ○ WATER BOX            |
| ○ FENCING BRICK COUNTY |                        |

## LEGEND

- |                        |                        |
|------------------------|------------------------|
| EXISTING               | PROPOSED               |
| ROAD & DRIVE           | ROAD & DRIVE           |
| ROAD                   | ROAD                   |
| ROADWAY EDGE           | ROADWAY EDGE           |
| ROADWAY CENTER         | ROADWAY CENTER         |
| ROADWAY SIDE           | ROADWAY SIDE           |
| ROADWAY SHOULDER       | ROADWAY SHOULDER       |
| ROADWAY DITCH          | ROADWAY DITCH          |
| ROADWAY WALL           | ROADWAY WALL           |
| ROADWAY SIGN           | ROADWAY SIGN           |
| ROADWAY POST           | ROADWAY POST           |
| ROADWAY LIGHT          | ROADWAY LIGHT          |
| ROADWAY FENCE          | ROADWAY FENCE          |
| ROADWAY CURB           | ROADWAY CURB           |
| ROADWAY GUTTER         | ROADWAY GUTTER         |
| ROADWAY DRAIN          | ROADWAY DRAIN          |
| ROADWAY MANHOLE        | ROADWAY MANHOLE        |
| ROADWAY STRUCTURE      | ROADWAY STRUCTURE      |
| ROADWAY FILL           | ROADWAY FILL           |
| ROADWAY EXCAVATION     | ROADWAY EXCAVATION     |
| ROADWAY CUT            | ROADWAY CUT            |
| ROADWAY ELEVATION      | ROADWAY ELEVATION      |
| ROADWAY SPOT ELEVATION | ROADWAY SPOT ELEVATION |
| ROADWAY POINT          | ROADWAY POINT          |
| ROADWAY LINE           | ROADWAY LINE           |
| ROADWAY CURVE          | ROADWAY CURVE          |
| ROADWAY TANGENT        | ROADWAY TANGENT        |
| ROADWAY CHORD          | ROADWAY CHORD          |
| ROADWAY CENTERLINE     | ROADWAY CENTERLINE     |
| ROADWAY OFFSET         | ROADWAY OFFSET         |
| ROADWAY DISTANCE       | ROADWAY DISTANCE       |
| ROADWAY AREA           | ROADWAY AREA           |
| ROADWAY VOLUME         | ROADWAY VOLUME         |
| ROADWAY WEIGHT         | ROADWAY WEIGHT         |
| ROADWAY MOMENT         | ROADWAY MOMENT         |
| ROADWAY FORCE          | ROADWAY FORCE          |
| ROADWAY PRESSURE       | ROADWAY PRESSURE       |
| ROADWAY TEMPERATURE    | ROADWAY TEMPERATURE    |
| ROADWAY HUMIDITY       | ROADWAY HUMIDITY       |
| ROADWAY WIND           | ROADWAY WIND           |
| ROADWAY RAIN           | ROADWAY RAIN           |
| ROADWAY SNOW           | ROADWAY SNOW           |
| ROADWAY ICE            | ROADWAY ICE            |
| ROADWAY SAND           | ROADWAY SAND           |
| ROADWAY GRAVEL         | ROADWAY GRAVEL         |
| ROADWAY ASPHALT        | ROADWAY ASPHALT        |
| ROADWAY CONCRETE       | ROADWAY CONCRETE       |
| ROADWAY BRICK          | ROADWAY BRICK          |
| ROADWAY STONE          | ROADWAY STONE          |
| ROADWAY MORTAR         | ROADWAY MORTAR         |
| ROADWAY PLASTER        | ROADWAY PLASTER        |
| ROADWAY PAINT          | ROADWAY PAINT          |

**RETENTION SUMMARY**  
 SURFACE = 0.13 AC FT  
 UNDERGROUND = 0.83 AC FT  
 TOTAL = 0.78 AC FT  
 REQUIRED = 0.76 AC FT



**DJA CIVIL ENGINEERS & SURVEYORS**  
 Dave Johnson and Associates, L.P.  
 311 S. 15th Street  
 Phoenix, Arizona 85007  
 Ph: 480 224 8888 Fax: 480 224 8286  
 e-mail: DJA@DJA.com

**Warren D. Johnson, P.E.**  
 R. P.E. NO. 40472  
 Expires November 30, 2007

STATE OF KANSAS  
 COUNTY OF SEDGEMAN  
 I, Warren D. Johnson, P.E., do hereby certify that I am the duly licensed Professional Engineer in the State of Kansas, and that I am the author of the above described plans and specifications.  
 DATED AT SEDGEMAN, KANSAS THIS 15th DAY OF SEPTEMBER A.D. 2007.  
 Warren D. Johnson, P.E.  
 License No. 40472

NOT FOR CONSTRUCTION

**S** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC  
 85 Cadillac Square, Suite 2701  
 Detroit, MI 48226

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**MBT**  
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 Denver, CO 80231  
 (303) 751-1100

**RBS**  
 CONSULTANTS, INC.  
 14000 E. 15th Ave., Suite 100  
 Denver, CO 80231  
 (303) 751-1100

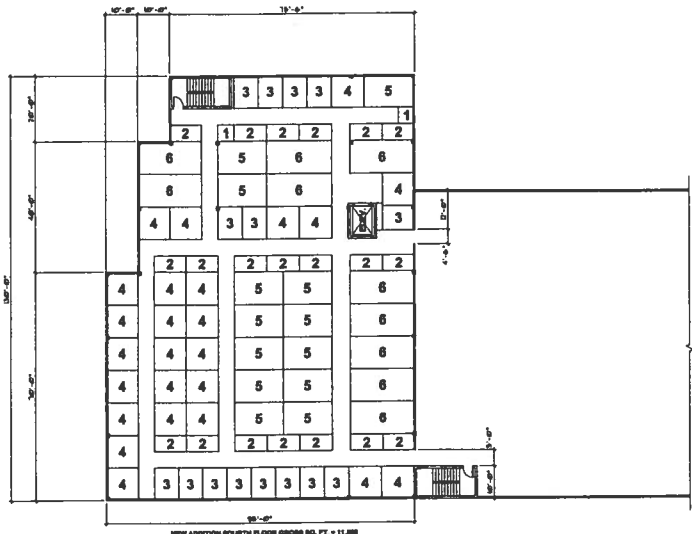
U.S.A. DESIGN

DR: [ ]  
 DATE: [ ]  
 CHECKED: [ ]

SHURGARD STORAGE CENTER  
 CITY OF WENTON, LLINOIS

THIRD FLOOR AND  
 FORTH FLOOR PLANS

Scale: 1/8" = 1'-0"  
 Job No. 08-11-08  
 Job No. 0818  
 SHE. No. A-2

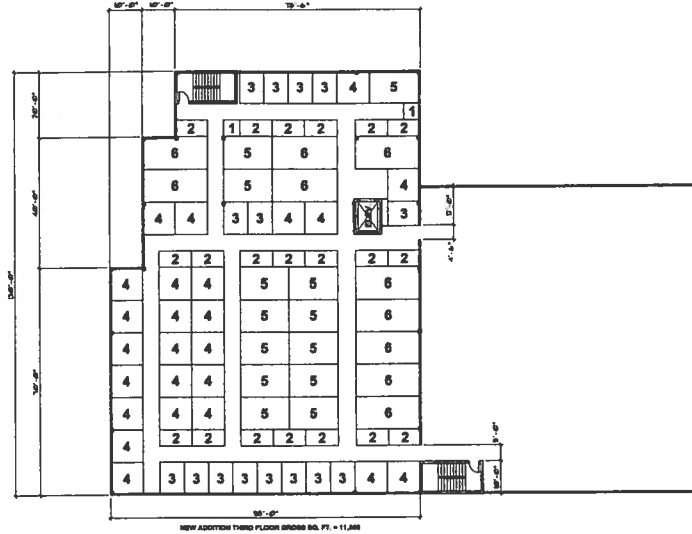


NEW ADDITION FOURTH FLOOR GROSS SQ. FT. = 11,888

UNIT STORAGE

1	2	5' x 5'
2	20	5' x 10'
3	15	7 1/2' x 10'
4	25	10' x 10'
5	13	10' x 15'
6	10	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

1 FORTH FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



NEW ADDITION THIRD FLOOR GROSS SQ. FT. = 11,888

UNIT STORAGE

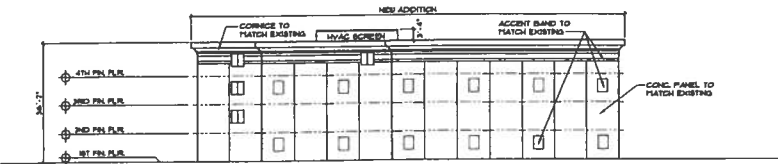
1	2	5' x 5'
2	20	5' x 10'
3	15	7 1/2' x 10'
4	25	10' x 10'
5	13	10' x 15'
6	10	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

1 THIRD FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

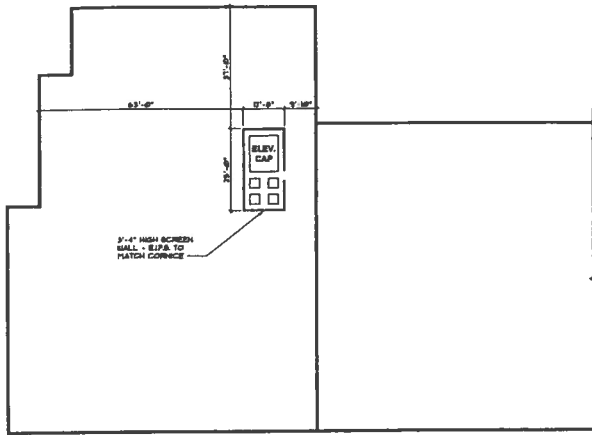


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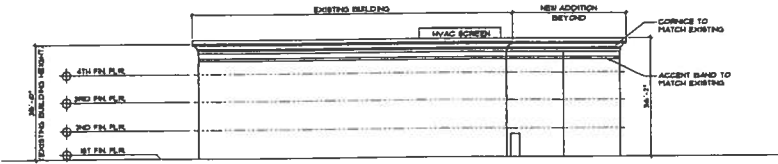
**S** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC.  
65 Cadillac Square, Suite 2701  
Detroit, MI 48226



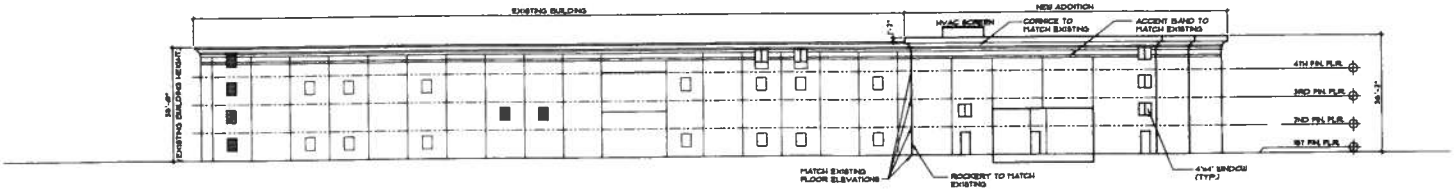
1 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



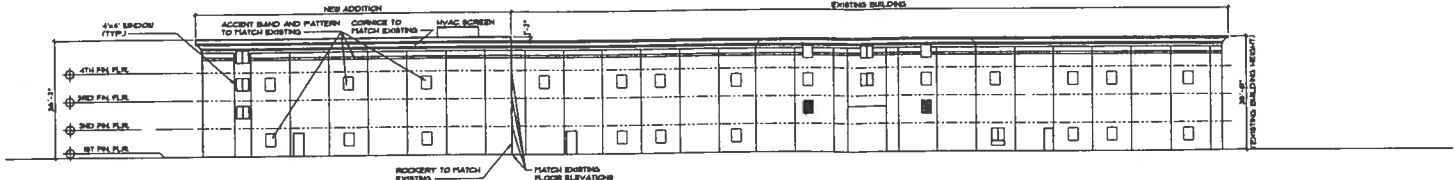
2 ROOF PLAN  
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



4 EAST ELEVATION  
SCALE: 1/8"=1'-0"



5 WEST ELEVATION  
SCALE: 1/8"=1'-0"



**MSTCO**  
MECHANICAL CONTRACTORS  
11000 W. 15th Street, Suite 100  
Farmington, MI 48333 (517) 475-1438

**RBS**  
REGISTERED PROFESSIONAL ENGINEER  
11000 W. 15th Street, Suite 100  
Farmington, MI 48333 (517) 475-1438

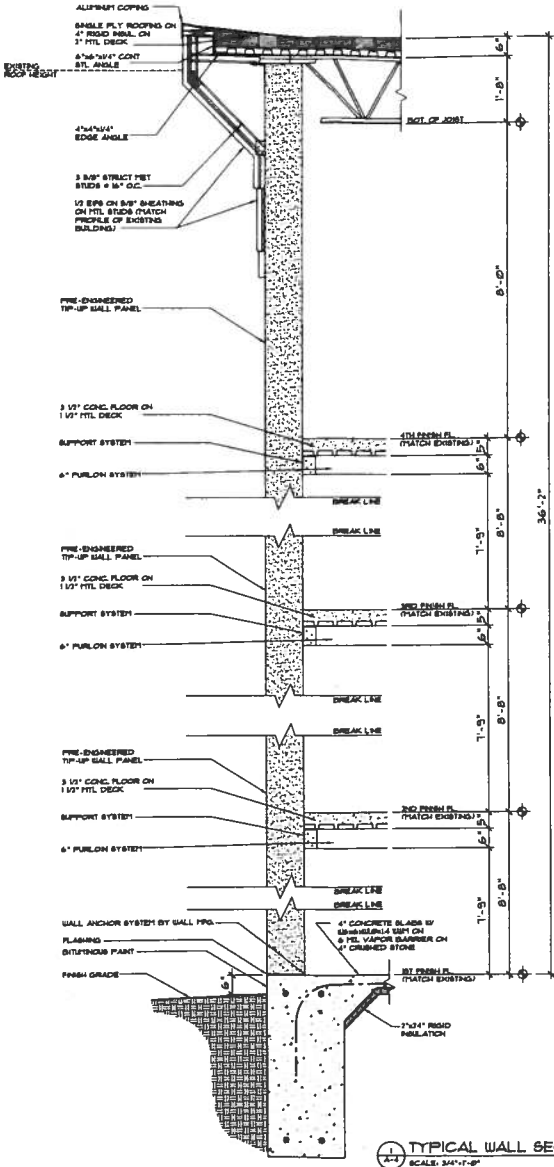
**SHURGARD STORAGE CENTER**  
CITY OF WREATHON, ILLINOIS

**NORTH, SOUTH, EAST AND WEST ELEVATIONS**

Scale: 1/8"=1'-0"  
Date: 08-11-08  
Job No.: 0095  
Sht. No.: A-3

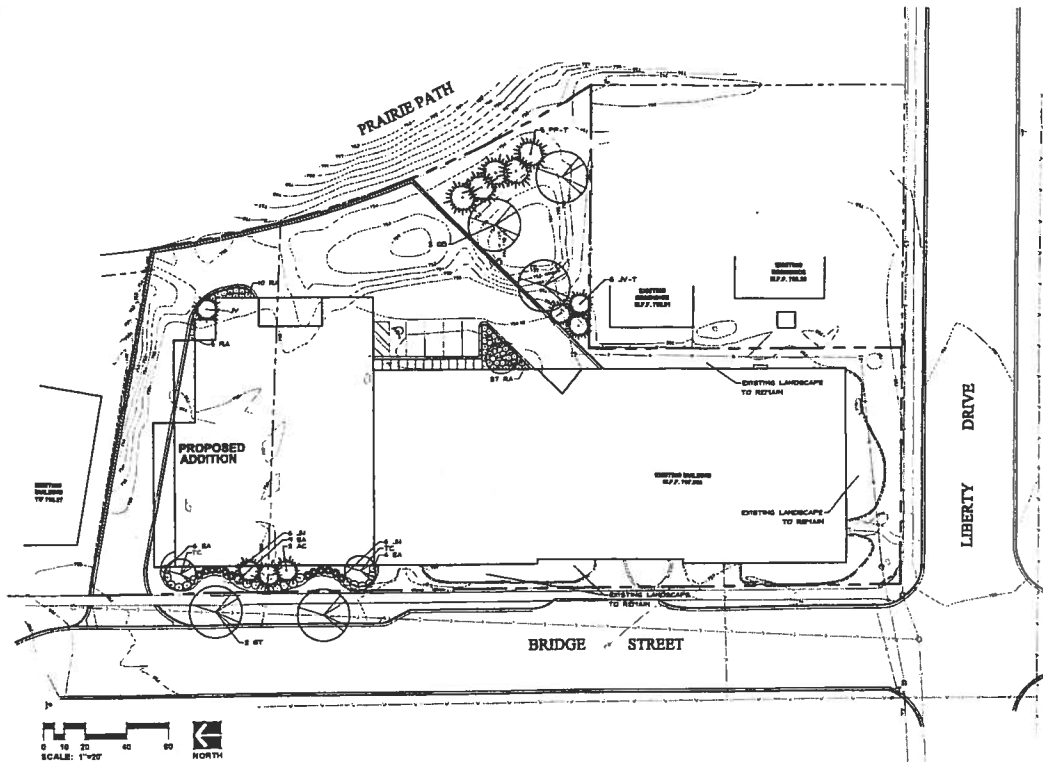
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**SCM** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC  
 85 Cadillac Square, Suite 2701  
 Detroit, MI 48226



**TYPICAL WALL SECTION**  
 SCALE: 3/4" = 1'-0"

<p><b>SCM</b> SUPERIOR CONSTRUCTION &amp; MANAGEMENT, LLC          85 Cadillac Square, Suite 2701          Detroit, MI 48226</p>	
<p><b>MATCO</b>          10000 Woodward Ave., Suite 100          Detroit, MI 48226          (313) 963-1100</p>	
<p><b>RBS</b> RBS CONSTRUCTION, INC.          10000 Woodward Ave., Suite 100          Detroit, MI 48226          (313) 963-1100</p>	
<p>DATE: 08/11/08</p>	<p>BY: [Signature]</p>
<p>CHECKED BY: [Signature]</p>	<p>DATE: 08/11/08</p>
<p><b>SHURGARD STORAGE CENTER</b>          CITY OF WEAVER, ILLINOIS</p>	
<p><b>TYPICAL WALL SECTION</b></p>	
<p>Scale: 3/4" = 1'-0"</p>	<p>Date: 08/11/08</p>
<p>Job No: 0855</p>	<p>Sheet No: A-4</p>

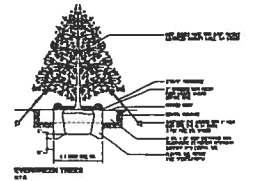
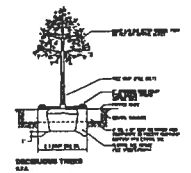


**PLANT LIST**

Key	Qty	Botanical/Common Name	Size	Remarks
1	1	SHRUB	4" DIA	
2	2	SHRUB	4" DIA	
3	2	SHRUB	4" DIA	
4	2	SHRUB	4" DIA	
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7	2	SHRUB	4" DIA	
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10	2	SHRUB	4" DIA	
11	2	SHRUB	4" DIA	
12	2	SHRUB	4" DIA	
13	2	SHRUB	4" DIA	
14	2	SHRUB	4" DIA	
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97	2	SHRUB	4" DIA	
98	2	SHRUB	4" DIA	
99	2	SHRUB	4" DIA	
100	2	SHRUB	4" DIA	

**GENERAL NOTES**

- Contractor shall verify underground utility lines and is responsible for any damage.
- The contractor shall avoid all existing utilities underground and overhead where available. Where underground utilities cannot be avoided, field adjustments must be approved by the landscape architect prior to installation.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any omissions.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per spec.
- Planting shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Nurseries requirements.
- The landscape architect reserves the right to remove trees and shrubs either in place or growth or at site before planting, for compliance with requirements of permits, size and quality.
- The landscape architect reserves the right to reject landscape material on site whether stock plant or material in place.
- All plants shall be prepared per the landscape plan and specifications. Plants not found to be in compliance shall be replaced at contractor's expense at no additional expense to the owner.
- Any shade, fertilizer and additional or different grass within the construction limits as shown. All areas shall show completely and shall not come out under.
- Where planting beds must be cut across, the contractor shall provide a finished edge flush with the beds to the line shown.
- For trees planted in full sun, provide a 3'-0" dia. mesh ring (removed existing turf) at all trees with a vertical edge.
- An approved pre-emptive herbicide shall be applied to all planting beds at a rate specified by manufacturer for each plant variety.
- Contractor shall secure and use for all permits, fees, and insurance necessary for the proper execution of the work and comply with all codes applicable to this work.
- Remove all surface trees and 2' dia. from right-of-way, 4' dia. from drives, 8' dia. from buildings and 5' dia. from structures.
- Some field adjustments may be necessary to ensure that there are no plant material conflicts with utilities.
- Field adjustments may be made due to field conditions of utilities. Any adjustments shall be approved by landscape architect.
- Some field adjustments may be necessary to ensure that there are no conflicts between installed and proposed trees.



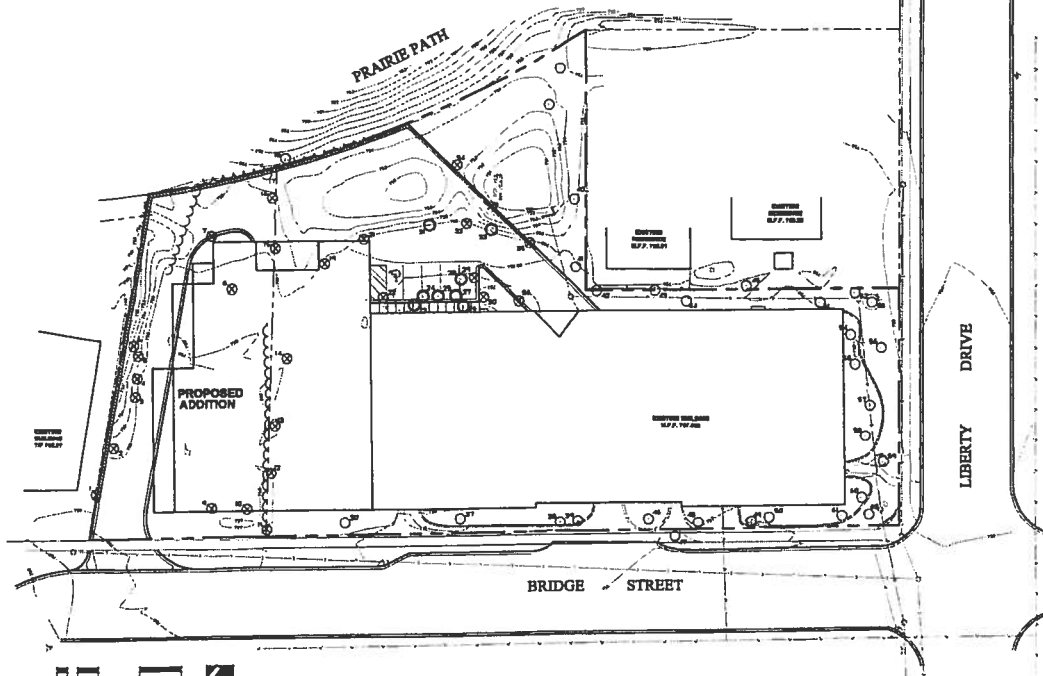
**PLANTING DETAILS**



**LEGEND:**

✕ TREE TO BE REMOVED

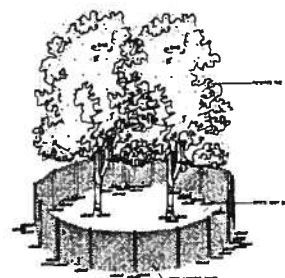
○ TREE TO BE TRANSPLANTED



#	TREE SPECIES	TREE SIZE	TREE STATUS
1	BURR OAK	12"	REMOVED
2	BLACK WALNUT	12"	REMOVED
3	GREEN BEECH	12"	REMOVED
4	DOUGLASS PINE	12"	REMOVED
5	BLACK LOCUST	12"	REMOVED
6	BLACK WALNUT	12"	REMOVED
7	GREEN ASH	12"	REMOVED
8	GREEN ASH	12"	REMOVED
9	DOUGLASS PINE	12"	REMOVED
10	DOUGLASS PINE	12"	REMOVED
11	DOUGLASS PINE	12"	REMOVED
12	DOUGLASS PINE	12"	REMOVED
13	DOUGLASS PINE	12"	REMOVED
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15	DOUGLASS PINE	12"	REMOVED
16	DOUGLASS PINE	12"	REMOVED
17	DOUGLASS PINE	12"	REMOVED
18	DOUGLASS PINE	12"	REMOVED
19	DOUGLASS PINE	12"	REMOVED
20	DOUGLASS PINE	12"	REMOVED
21	DOUGLASS PINE	12"	REMOVED
22	DOUGLASS PINE	12"	REMOVED
23	DOUGLASS PINE	12"	REMOVED
24	DOUGLASS PINE	12"	REMOVED
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98	DOUGLASS PINE	12"	REMOVED
99	DOUGLASS PINE	12"	REMOVED
100	DOUGLASS PINE	12"	REMOVED

**TREE PRESERVATION NOTES**

1. All high voltage lines or road barriers shall be placed to the depth of the tree or tree mass whenever possible, shall be installed before construction begins, and shall not be removed until the completion of construction.
2. All accidental damage to existing trees that are to be preserved shall be promptly repaired or replaced in accordance with recognized horticultural practices and the instructions of the professional arborist, landscape architect or horticulturist.
3. Broken or badly damaged branches shall be removed with a clean cut. If recommended by the professional arborist, landscape architect or horticulturist, cuts larger than 2" diameter shall be painted over with tree paint.
4. Care shall be exercised by the contractors to protect all overhead wires and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
5. Contractors shall protect trees and vegetation against spills or discharge of fresh concrete, oil, hydraulic fluid, anti-freeze and coolant, carbon chloride, gas and all other water-soluble, organic chemical, and other materials which can be harmful.
6. When underground utilities are preserved within 3' of a preserved tree trunk, they must be covered if possible.



**TREE PRESERVATION DETAIL**

**GRWA**  
 GARY R. WEBER  
 ASSOCIATES, INC.  
 LAND PLANNING  
 AND ARCHITECTURE  
 1400 WEST 10TH AVENUE  
 DENVER, COLORADO 80202  
 TEL: 303-733-8800  
 FAX: 303-733-8801

**RE CONSTRUCTION, INC.**  
 2501 DENVER BUSINESS PARK DR.  
 SUITE 100  
 BOULDER, COLORADO 80501  
 P: 303-440-1111  
 F: 303-440-1112

**SHURGARD STORAGE**  
 WHEATON, ILLINOIS  
**TREE PRESERVATION**



NOT FOR CONSTRUCTION

**SCM** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC.  
65 Cadillac Square, Suite 2701  
Detroit, MI 48226

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**METCO**  
ENVIRONMENTAL  
SERVICES, INC.  
11000 E. 14th Ave., Suite 100  
Detroit, MI 48204

**RBS**  
CORPORATION, INC.  
11000 E. 14th Ave., Suite 100  
Detroit, MI 48204

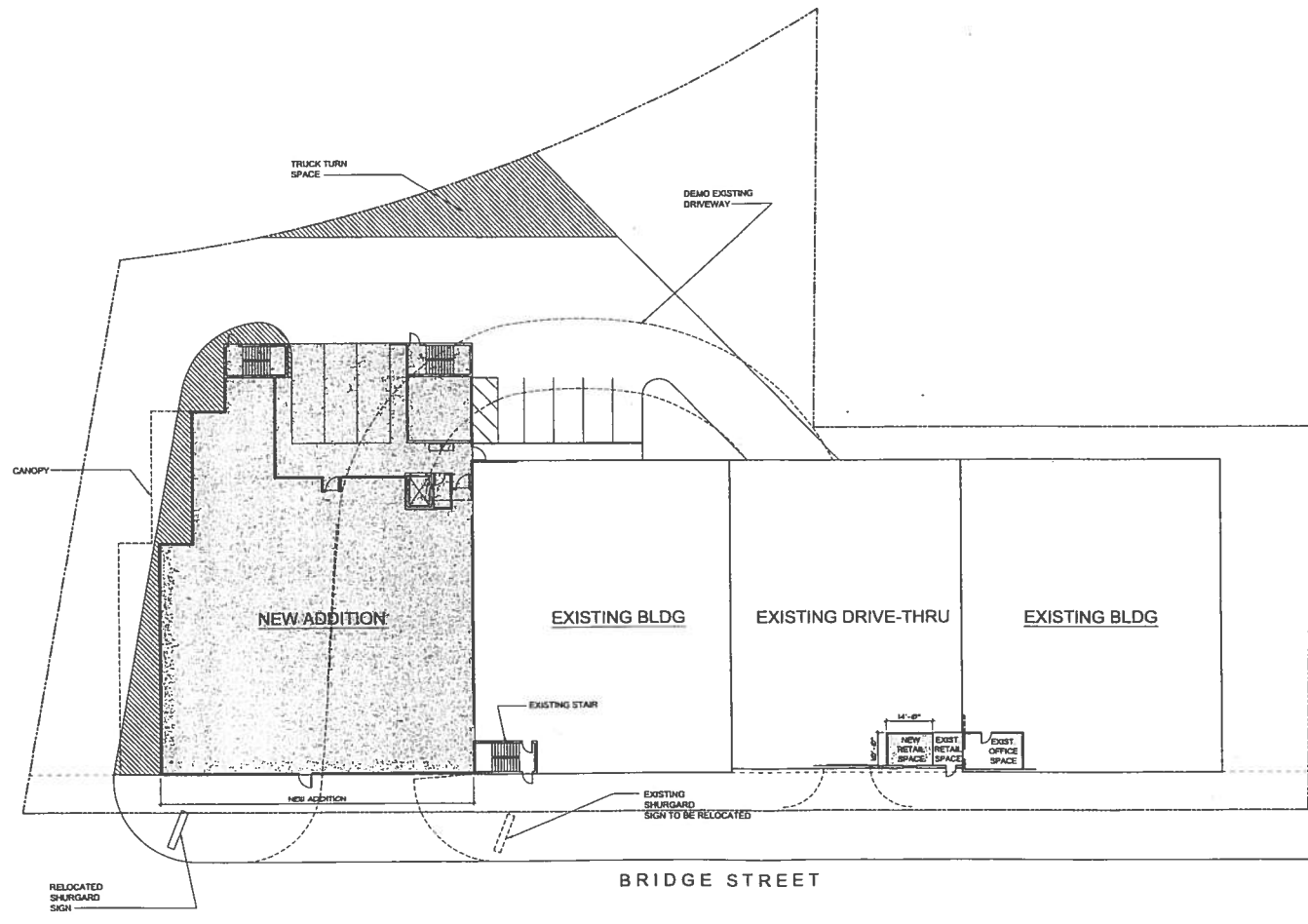
DATE: 07/26/05  
BY: J.S.V. REVIEW

DESIGNED BY: [blank]  
CHECKED BY: [blank]

SHURGARD STORAGE CENTER  
CITY OF WREATHON, ILLINOIS

SITE PLAN

Scale: 1/8" = 1'-0"  
Date: 07-27-05  
Job No.: 0615  
She. No.: SP-1



**SITE PLAN**  
SCALE: 1/8" = 1'-0"



Z:\04\_C\_Projects\0411\_Surgard\_Mechanical\0411\_Surgard\_Mechanical\0411\_Surgard\_Mechanical.dwg, 1/7/2005 2:12:44 PM, 1:5816403101000

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 85 Cadillac Square, Suite 2701  
 Detroit, MI 48226

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**METCO**  
 2001 East St.  
 Farmington, MI 48335 (313) 479-3400

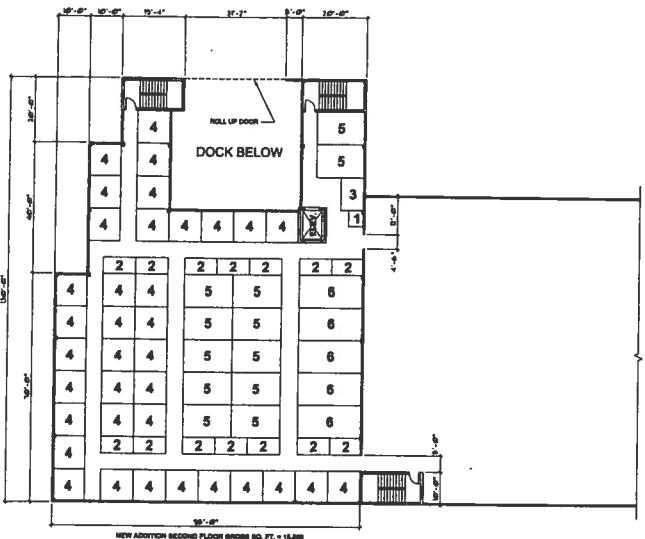
**RBS**  
 COMPANIES, INC.  
 10000 E. 15th Ave.  
 Denver, CO 80231 (303) 751-1000

DATE: 08-11-08  
 CHECKED BY: [Signature]  
 DRAWN BY: [Signature]

SHURGARD STORAGE CENTER  
 CITY OF WHEATON, ILLINOIS

FIRST FLOOR AND SECOND FLOOR PLANS

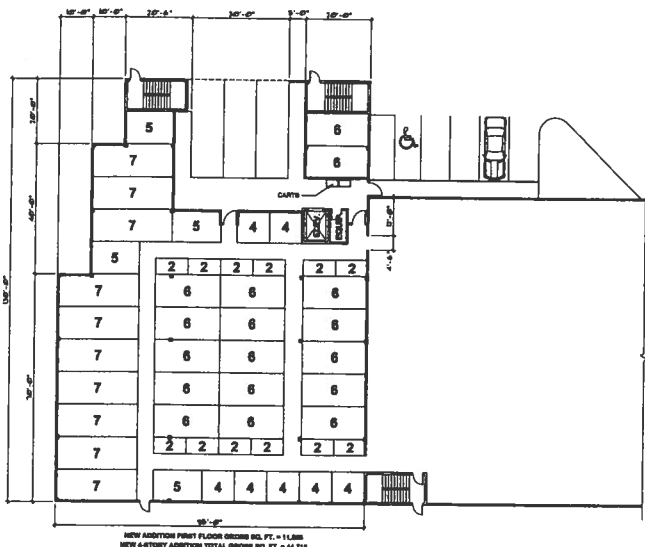
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 Job No.: 0885  
 Sht. No.: A-1



**UNIT STORAGE**

1	1	5' x 5'
2	14	5' x 10'
3	1	7 1/2' x 10'
4	36	10' x 10'
5	12	10' x 15'
6	5	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

1 SECOND FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



**UNIT STORAGE**

1	0	5' x 5'
2	12	5' x 10'
3	0	7 1/2' x 10'
4	7	10' x 10'
5	4	10' x 15'
6	17	10' x 20'
7	10	10' x 25'
8	0	5' x 15'

1 FIRST FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



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 Detroit, MI 48226

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**MBTCO**  
 8007 OAK ST  
 HARRISBURG, PA 17133 (PA) (412) 439-1142

**RBS**  
 COMPANIES, LLC  
 10000 W. 11TH AVENUE  
 DENVER, CO 80231 (CO) (303) 751-1111

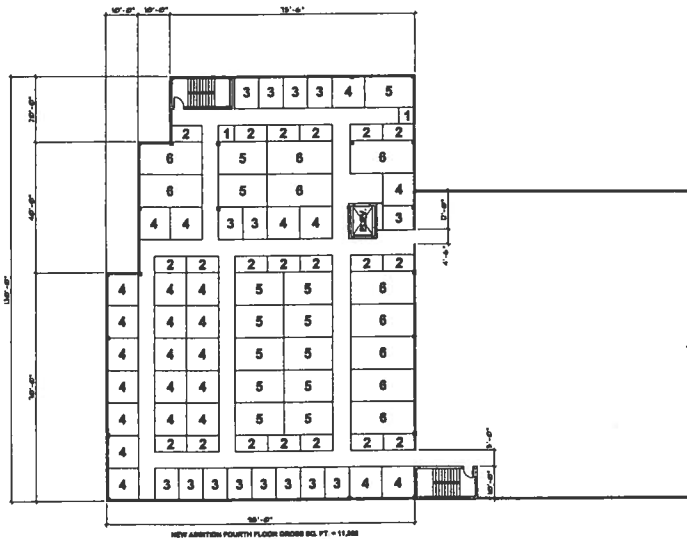
07/02/08 U.S.A. REVIEW

DATE: 07/02/08  
 CHECKED BY: [ ]  
 DESIGNED BY: [ ]

SHURGARD STORAGE CENTER  
 CITY OF WEATON, ILLINOIS

THIRD FLOOR AND  
 FORTH FLOOR PLANS

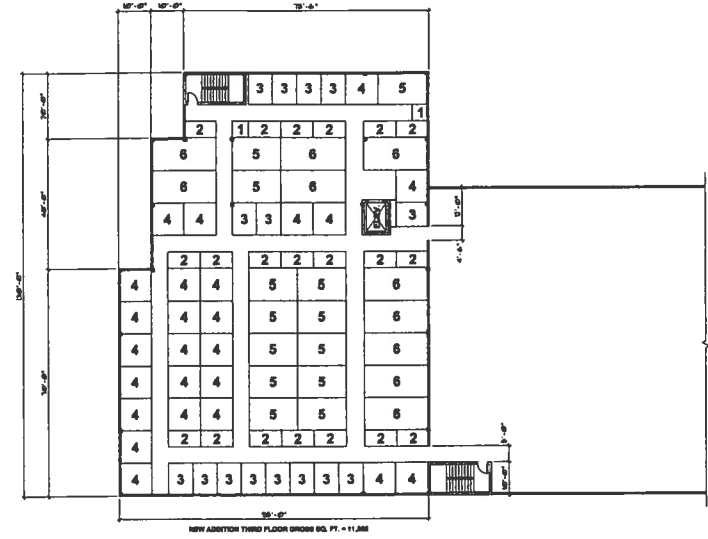
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 2:00 P.M.  
 DBS  
 SHE No.  
 A-2



**UNIT STORAGE**

1	2	5' x 5'
2	20	5' x 10'
3	15	7 1/2' x 10'
4	25	10' x 10'
5	13	10' x 15'
6	10	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

1 FORTH FLOOR PLAN  
 SCALE: 1/8"=1'-0"



**UNIT STORAGE**

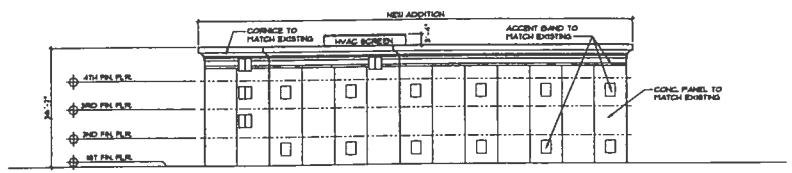
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2	20	5' x 10'
3	15	7 1/2' x 10'
4	25	10' x 10'
5	13	10' x 15'
6	10	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

1 THIRD FLOOR PLAN  
 SCALE: 1/8"=1'-0"

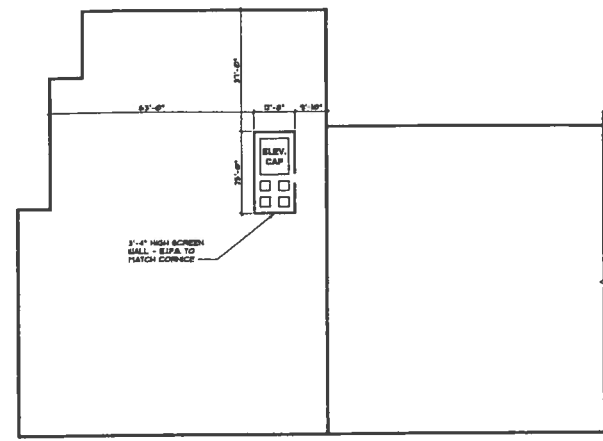


NOT FOR CONSTRUCTION

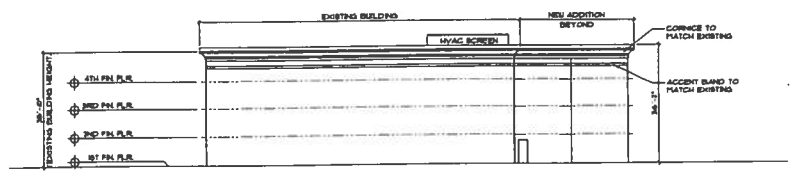
**SCM** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC  
 85 Cadillac Square, Suite 2701  
 Detroit, MI 48226



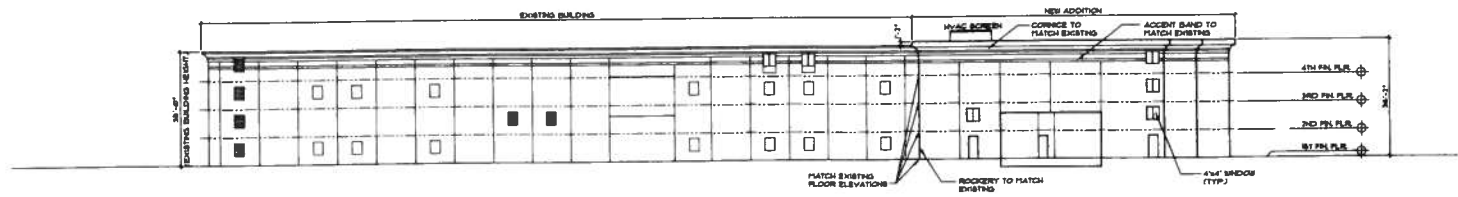
**1 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



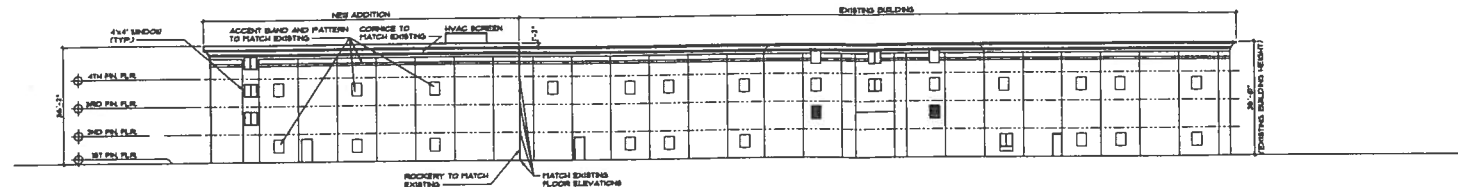
**1 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**MECO**  
 1000 CASI RD  
 FARMINGTON, MI 48331 (313) 475-3443

**RBS**  
 COMPANIES, INC.  
 10000 WOODLAND DR  
 WOODLAND, MI 48091 (248) 851-1800

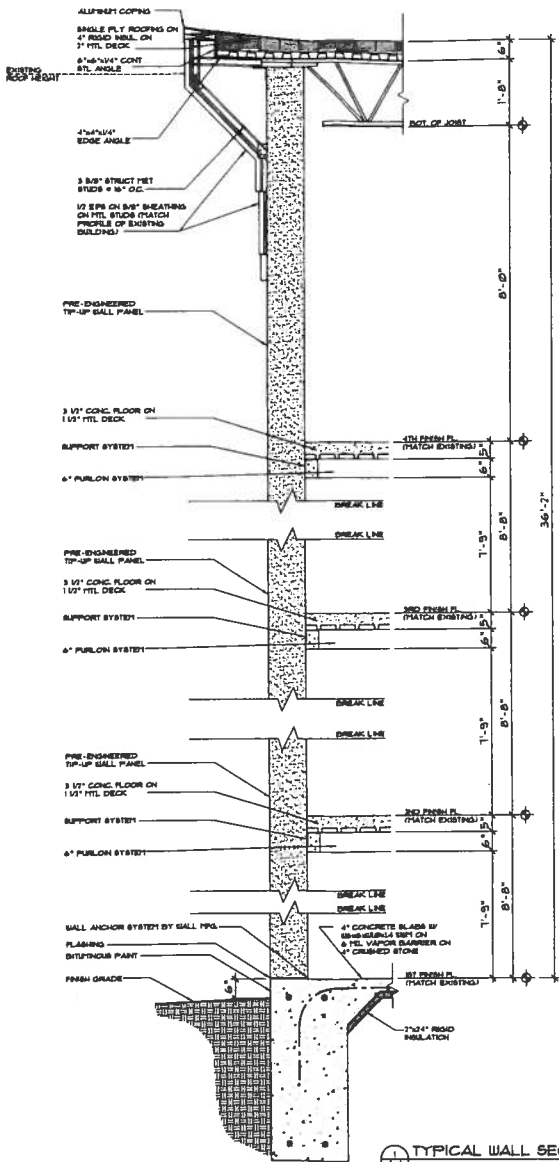
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**SHURGARD STORAGE CENTER**  
 CITY OF WEAATON, ILLINOIS

**NORTH, SOUTH, EAST AND WEST ELEVATIONS**

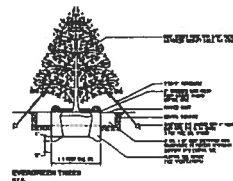
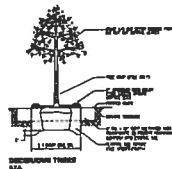
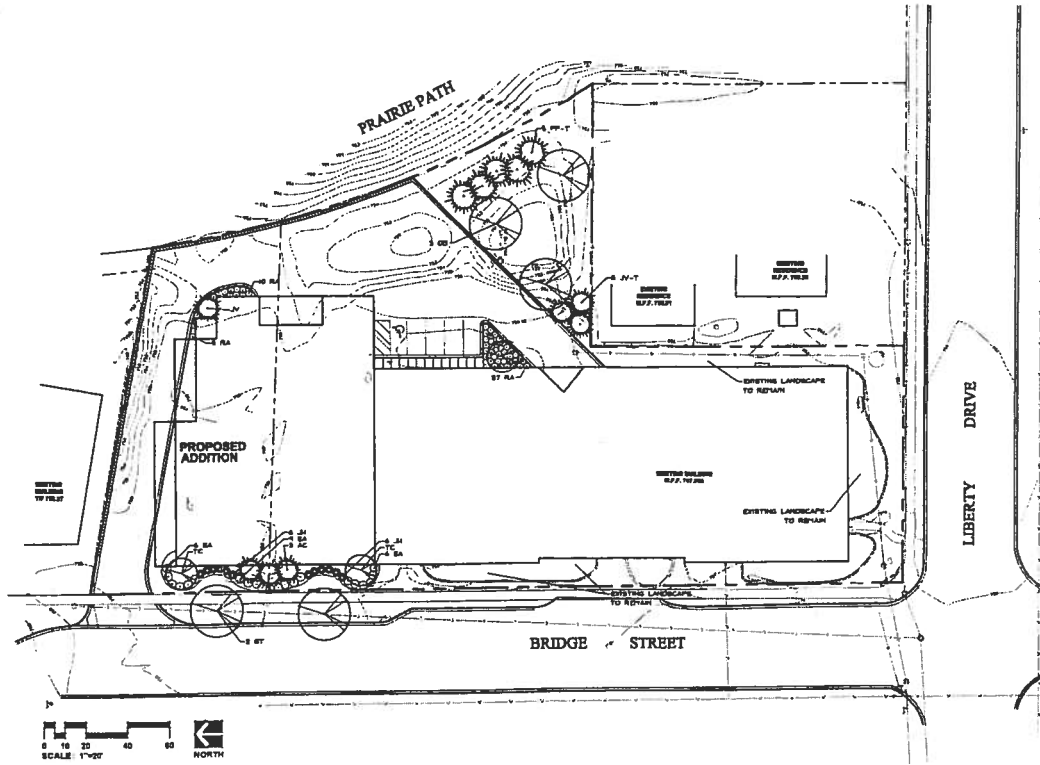
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**scm** SUPERIOR CONSTRUCTION & MANAGEMENT, LLC  
 65 Cadillac Square, Suite 2701  
 Detroit, MI 48226



**TYPICAL WALL SECTION**  
 SCALE: 3/4" = 1'-0"

CH Designer:	CH Checker:
SHURGARD STORAGE CENTER CITY OF WENTON LUNGB	
TYPICAL WALL SECTION	
Scale: 3/4" = 1'-0"	
Date:	
Job No.:	
DES	
SHE No: A-4	



PLANTING DETAILS

**PLANT LIST**

No.	Qty	Species/Common Name	Size	Remarks
07	2	SHRUB TREES		
08	2	SHRUB TREES	2 1/2" CA	
09	2	SHRUB TREES	2 1/2" CA	
10	2	SHRUB TREES	2 1/2" CA	
11	2	SHRUB TREES	2 1/2" CA	
12	2	SHRUB TREES	2 1/2" CA	
13	2	SHRUB TREES	2 1/2" CA	
14	2	SHRUB TREES	2 1/2" CA	
15	2	SHRUB TREES	2 1/2" CA	
16	2	SHRUB TREES	2 1/2" CA	
17	2	SHRUB TREES	2 1/2" CA	
18	2	SHRUB TREES	2 1/2" CA	
19	2	SHRUB TREES	2 1/2" CA	
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24	2	SHRUB TREES	2 1/2" CA	
25	2	SHRUB TREES	2 1/2" CA	
26	2	SHRUB TREES	2 1/2" CA	
27	2	SHRUB TREES	2 1/2" CA	
28	2	SHRUB TREES	2 1/2" CA	
29	2	SHRUB TREES	2 1/2" CA	
30	2	SHRUB TREES	2 1/2" CA	
31	2	SHRUB TREES	2 1/2" CA	
32	2	SHRUB TREES	2 1/2" CA	
33	2	SHRUB TREES	2 1/2" CA	
34	2	SHRUB TREES	2 1/2" CA	
35	2	SHRUB TREES	2 1/2" CA	
36	2	SHRUB TREES	2 1/2" CA	
37	2	SHRUB TREES	2 1/2" CA	
38	2	SHRUB TREES	2 1/2" CA	
39	2	SHRUB TREES	2 1/2" CA	
40	2	SHRUB TREES	2 1/2" CA	
41	2	SHRUB TREES	2 1/2" CA	
42	2	SHRUB TREES	2 1/2" CA	
43	2	SHRUB TREES	2 1/2" CA	
44	2	SHRUB TREES	2 1/2" CA	
45	2	SHRUB TREES	2 1/2" CA	
46	2	SHRUB TREES	2 1/2" CA	
47	2	SHRUB TREES	2 1/2" CA	
48	2	SHRUB TREES	2 1/2" CA	
49	2	SHRUB TREES	2 1/2" CA	
50	2	SHRUB TREES	2 1/2" CA	
51	2	SHRUB TREES	2 1/2" CA	
52	2	SHRUB TREES	2 1/2" CA	
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54	2	SHRUB TREES	2 1/2" CA	
55	2	SHRUB TREES	2 1/2" CA	
56	2	SHRUB TREES	2 1/2" CA	
57	2	SHRUB TREES	2 1/2" CA	
58	2	SHRUB TREES	2 1/2" CA	
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74	2	SHRUB TREES	2 1/2" CA	
75	2	SHRUB TREES	2 1/2" CA	
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79	2	SHRUB TREES	2 1/2" CA	
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94	2	SHRUB TREES	2 1/2" CA	
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96	2	SHRUB TREES	2 1/2" CA	
97	2	SHRUB TREES	2 1/2" CA	
98	2	SHRUB TREES	2 1/2" CA	
99	2	SHRUB TREES	2 1/2" CA	
100	2	SHRUB TREES	2 1/2" CA	

**GENERAL NOTES**

1. Contractor shall verify underground utility lines and is responsible for any damage.
2. The architect shall verify all existing utilities underground and marked where applicable. All utility lines shall be marked with reflective paint. Field adjustments must be approved by the landscape architect prior to installation.
3. Contractor shall verify all existing conditions in the field prior to construction and shall notify the landscape architect of any variances.
4. Material quantities shown are for contractor's information only. The Contractor must verify all material and supply sufficient materials to complete the job on-site.
5. Plants shall conform to American Standards for Nursery Stock, State of Illinois Horticulture Standards, and Local Transport Requirements.
6. The landscape architect reserves the right to inspect trees and shrubs prior to their growth in or on the factory planting. For compliance with requirements of species, size and quality.
7. The landscape architect reserves the right to reject landscape material on site whether dead, diseased or damaged in place.
8. All plants shall be installed per the landscape plan and specifications. Plantings not found to be in compliance shall be replaced promptly at no additional expense to the owner.
9. The grade, bedding and soil shall be installed prior to the construction of the site as shown. All areas shall be compacted and shall meet local codes.
10. Where planting beds meet hard areas, the contractor shall provide a reinforced edge. Plantings shall be installed in the beds.
11. For trees planted in hard areas, provide a 2'-0" dia. mulch ring (formed during lift) at all times with a reinforced edge.
12. An approved and stamped landscape plan shall be installed in all planting beds at a rate specified by manufacturer for each plant variety.
13. Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper installation of the work and comply with all codes applicable to the work.
14. Showers and irrigation lines are 24" from right-of-way, 2' from trees, 2' from buildings and 2' from other structures.
15. Some field adjustments may be necessary to ensure that there are no plant material conflicts with utilities.
16. Field adjustments may be made due to field location of utilities and adjustments shall be approved by landscape architect.
17. Some field adjustments may be necessary to ensure that there are no conflicts between utilities and proposed trees.

**GARY R. WEBER ASSOCIATES, INC.**  
LANDSCAPE ARCHITECTURE

**THE CONSTRUCTION INC.**  
200 SOUTH BRIDGE STREET  
SUITE 100  
BROOKTON, ILLINOIS 61614  
P: 815/294-1111  
F: 815/294-8822

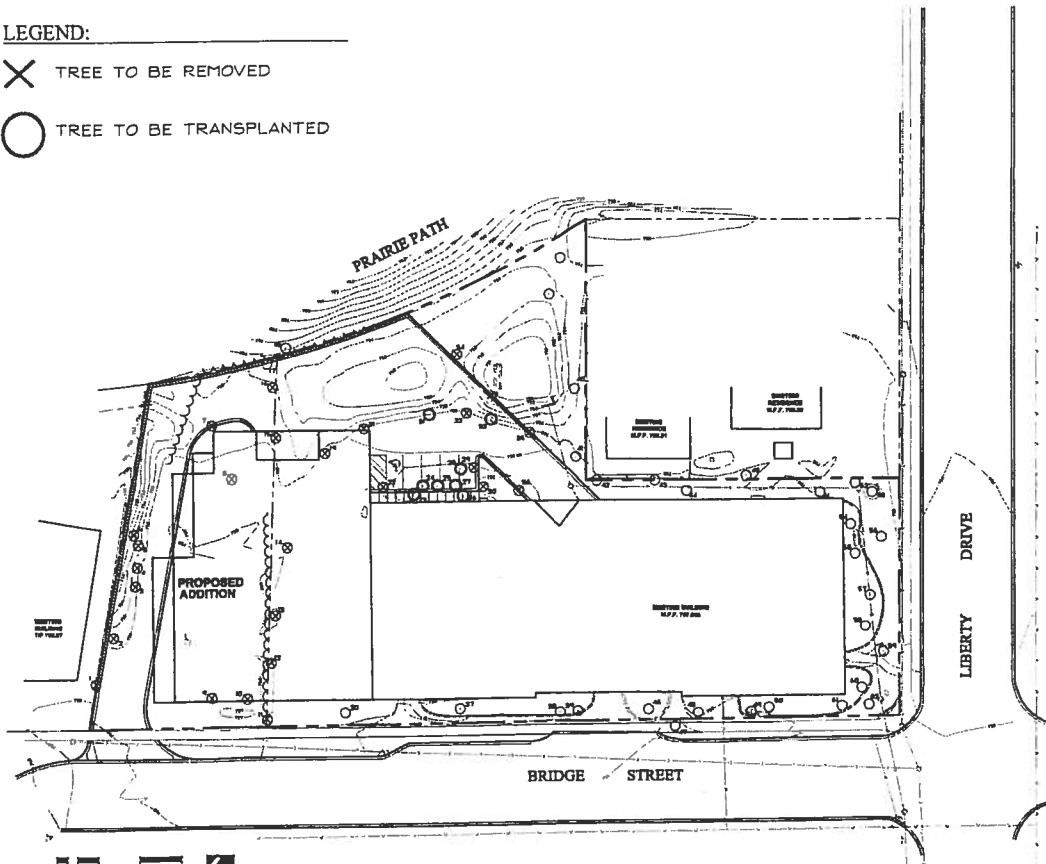
**SHURCARD STORAGE**  
WILMINGTON, ILLINOIS  
LANDSCAPE PLAN



LEGEND:

X TREE TO BE REMOVED

O TREE TO BE TRANSPLANTED



#	TREE SPECIES	TREE SIZE	TREE STATUS
1	DOGWOOD	12"	REMOVED
2	BLACK HAWK	12"	REMOVED
3	DOYAL	12"	REMOVED
4	DOYAL	12"	REMOVED
5	BLACK HAWK	12"	REMOVED
6	DOYAL	12"	REMOVED
7	DOYAL	12"	REMOVED
8	DOYAL	12"	REMOVED
9	DOYAL	12"	REMOVED
10	DOYAL	12"	REMOVED
11	DOYAL	12"	REMOVED
12	DOYAL	12"	REMOVED
13	DOYAL	12"	REMOVED
14	DOYAL	12"	REMOVED
15	DOYAL	12"	REMOVED
16	DOYAL	12"	REMOVED
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19	DOYAL	12"	REMOVED
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21	DOYAL	12"	REMOVED
22	DOYAL	12"	REMOVED
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27	DOYAL	12"	REMOVED
28	DOYAL	12"	REMOVED
29	DOYAL	12"	REMOVED
30	DOYAL	12"	REMOVED
31	DOYAL	12"	REMOVED
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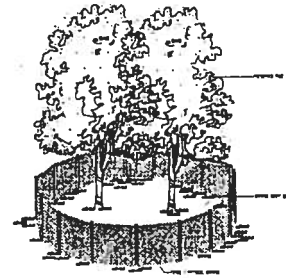
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**SHURDARD STORAGE**  
 WHEATON, ILLINOIS  
**TREE PRESERVATION**

TREE PRESERVATION NOTES

1. 48" high snow fence or wood barriers shall extend to the drip line of the tree or tree area whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
2. All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instruction of the professional Arborist, Landscape Architect or Horticulturist.
3. Broken or badly damaged branches shall be removed with a clean cut. If recommended by the professional Arborist, Landscape Architect or Horticulturist. Cuts lower than 2" diameter shall be painted over with tree seal.
4. Care shall be exercised by the contractor to protect all overhead wires and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
5. Contractors shall protect trees and vegetation against soils or discharge of fresh concrete, oil, hydraulic fluid, anti-freeze and caustics. Other chemicals, the spill of other similar liquid materials, organic chemicals, and other materials which can be harmful.
6. When underground utilities are proposed within 5' of a preserved tree trunk, they must be approved if possible.



TREE PRESERVATION DETAIL  
 SEE NOTES