

ORDINANCE NO. F-1142

**AN ORDINANCE AMENDING THE WHEATON ZONING MAP
BY GRANTING A SPECIAL USE PERMIT FOR PLANNED UNIT DEVELOPMENT-
1703 E. ROOSEVELT ROAD/HENNINGER**

WHEREAS, written application has been made to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a special use permit for a Planned Unit Development in order to allow for the demolition of an existing single family residence which is in extreme disrepair and the construction of a new 1800 square foot, two-story office building and nine (9) space parking lot, all on the property legally described herein within the city limits of Wheaton, Illinois, and commonly known as 1703 East Roosevelt Road; and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on February 14, 2005, to consider the issuance of the special use permit; and the Board has recommended the issuance of the special use permit;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the R-7 Residential District zoning classification:

LOT 14 EXCEPT THE SOUTH 5 FEET IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTH ½ OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925 AS DOCUMENT 202765 AND CERTIFICATE OF CORRECTION FILED OCTOBER 29, 1927 AS DOCUMENT 245767, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 05-15-327-038

This property is commonly known as 1703 East Roosevelt Road, Wheaton, IL 60187 ("subject property").

Section 2: Pursuant to the Findings of Fact a special use permit is hereby issued to allow for the construction and use of a Planned Unit Development to construct a new 1800 square foot, two-story office building and nine (9) space parking lot on the subject property in full compliance with the following plans:

1. "Site Plan," prepared by A.M. Kinsey Engineering, Inc., Roselle, IL, dated January 13, 2006.
2. "South Elevation and North Elevation," prepared by Pinnacle Construction Corp., dated

R. Smith - OFF 488

November 19, 2005.

3. "West Elevation," prepared by Pinnacle Construction Corp., dated November 19, 2005.
4. "East Elevation," prepared by Pinnacle Construction Corp., dated November 19, 2005.
5. "Foundation Plan," prepared by Pinnacle Construction Corp., dated November 19, 2005.
6. "1st Floor Plan A," prepared by Pinnacle Construction Corp., dated November 19, 2005.
7. "2nd Floor Plan A," prepared by Pinnacle Construction Corp., dated November 19, 2005.

and in further compliance with the following conditions, restrictions, and requirements:

1. A landscape hedge shall be installed along the eastern edge of the parking lot.
2. Foundation plantings shall be installed along the east foundation of the office building.
3. A solid wood fence shall be constructed and installed along the north and east property lines.
4. Owner/Developer shall furnish the City with a final landscape plan; the plan shall be subject to the approval of the Director of Planning and Economic Development.
5. The proposed ground sign plan shall be revised to comply with the requirements of Article 23 of the Zoning Ordinance.
6. Windows shall be added to the east façade of the office building; the size and location of the windows shall be subject to the approval of the Director of Planning and Economic Development.
7. Shutters shall be added and installed adjacent to the windows of the office building;
8. The trash enclosure shall comply with all City requirements and shall be subject to the approval of the Director of Planning and Economic Development.
9. Exterior artificial lighting on the subject property shall be of a character and design which directs the illumination generally downward; the quality, character, and location of the artificial lighting shall be subject to the reasonable approval of the Director of Planning and Economic Development.

Section 3: Demolition of the existing single family residence on the subject property is authorized and approved.

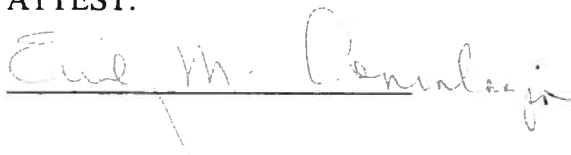
Section 4: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 5: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:



Eric M. Panalogan

Roll Call Vote:

Ayes: Councilman Mouhelis
Councilman Sues
Councilman Bolds
Councilwoman Corry
Councilman Johnson
Mayor Carr
Councilman Levine

Nays: None

Absent: None

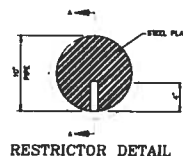
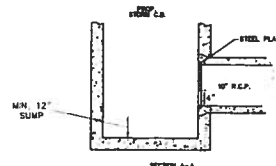
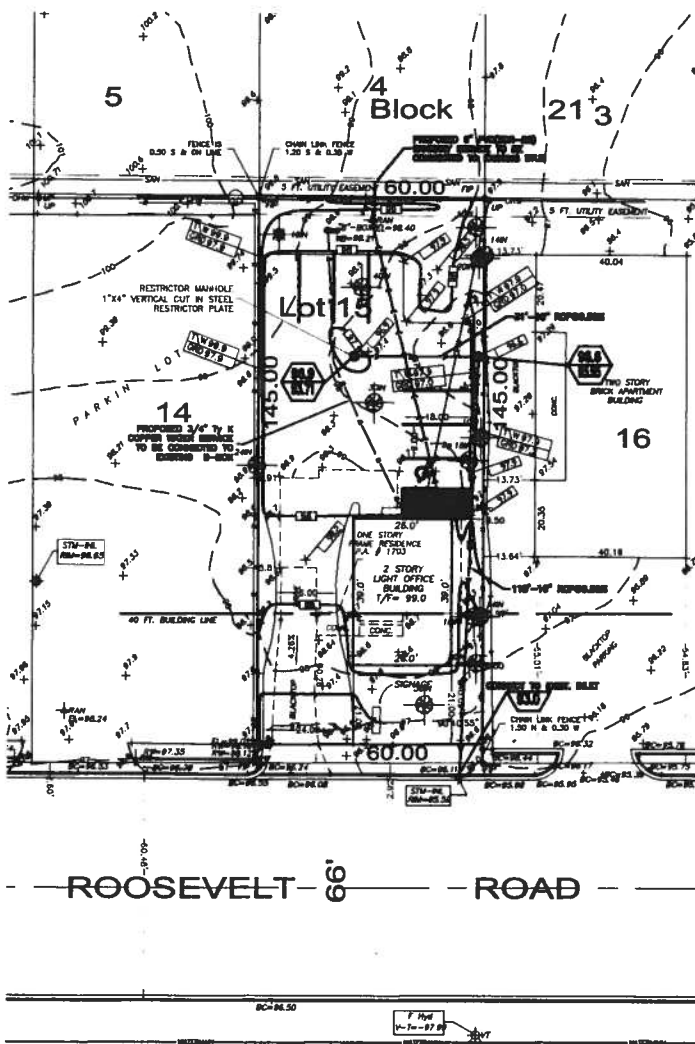
Motion Carried Unanimously

Passed: March 6, 2006
Published: March 7, 2006

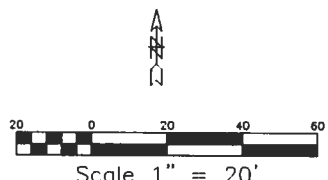
SITE PLAN

LOT 15 EXCEPT THE SOUTH 5 FEET IN BLOCK 21 IN ARTHUR T. MCINTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTH 1/2 OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 8, 1925 AS DOCUMENT 202785 AND CERTIFICATE OF CORRECTION FILED OCTOBER 29, 1927 AS DOCUMENT 245767, IN DUPAGE COUNTY, ILLINOIS.

1703 ROOSEVELT RD., WHEATON, ILL.



ROOSEVELT ROAD



SURVEY & TOPOGRAPHY PROVIDED BY:

ORDERED BY: PRINACLE CONST. CORP. ORDER NO. 05 1 048 FILE NO. 08124870-C
LAMBERT & ASSOCIATES
 LAND SURVEYORS
 320 SOUTH REBER ST. WHEATON, ILL. 60187
 PHONE: (630) 653-6331 FAX: (630) 653-6396

- LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - SILT FENCE
 - DOWN SPOUT

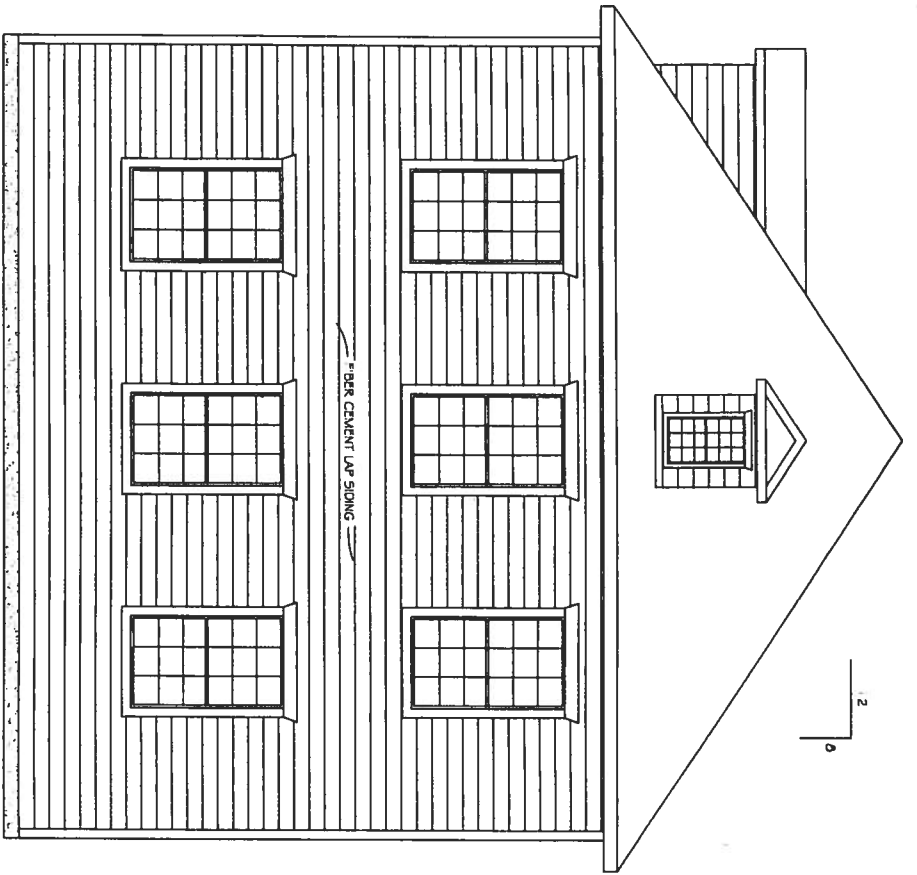
PROPOSED GRADING, 01/13/06

ALL EASEMENTS ARE FOR DRAINAGE AND PUBLIC UTILITIES UNLESS OTHERWISE NOTED.
 * IRON STAKE FOUND * IRON STAKE SET

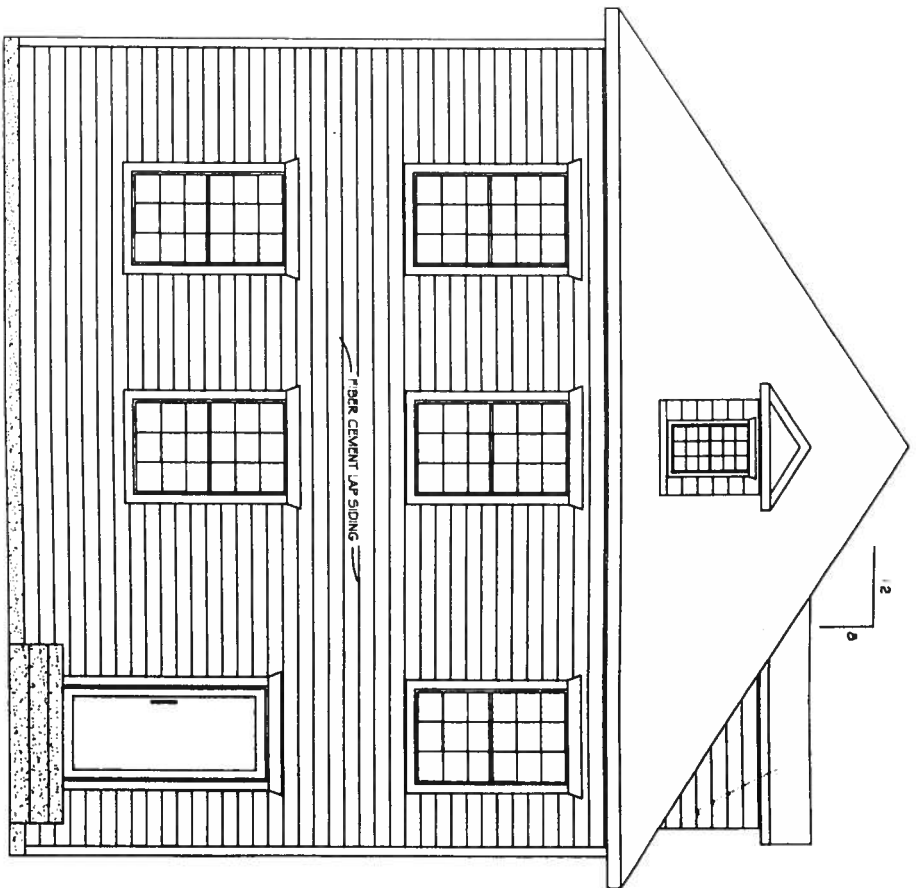
REFER TO DEED OR GUARANTEE POLICY FOR RESTRICTIONS NOT SHOWN ON SURVEY. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

	A.M. KINSEY ENGINEERING, INC.
	25W513 LAKE STREET - ROSELLE, ILLINOIS 60172 (630)893-4536 FAX: (630)893-2052

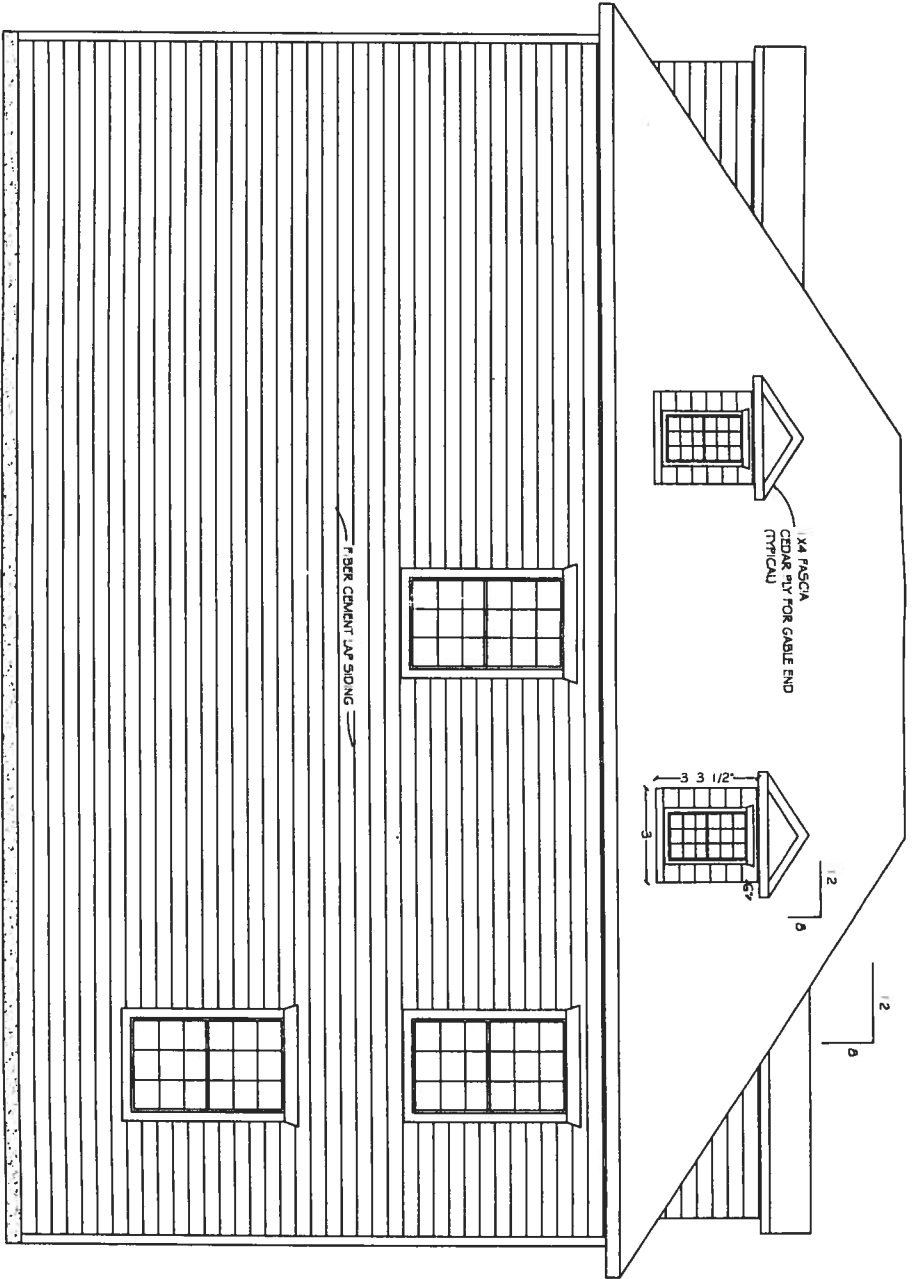
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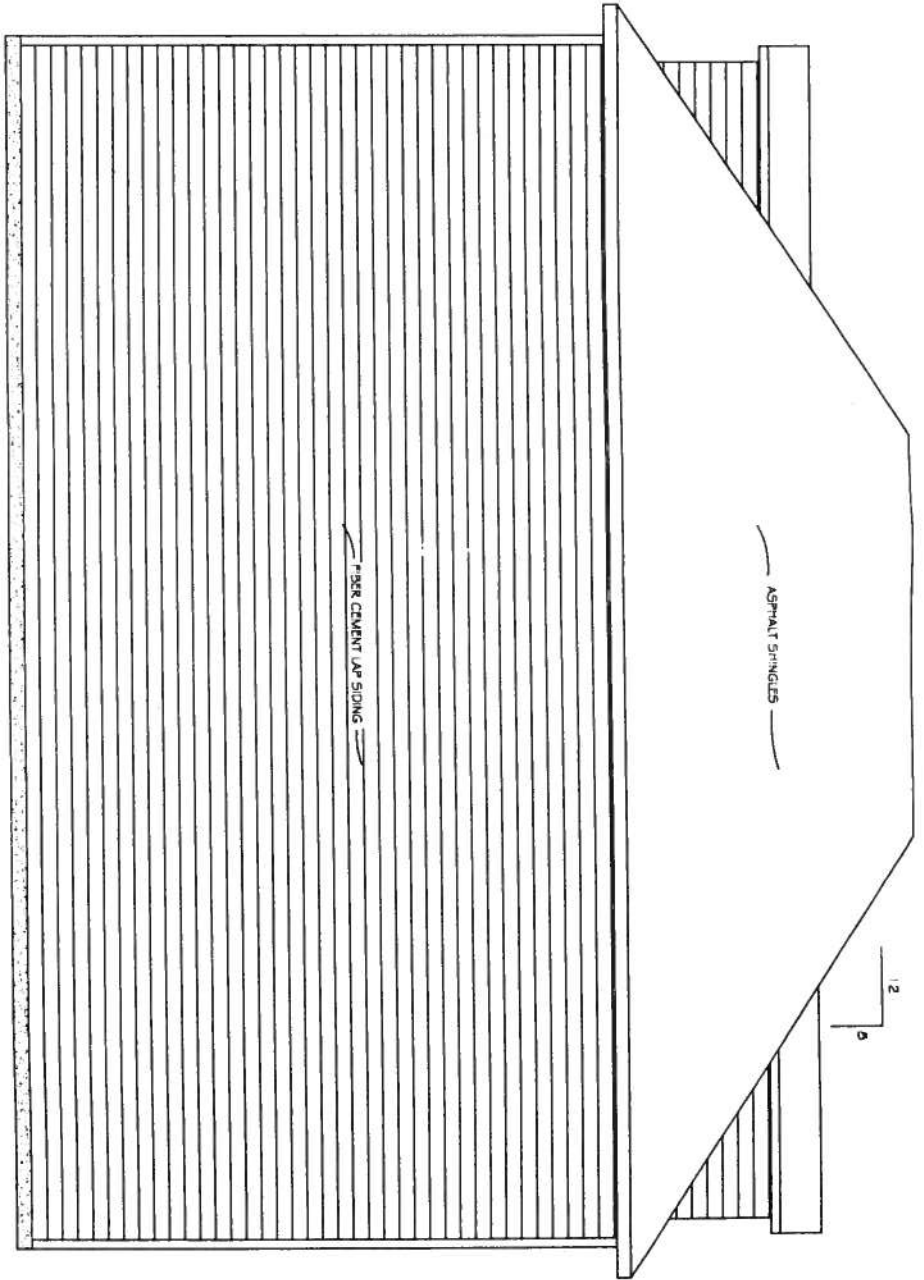
SOUTH ELEVATION



NORTH ELEVATION

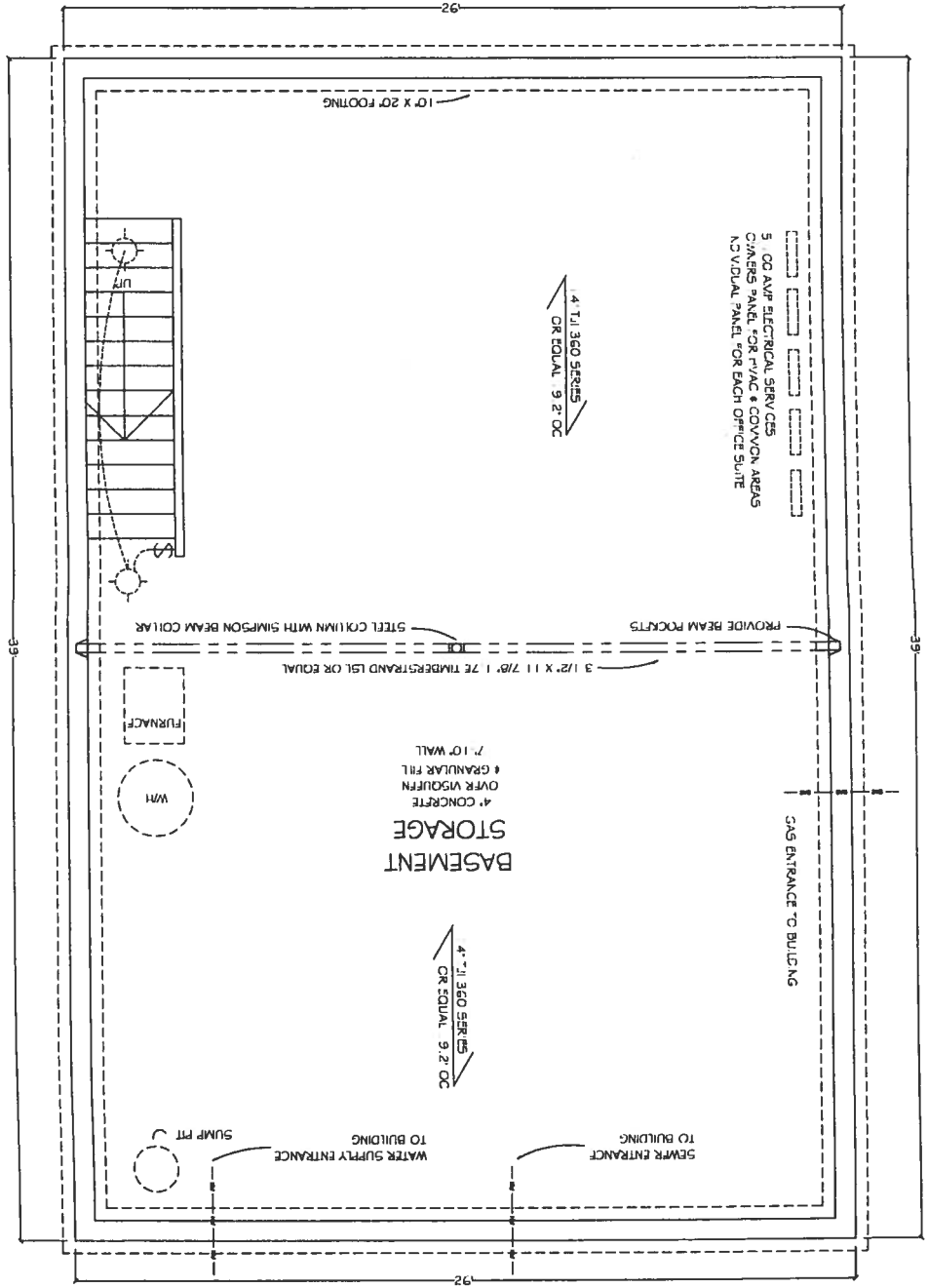


WEST ELEVATION



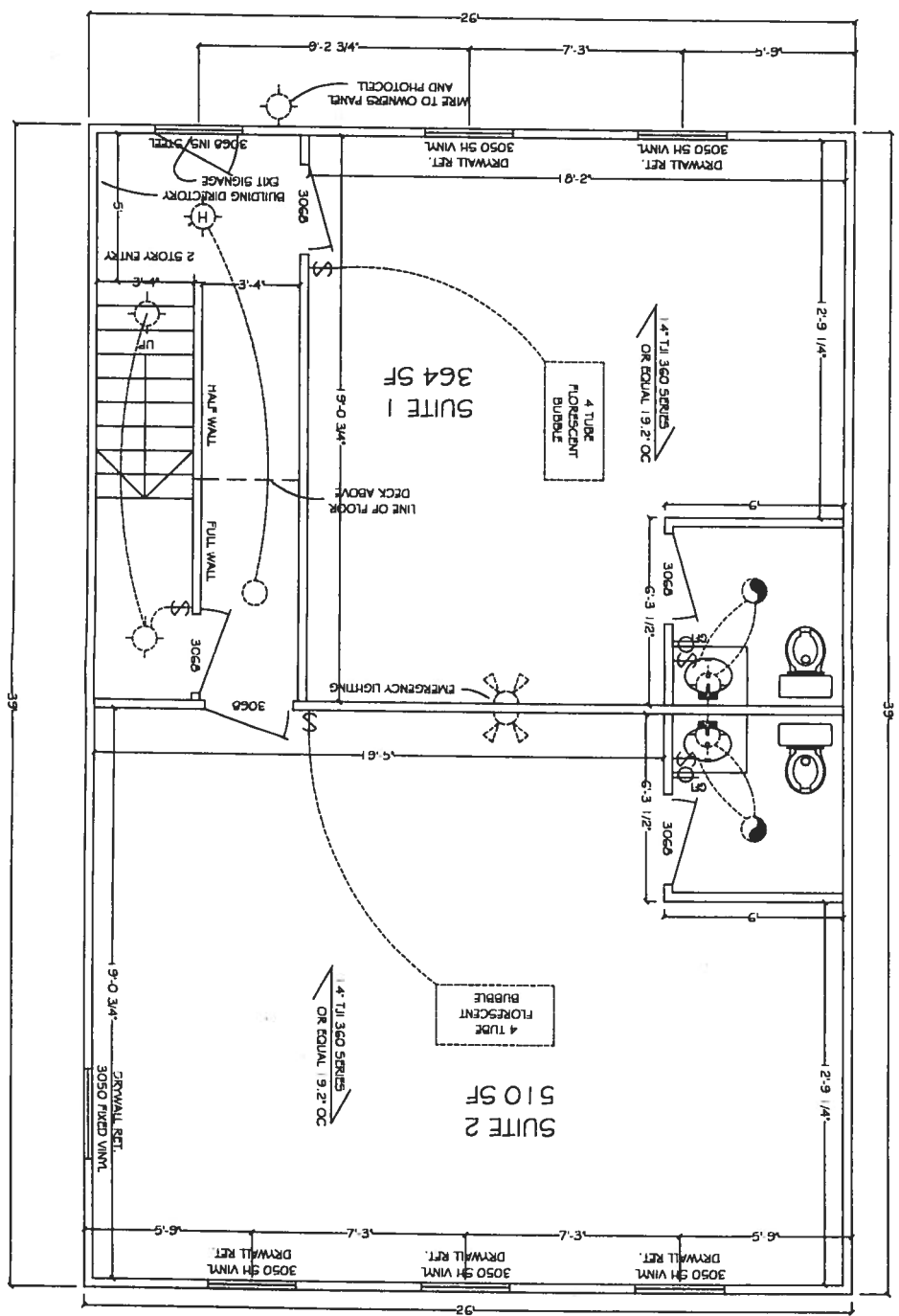
EAST ELEVATION

FOUNDATION PLAN

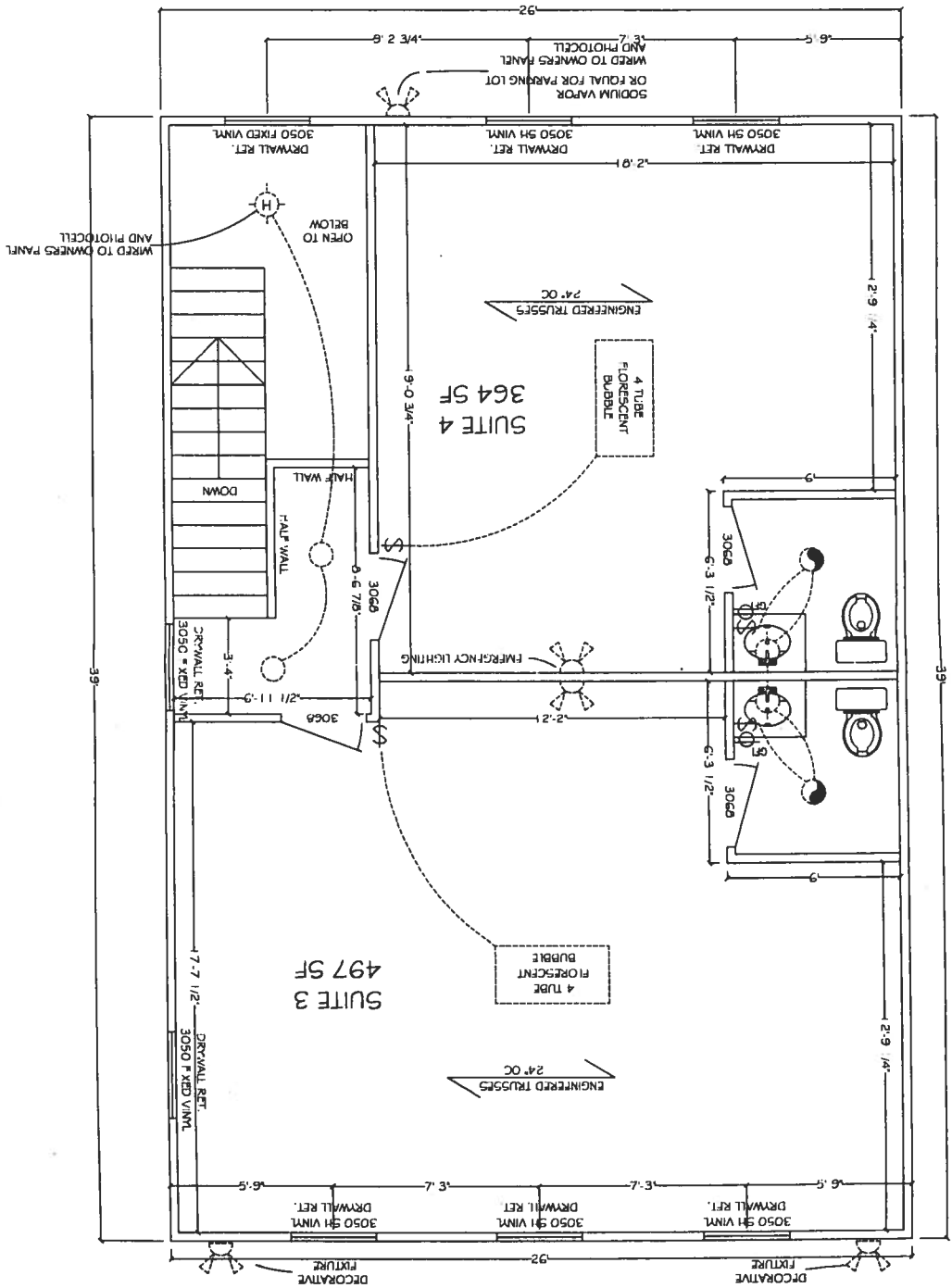


PINNACLE CONSTRUCTION CO.
 87-108
 (630) 661-1114 (FAX) (630) 631-4214

1ST FLOOR PLAN A



2ND FLOOR PLAN A

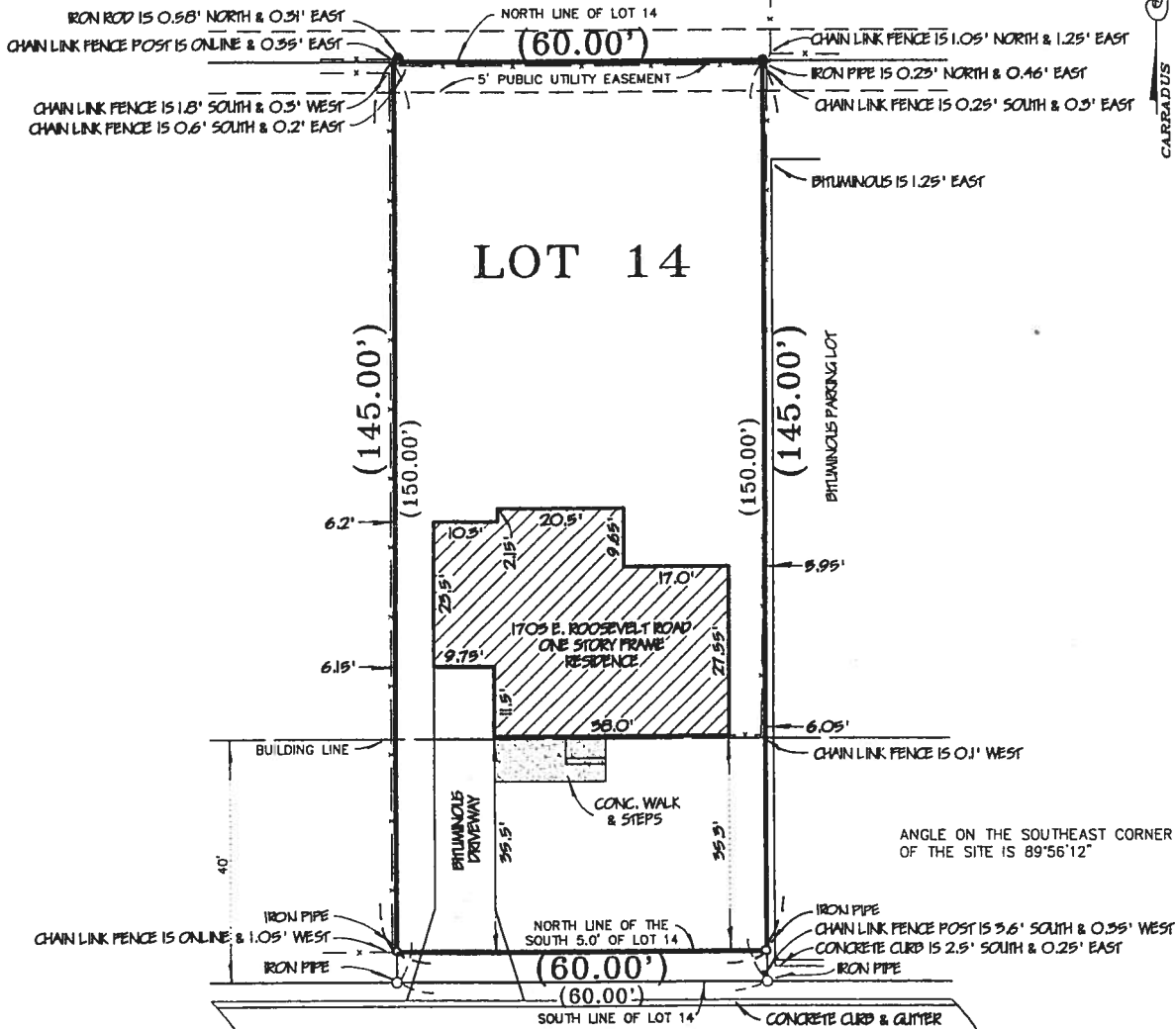


PLAT OF SURVEY

- LEGEND**
- Monumentation Found
 - Monumentation Set (PLS 35-2551)
 - (80') Record Dimension
 - Fence Line

LOT 14 (EXCEPT THE SOUTH 5 FEET TAKEN BY CONDEMNATION CASE 89ED14) IN BLOCK 21 IN ARTHUR T. MC INTOSH AND COMPANY'S LORRAINE ROAD SUBDIVISION, BEING A SUBDIVISION IN THE SOUTH HALF OF SECTION 15, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 1925 AS DOCUMENT 202765, AND CERTIFICATE OF CORRECTION FILED OCTOBER 29, 1927 AS DOCUMENT 245767, IN DU PAGE COUNTY, ILLINOIS.

CARRADUS



ROOSEVELT RD. (76' R/W)



NOTES

1. All distances shown hereon are in feet and decimal parts thereof corrected to 68° f. Distances shown along curved lines are Arc Measurements unless otherwise noted.
2. Compare the Legal Description, Building Lines, and Easements as shown hereon with your Deed, Title Insurance Policy or Title Commitment.
3. Consult local authorities for additional setbacks and restrictions not shown hereon.
4. Compare all survey points and report any discrepancies immediately.
5. Consult utility companies and municipalities prior to the start of any construction.
6. Dimensions to and along buildings are exterior foundation measurements.
7. Do Not Assume distances from scaled measurements made hereon.

STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT I, ALLEN D. CARRADUS, A PROFESSIONAL LAND SURVEYOR, LICENSED IN THE STATE OF ILLINOIS, HAVE SURVEYED THE PROPERTY AS DESCRIBED HEREON AND THAT THE ANNEXED PLAT IS A CORRECT AND TRUE REPRESENTATION THEREOF, AND THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

SIGNED AND SEALED AT WHEATON, ILLINOIS THIS 11th DAY OF April, A.D. 2005
BY Allen D. Carradus ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-2551.
MY LICENSE EXPIRES NOVEMBER 30, 2008

ALLEN D. CARRADUS AND ASSOCIATES
Land Surveying, Land Planning, & Engineering Services
108 W. Liberty Drive, Wheaton, Illinois 60187
(630) 588-0416 (Fax) 653-7682

PREPARED FOR: **HAAS & McLENNAN, ATTORNEY**

DATE: 04/11/05 SCALE: 1" = 20' FILE NO. - PAGE: 205-13 PROJECT NO. 15063