

ORDINANCE NO. F-1955

AN ORDINANCE AMENDING ORDINANCES E-3693 AND E-3770, "AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS THE EAST 220 FEET OF LOT 4 IN KEIM'S DANADA WEST LOOP RESUBDIVISION OF LOT 4 - ALDI'S, INC"

WHEREAS, on May 20, 1991, the City of Wheaton, Illinois ("City"), enacted City Ordinance No. E-3693 recorded on July 10, 1991, as Document No. R91-086754, at the DuPage County Recorder of Deeds Office, "AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS THE EAST 220 FEET OF LOT 4 IN KEIM'S DANADA WEST LOOP RESUBDIVISION OF LOT 4 - ALDI'S, INC" ("Original Ordinance"), authorizing the issuance of a special use permit for a planned unit development to allow the construction and use of a 14,860 square foot grocery store on the property legally described on Exhibit "A; and

WHEREAS, on February 18, 1992, the City of Wheaton, Illinois ("City"), enacted City Ordinance No. E-3770 recorded on March 6, 1992, as Document No. R92-039267, at the DuPage County Recorder of Deeds Office, "AN ORDINANCE AMENDING ORDINANCE F-3693, AN ORDINANCE AMENDING THE WHEATON ZONING ORDINANCE MAP AND GRANTING A SPECIAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT ON A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS THE EAST 220 FEET OF LOT 4 IN KEIM'S DANADA WEST LOOP RESUBDIVISION OF LOT 4 - ALDI'S, INC" ("First Ordinance"), which amended the site plan referred to in the Original Ordinance to allow a secondary customer access drive; and

WHEREAS, following the enactment of the First Amended Ordinance, an application has been made to further amend the site plan, engineering plan, landscape plan, building elevations and floor plan and signage plan referred to in the Original and Amended Ordinances to allow the construction and use of a 3,300 square foot addition and the reconstruction of the existing parking lot; and the City has determined that the requested amendment is a major change in substantial conformity with the final plan and may be implemented without public hearing, pursuant to the provisions of Article 5.11F of the Wheaton Zoning Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Wheaton, DuPage County, Illinois, pursuant to its home rule powers, as follows:

Section 1: An amendment to the Original and Amended Ordinances is hereby granted to allow the construction and use of a 3,300 square foot addition and the reconstruction of the existing parking lot; in substantial compliance with the plans entitled "Site Plan for Aldi Expansion", prepared by RWG Engineering, Wheaton, IL, dated June 10, 2016, "Final Engineering Plans for Aldi Expansion", prepared by RWG Engineering, Wheaton, IL, dated June 10, 2016, sheets 1-11, "Landscape Plan for Aldi Expansion", prepared by McCallum Associates, Libertyville, IL, dated June 13, 2016, "Building Elevations and Floor Plan for Aldi Expansion, prepared by APD Engineering and Architecture, PLLC, Victor, NY, dated June 8, 2016 and "Signage Plan for Aldi Expansion", prepared by Doyle General Sign Contractors, Addison, IL, dated May 20, 2016 and in further compliance with the following conditions, restrictions, and requirements:

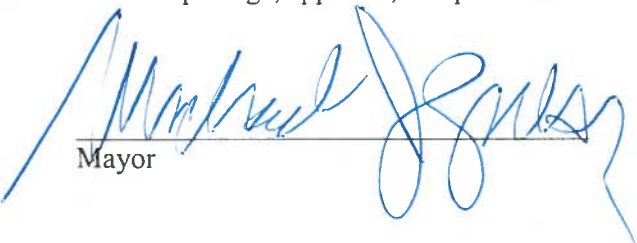
- (1) The monument sign, including the sign face, base and structure, shall not exceed seven feet (7') in height above ground level, and the total sign structure including the land berm, if provided there under, shall not exceed eleven feet (11') above the adjacent parking lot grade.
- (2) Each side of the monument sign face shall not exceed forty-eight (48) square feet.

- (3) The monument sign, excluding the sign face, shall be constructed with material generally similar to the material used for the exterior walls of the building identified thereon, which may or may not be masonry or stone, and shall have a maximum surface area equal to the allowable sign face size.

Section 2: In all other respects, the terms and provisions of the original ordinance are ratified and remain in full force and effect.

Section 3: All ordinances and parts of ordinances in conflict with these provisions are hereby repealed.

Section 4: This ordinance shall become effective after its passage, approval, and publication in pamphlet form in the manner prescribed by law.


Mayor

ATTEST:


City Clerk

Roll Call Vote

Ayes: Councilman Rutledge
Mayor Gresk
Councilman Saline
Councilman Scalzo
Councilman Suess
Councilwoman Fitch

Nays: None

Absent: Councilman Prendiville

Motion Carried Unanimously

Passed: August 1, 2016

Published: August 2, 2016

EXHIBIT "A"

LEGAL DESCRIPTION

LOT 1 IN ALDI INC RESUBDIVISION, BEING A RESUBDIVISION IN KEIM'S WEST LOOP ROAD, BEING A SUBDIVISION OF THE SOUTHWEST $\frac{1}{4}$ OF SECTION 28, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JULY 25, 2008, IN DUPAGE COUNTY, ILLINOIS.

PIN: 05-28-300-030

The subject property is commonly known as 20 West Loop Road, Wheaton, IL 60189.

SALTARY MANHOE
STORM MARINE

ABBREVIATIONS

C	CURB AND CUTHN	P1	FORM OF ANALYSIS
A	CATCH DASHI	M	SPLIT UP VERTICAL INTERSECTION
B	CLIFFHANGER	H	MADON'S

Know what's below.
Call before you dig.

LOCATION MAP

[illegible]

1. TITLE SHEET
2. FINISHING CONDITIONS/DEMOLITION PLAN
3. SITE GRADING AND PAVING PLAN
4. SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN
5. SESC SCHEDULE AND DETAILS
6. GRADING MODIFICATION PLAN
7. UTILITY MODIFICATION PLAN
8. PROJECT NOTES AND SPECIFICATIONS
9. PROJECT NOTES AND SPECIFICATIONS
10. SPECIAL SECTIONS AND DETAILS
11. CONSTRUCTION STANDARDS

$\text{P}_{\text{H}_2\text{O}} = \frac{\text{P}_{\text{H}_2} + \text{P}_{\text{H}_2\text{O}}}{2}$



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Engineering, LLC



ALDI INC. - STORE #24
WHEATON, ILLINOIS

EXISTING CONDITIONS AND DEMOLITION PLAN

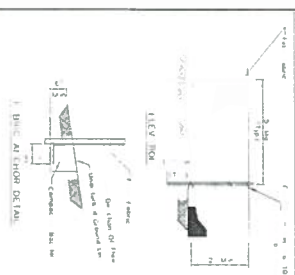
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 **ALDI INC. - STORE #24**
WHEATON, ILLINOIS
SOIL EROSION AND SEDIMENT CONTROL (SESC) PLAN

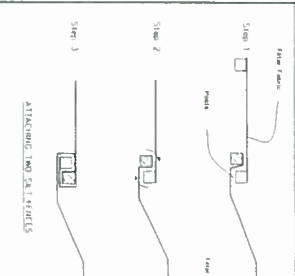
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1. **APPROXIMATELY 100,000** - the number of US (and foreign) students who study in the US.
2. **APPROXIMATELY 100,000** - the number of US (and foreign) students who study in the US.
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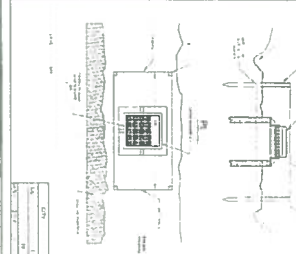
SALT FECE PL

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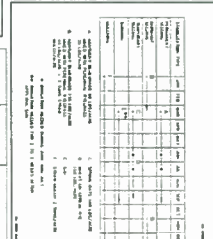
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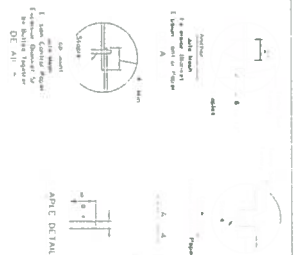
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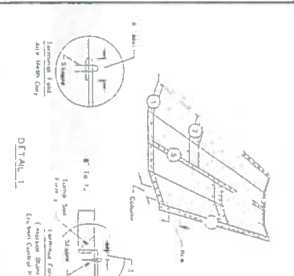
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SAMPLE GRADE _____ **TESTED BY** _____



ESL BLA IF P

[illegible]

N A11h A11h



Project Number	Date		
Project Name	Author		
Project Description	Institution		
Project Location	Project Status		

NPRC

National Personnel Records Center

Project Number

Project Name

Project Description

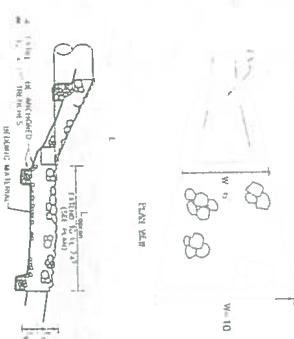
Project Location

Date

Author

Institution

Project Status



THE RIVER PARROT, SPANISH MULLET AND EFFECTIVE TURTLE CARRYING CAPACITY OF THE RIVER. CLASS 1, R. CHOM
E. RICHARDSON SHALL BE OF THE RIVER. CLASS 1, R. CHOM
TO OCEANICUS AND SPANISH MULLET



© COPYRIGHT 2016



DATE	REVISION

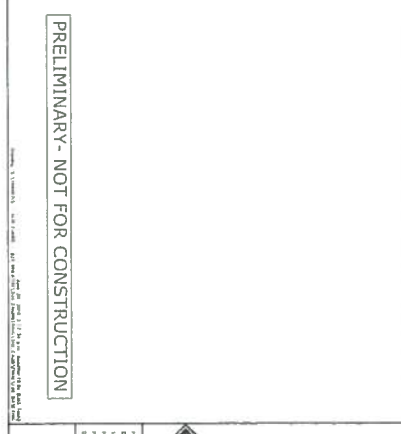
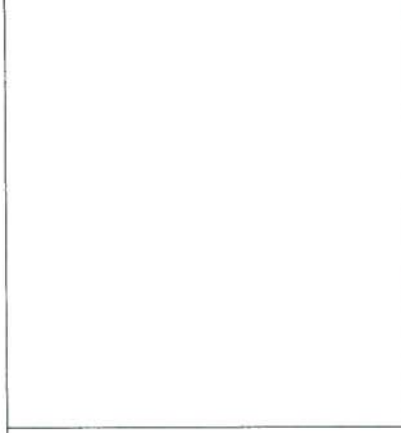
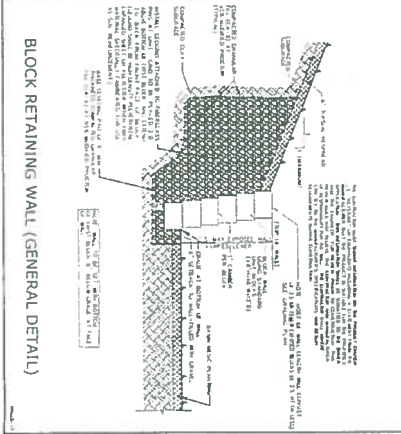
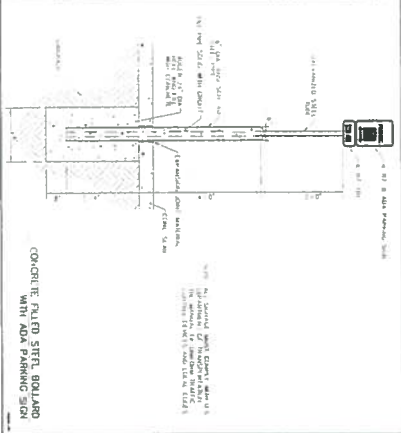
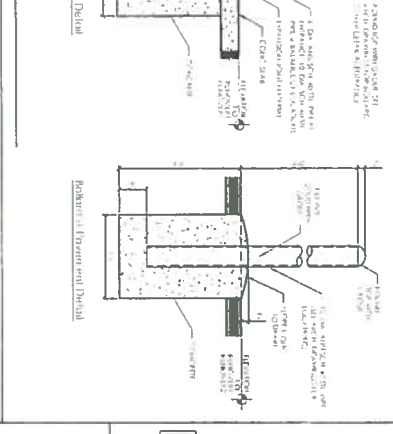
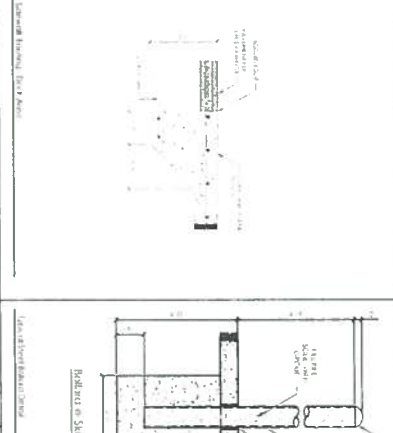
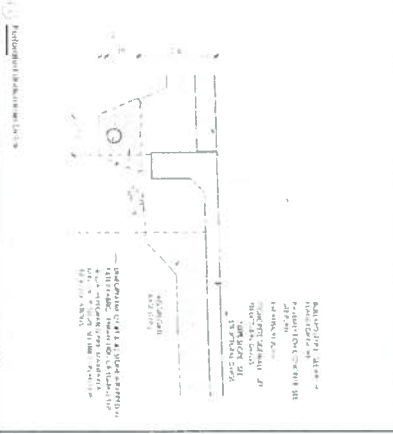
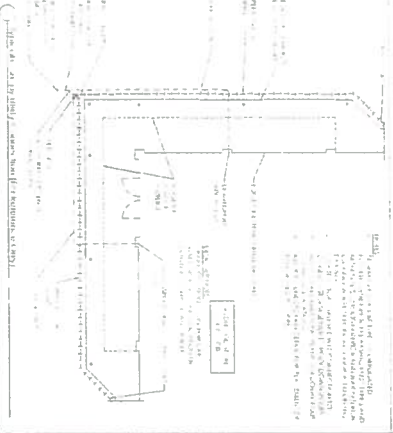
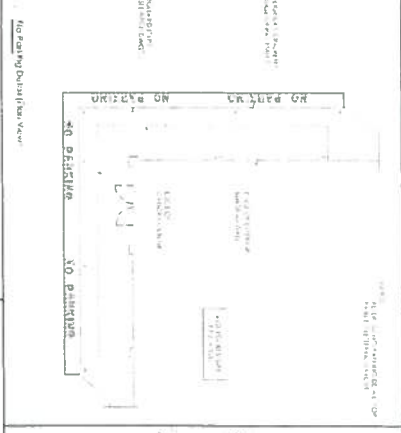
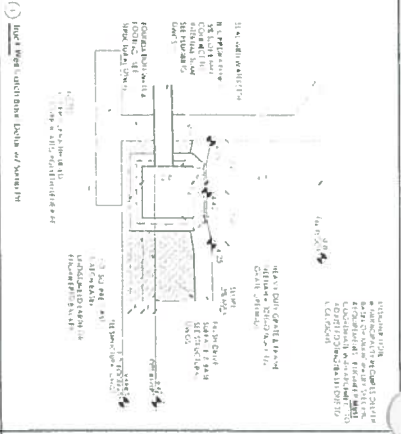
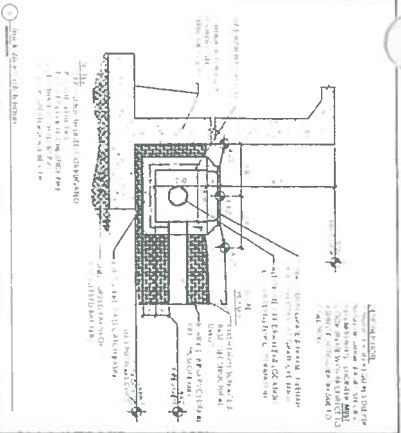
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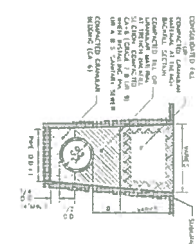
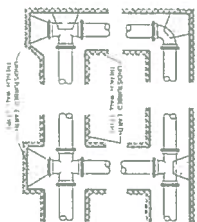
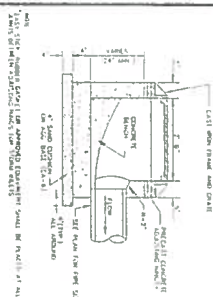
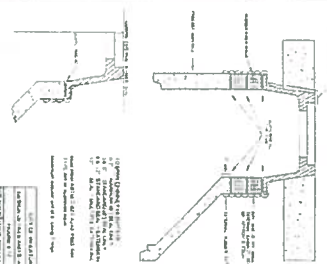
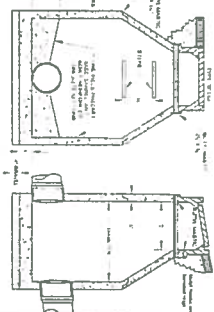
Abstract.—A review of the literature on community structure, with special emphasis on the role of the environment, is presented. The review is organized into three parts: (1) the role of the environment in community structure, (2) the role of the environment in community structure, and (3) the role of the environment in community structure. The review is organized into three parts: (1) the role of the environment in community structure, (2) the role of the environment in community structure, and (3) the role of the environment in community structure.

the likelihood of a life span of 100 years. For example, a 100-year-old male has a 95% chance of dying within the next 10 years, and a 100-year-old female has a 90% chance of dying within the next 10 years. The authors note that the probability of a 100-year-old male surviving for 10 years is 5%, and the probability of a 100-year-old female surviving for 10 years is 10%. The authors also note that the probability of a 100-year-old male surviving for 20 years is 1%, and the probability of a 100-year-old female surviving for 20 years is 2%.

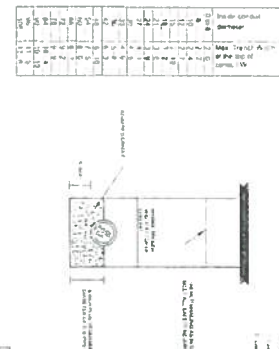
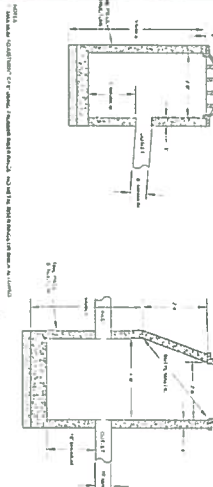
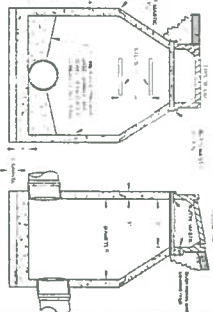
Figure 1. The use of antibodies to find and label individual neurons with *CaMKII α* and *CaMKII β* .



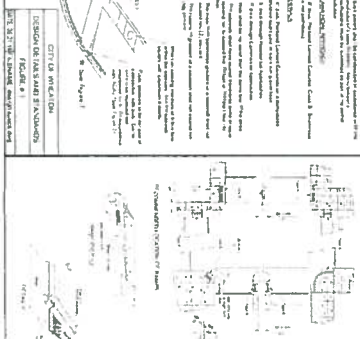
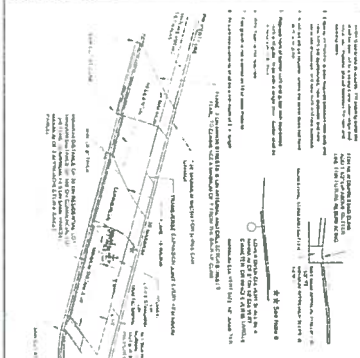
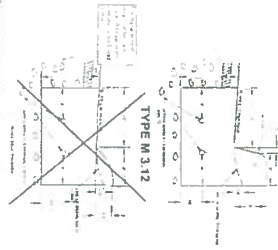
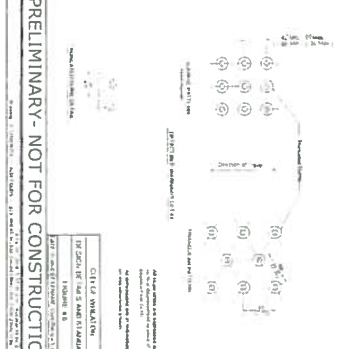
**SANITARY MANHOLE EXTERNAL
CHIMNEY SEAL**



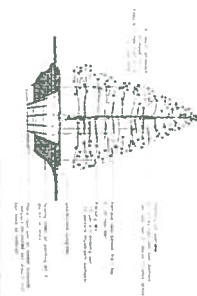
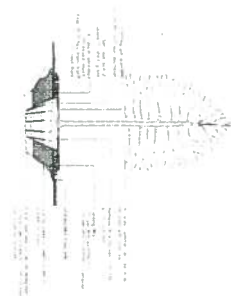
CATCH BASIN WITH FRAME AND GRATE FOR INLET



DRIVE APPROACH & SIDEWALK

CURB RAMPS FOR SIDEWALKS
IDOT STANDARD 424001-03

PRELIMINARY - NOT FOR CONSTRUCTION



Plant Schedule

Plant Name	Quantity	Notes
...	...	...

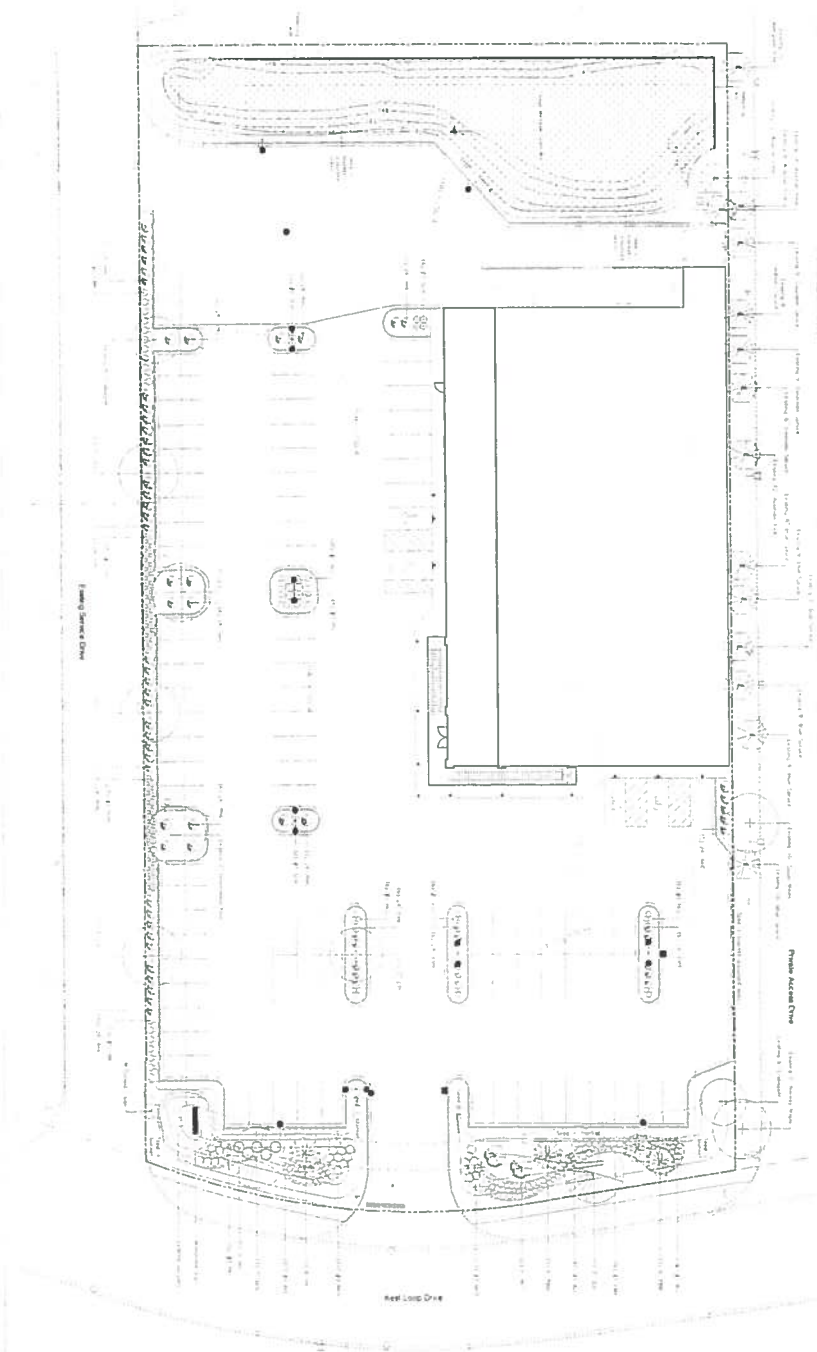
Plant Schedule

Plant Name	Quantity	Notes
...	...	...

McCALLUM

LANDSCAPE ARCHITECTS INC.

LANDSCAPE PLAN



Plant Schedule

Plant Name	Quantity	Notes
...	...	...

This architectural drawing shows the exterior elevation of the 'House of the Future'. The structure is a long, low-profile building with a flat roof. The left side features a series of vertical slats or louvers. The right side has a solid wall with a small, dark rectangular opening near the top. A small, dark rectangular object is visible on the ground in front of the building. The drawing is oriented vertically on the page.

[illegible]

This architectural drawing shows a side elevation of a building. It features a long, narrow facade with a series of rectangular windows. A central entrance area is highlighted with a different shading, and a small, dark, rectangular feature is visible on the right side of the facade.

Substrate	Quantity	So. in Pig Stock	Total
Chemical	3	1/4	1 1/4
Other Stock	2	1/4	1/2
Other Stock	2	1/4	1/2
Total Stock	7	3/4	2 1/4

NOTE: THE TOTAL STOCK IS 2 1/4 PIG STOCK.

Please note that the colors shown here are a graphical representation to show contrast is needed only. Due to the nature of electronic media, colors may vary depending on computer or printer used.

For review of original colors, a printed color board should be provided on a project specific basis.

SCHEDULE			
DISTRIBUTION	QUANTITY	SQ. FT. PER SQ. YD.	TOTAL
CONCRETE	3	14.9	149.5
REINFORCING IRON	2	28.1	76.2
TOTAL			225.7

Please note that the colors shown here are a graphical representation to show contrast in monochrome only. Due to the nature of electronic media, colors may vary depending on computer or printer used.

REPORT: STUDENT FOR REVIEW		DATE: 04/03/16
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2		
3		
4		
5		
6		
7		
8		
9		

Soil	Soil
PROJECT ARCHITECT/ENGINEER	

[illegible]

**APD ENGINEERING &
ARCHITECTURE, PLLC**

615 Fishers Run
Valley, NJ 14364

TEL: 423-2222
FAX: 423-2222
WWW.APD-ARCH.COM

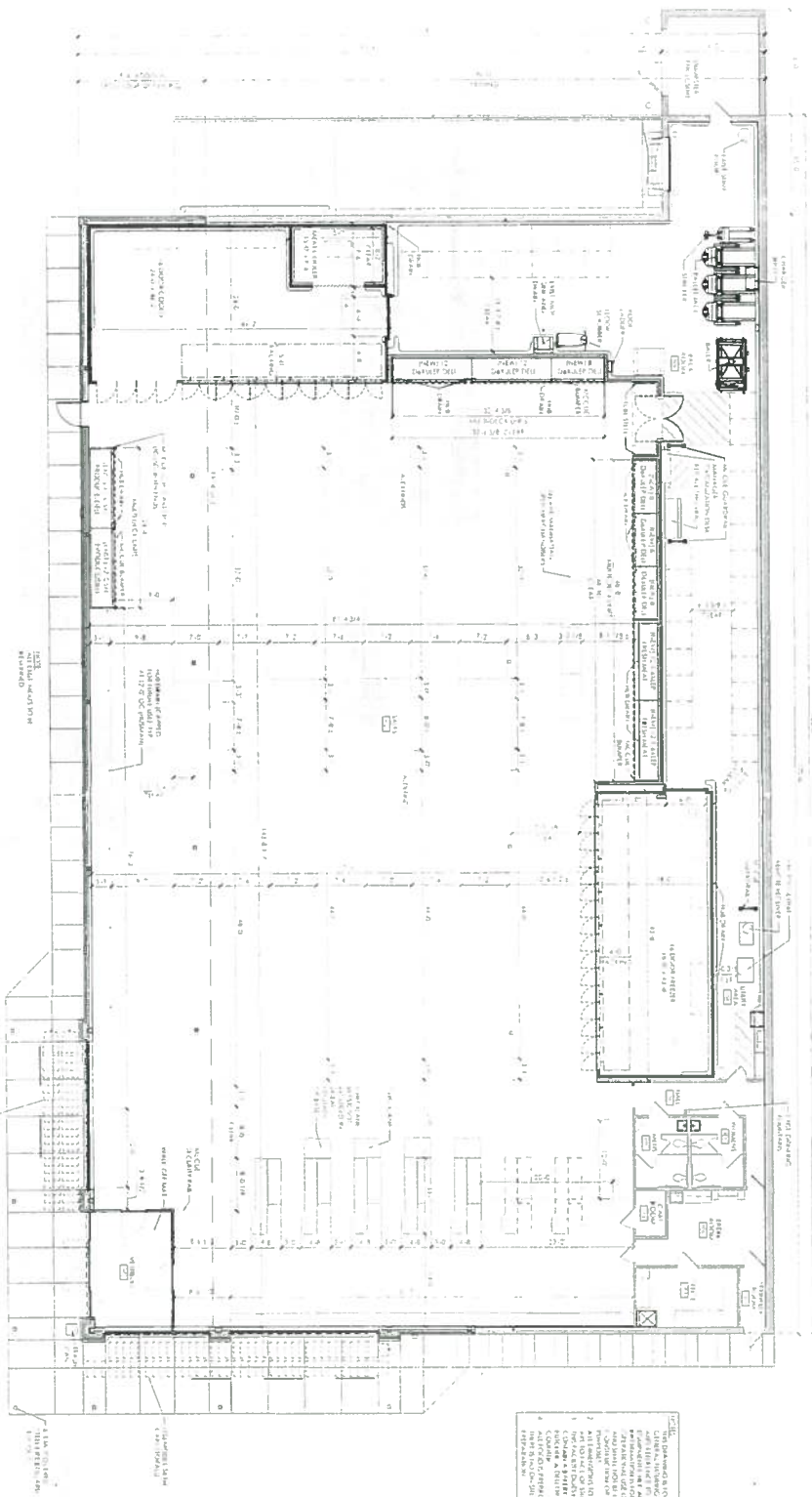


ALDI Inc.
1200 N. 9TH STREET
MILWAUKEE, WI 53233-3400
414.224.2200

ALDI Inc.	Store #. 24
Wheaton, IL	
20 W. Loop Rd	
Wheaton, IL 60189	
DuPage County	
Project Name & Location:	
Exterior Elevations Date: 06/08/16 Project No. Drawing Memo: 16-0214A	
Type: V1.07 Drawn By: BILB Scale: As Noted Drawing No.	CEE-2

REV	DATE	BY	CHKD	DESCRIPTION
1	06/15/16	ACN		ISSUED FOR PERMIT
2	06/15/16	ACN		REVISED PER CITY COMMENTS
3	06/15/16	ACN		REVISED PER CITY COMMENTS
4	06/15/16	ACN		REVISED PER CITY COMMENTS
5	06/15/16	ACN		REVISED PER CITY COMMENTS
6	06/15/16	ACN		REVISED PER CITY COMMENTS
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20	06/15/16	ACN		REVISED PER CITY COMMENTS

REV	DATE	BY	CHKD	DESCRIPTION
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19	06/15/16	ACN		REVISED PER CITY COMMENTS
20	06/15/16	ACN		REVISED PER CITY COMMENTS



1 Operations Plan

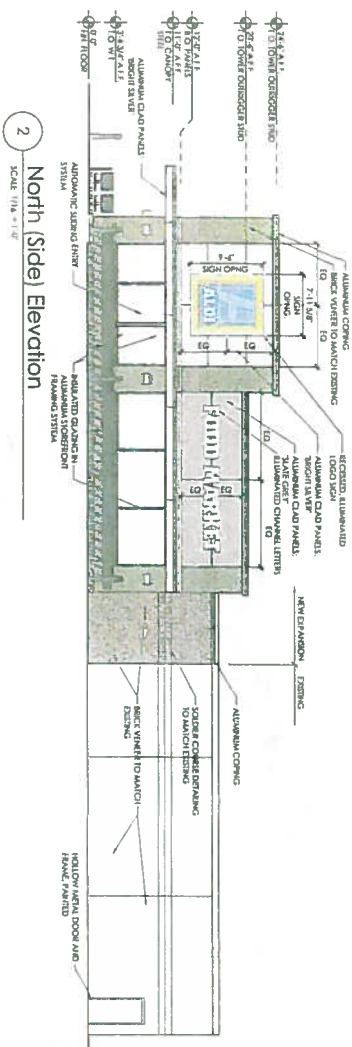


1. ALL DIMENSIONS ARE IN FEET AND INCHES.
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APD ENGINEERING & ARCHITECTURE, PLLC 1501 N. LAKE STREET CHICAGO, IL 60610 TEL: 312.555.1234 FAX: 312.555.1235 WWW.APD-ENGINEERING.COM	ALDI Inc. Store #: 24 Winneton, IL 20 W. Loop Rd Winneton, IL 60189 DuPage County Project Name & Location	Operations Plan Drawing Name Date: 06/15/16 Type: V107 Drawn By: ACN Scale: As Noted	Project No: 16-0214A Sheet No: A-131
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4 East (Front) Elevation
SCALE: 1/8" = 1'-0"



2 North (Side) Elevation
SCALE: 1/8" = 1'-0"

DOYLE
GENERAL SIGN CONTRACTORS
223 WINTERGATE RD. PO BOX 1088
ANDERSON, IL 60910
609.643.5160
FAX 609.643.4829

DATE	REVISION
5.24.16	ADDED ARCHITECT SIGN
5.24.16	ADDED ARCHITECT SIGN
5.24.16	ADDED ARCHITECT SIGN
5.24.16	ADDED ARCHITECT SIGN
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5.24.16	ADDED ARCHITECT SIGN

CUSTOMER APPROVAL	DATE
The design is the original and copyrighted work of Doyle General Sign Contractors. It is to be used only for the project and location specified. Any reproduction or use of this design without the expressed written consent from an authorized officer of The Company. The rights to this design may be purchased.	

CLIENT	ALDI
ADDRESS	20 W. LOOP RD.
CITY	WHEATON
STATE	IL
DESIGNER	KM
SALESPERSON	TD
DRIVE, IN.	15187
SCALE	NOTED
DATE	05.20.2016
SHEET NO.	1
2-Design/ALDI WHEATON IL - W. LOOP RD/ALDI - WHEATON IL - W LOOP RD.cdr	

19'-0"

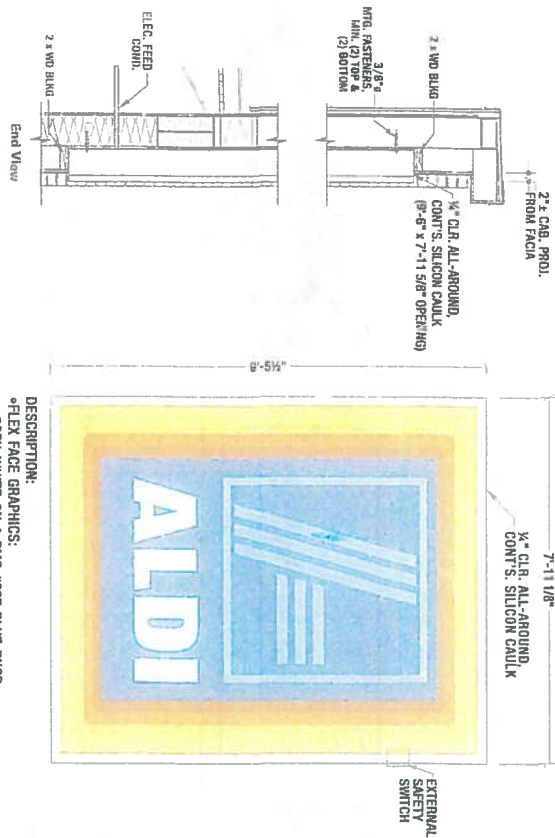
IFOOD MARKET

L.E.D. Illum'd. Flush Mount Channel Letters

SCALE: 3/8"=1'-0"

TWO(2) SET REQ'D.

- WHITE PLEX FACES, BLACK TRIM CAP & BLACK PTD.
- ALUM. CHANNEL (RETURNS)
- WHITE L.E.D. ILLUM.



DESCRIPTION:

- FLEX FACE GRAPHICS:
- COPY, WHITE ON A PMS #287 BLUE BKGD.
- LOGO, PMS #295 LT. BLUE
- OUTER BORDER, PMS #1235 YELLOW
- CENTER BORDER, PMS #151 ORANGE
- INNER BORDER, PMS #172 RED
- ALUMINUM CABINET & MOUNTING.
- "SLATE GRAY" ENAMEL FIN.

Standard 'Flex-Face' Illum'd. Mail Sign

TWO(2) req'd.

Scale: 3/8"=1'-0"

COLOR LEGEND

PMS#638CVC

PMS#287CVC

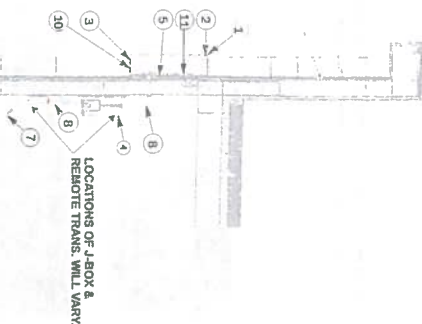
PANTONE WARM RED

PMS#021CVC

PMS #1235CVC

1. 1" TRIM CAP
2. 3/16" PLEX FACES
3. .040 ALUM. RETURNS
4. REMOTE TRANSFORMER, CLASS II 12V. W/ ENCLOSURE
5. .063 ALUMINUM BACK
6. MOUNTING ANCHORS
7. 120V PRIMARY, No.12 THHN STRANDED WIRE
8. FLEXIBLE, W.P., CONDUIT PER LOCAL CODE
9. SAFETY SWITCH, PER LOCAL CODE
10. 1/4" DRAIN HOLE
11. L.E.D. MODULE

ALL SIGN COMPONENTS SHALL COMPLY WITH
ANSI Z39.1-1998 STANDARD FOR SAFETY LABELS



GENERAL SIGN CONTRACTORS
230 W. 10th St. Ste. 100
ADAMSON, A. 50101
DOB 04/04/2000
FAX 04/04/2000

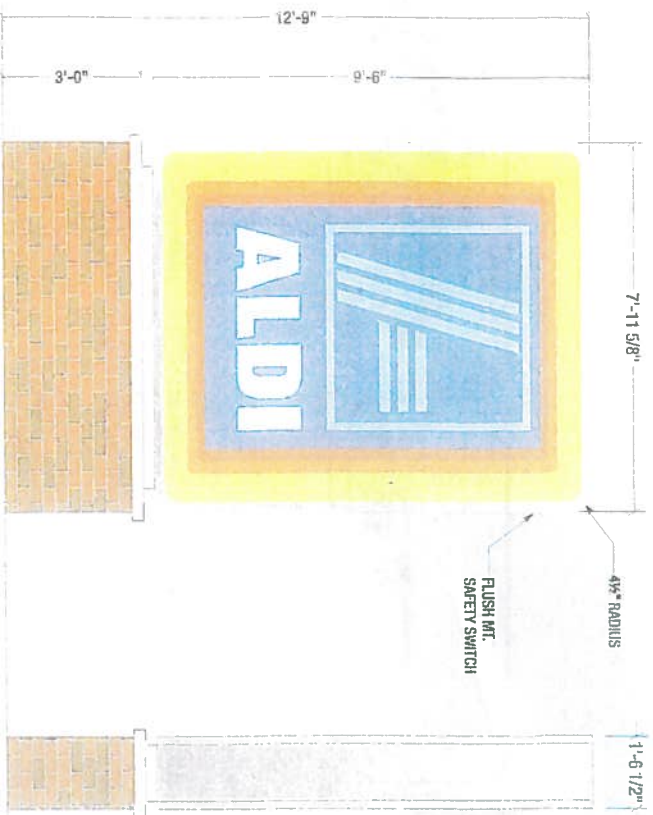
DATE	REVISION
04/04/2000	ADAMSON, A. 50101
04/04/2000	DOB 04/04/2000
04/04/2000	FAX 04/04/2000

CUSTOMER APPROVAL

The undersigned hereby approves and authorizes the work of the undersigned to be performed by the undersigned and/or its employees and/or subcontractors in any fashion without the expressed written consent from an authorized officer of the Company. The rights to this design may be purchased.

CLIENT	ADDRESS	CITY	STATE	DESIGNER	DATE	SHEET NO.	TD
ALDI	20 W. LOOP RD.	WHEATON	IL	KM	06.20.2016	3	

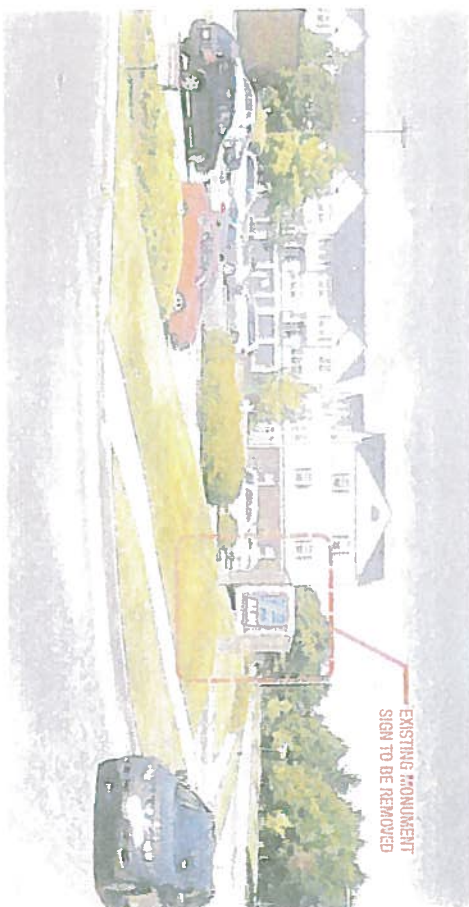
2-10designWALDWHEATON IL - W. LOOP RD. ALDI - WHEATON IL - W. LOOP RD. cdf



DOUBLE SIDED, INTERNALLY ILLUMINATED MONUMENT DISPLAY
SCALE: 3/8" = 1'

- DOUBLE SIDED SIGN CABINET & RETAINERS PAINTED SLATE GREY
- FLEX FACES w/ FRST SURFACE VINYL GRAPHICS
- WHITE L.E.D. ILLUMINATION
- MOUNTED ON STL. SUPPORT IN NEW CONCRETE FOUNDATION

- PM5K38CVC
- PM5P27CVC
- PANTONE WARM RED
- PM5P02CVC
- PM5 #123CVC
- 3M #3630-51 SILVER GREY
- BACKGROUND



GENERAL SIGN CONTRACTORS
222 WEST 10TH AVE
MILWAUKEE, WI 53233
414.224.4140
414.224.4141

DATE	REVISION
5.24.16	ADDED MOUNTING SIGN
6.1.16	UPDATED MOUNTING SIGN
6.8.16	POWER DISCONNECT SWITCH ON MOUNTING
6.17.16	MONUMENT MOUNTING SIGN LOCATION

CUSTOMER APPROVAL	DATE
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CLIENT	ALDI
ADDRESS	20 W. LOOP RD.
CITY	WHEATON
DRIVE, NO.	15187
STATE	IL
SCALE	NOTED
DATE	05.20.2016
DESIGNER	KM
SALESPERSON	TD
SHEET NO.	4