

ORDINANCE NO. F-1656

AN ORDINANCE GRANTING A PLANNED UNIT DEVELOPMENT (PUD) ALLOWING THE CONSTRUCTION OF A NEW WALGREENS DRUG STORE WITH A DRIVE-THRU AND AN ELECTRONIC MESSAGE BOARD AT 2191 WEST ROOSEVELT ROAD - WALGREENS

WHEREAS, written application has been to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a planned unit development (PUD) allowing the construction of a new Walgreens drug store with a drive-thru and an electronic message board at 2191 West Roosevelt Road, all on the property legally described herein within the city limits of Wheaton, Illinois, ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 19, 2012 to consider the issuance of the PUD; and the Board has recommended the issuance of the PUD; and

NOW, THEREFORE, BE IT ORDAINED by the Wheaton City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

PARCEL 1: LOT 1 IN BURGER KING PLAT OF CONSOLIDATION, BEING A SUBDIVISION OF PART OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1989 AS DOCUMENT NUMBER R89-27313, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-036

Section 2: The following described property shall be rezoned from the R-1 Residential District to the C-5 Planned Commercial District zoning classification:

PARCEL 2: LOT 9 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-009

PARCEL 3: THAT PART OF KNOLL STREET (AKA KNOLLWOOD STREET) LYING SOUTHERLY OF THE WESTERLY EXTENSION OF THE NORTH LINE OF LOT 9, AND LYING NORTHERLY OF THE WESTERLY EXTENSION OF THE SOUTH LINE OF LOT 9, AND LYING EASTERLY OF A LINE WHICH IS 38 FEET WESTERLY (AND PARALLEL THERETO) OF THE WEST LINE OF LOT 9 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

The subject property is commonly known as 2191 West Roosevelt Road, Wheaton, IL 60187.

Section 3: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit for a PUD is hereby issued on the subject property to allow the construction of a 14,800 square foot drug store with a single drive-thru service lane and an electronic message board, in full compliance with the plans entitled "Site Plan, Floor Plan, Elevations", Sheets 1-5, prepared by Hirsch Associates LLC, Chicago, IL, dated June 8, 2012; "Landscape Plan", Sheets L-1.0 and LT-1.0, prepared by Daniel Weinbach and Partners LTD, Chicago, IL, dated April 17, 2012 and revised June 11, 2012; "Preliminary Engineering Plans", Sheets C1-C4 and C6-C11, prepared by Manhard Consulting LTD, Vernon Hills, IL, dated April 11, 2012; "Final Plat of Consolidation", Sheets 1-2, prepared by Manhard Consulting LTD, Vernon Hills, IL, dated April 13, 2012; "Signage Plan", Sheets 1-2 and 2A, prepared by Hirsch Associates LLC, Chicago, IL, dated June 18, 2012; and in further compliance with the following conditions, restrictions, and requirements:

1. Prior to issuance of a certificate of occupancy, the applicant shall submit a report to the City outlining what environmentally friendly practices were incorporated into the demolition and construction of the project;
2. The landscape plan shall be revised to include more shrubs in lieu of perennials along Roosevelt Road, some shade or ornamental trees along Roosevelt Road and planters at the front entrance of the building and shall be subject to the approval of the Director of Planning and Economic Development;
3. Prior to issuance of a site development permit, the applicant shall submit a lighting plan that complies with the requirements of the Wheaton Zoning Ordinance;
4. The applicant shall submit a revised Plat of Consolidation with stormwater management and utility easements, as determined by the Director of Engineering;
5. The applicant shall submit a revised cross access covenant approved by the owners of the benefiting properties. The cross access covenant shall meet the reasonable approval of the City Attorney;
6. The applicant shall enter into a Fire Lane Designation and Enforcement Agreement with the City attached hereto as Exhibit "A"; and
7. The applicant shall maintain all landscaping and plantings on the subject property so that the number, quality, and type of landscaping shall not be less than that which is illustrated on the approved landscape plan.

Section 4: The following described property shall have an easement for detention/ compensatory storage for the subject property and shall be subject to the approval of the Director of Engineering:

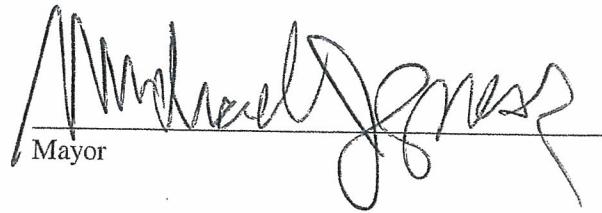
LOT 6 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-006

Section 5: In all other respects, the terms and conditions of the original ordinance are ratified and remain in full force and effect.

Section 6: All ordinances or parts of ordinances in conflict with these provisions are repealed.

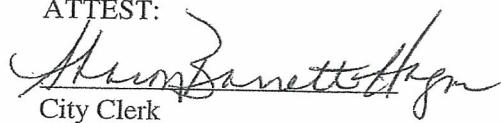
Section 7: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Michael Gresk

Mayor

ATTEST:



Maryannette Hogan

City Clerk

Roll Call Vote:

Ayes:	Councilwoman Ives Councilman Mouhelis Councilman Rutledge Mayor Gresk Councilwoman Pacino Sanguinetti Councilman Scalzo Councilman Suess
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Nays:	None
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Absent:	None
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Motion Carried Unanimously

Passed: August 6, 2012
Published: August 7, 2012

EXHIBIT "A"

FIRE LANE DESIGNATION AND ENFORCEMENT AGREEMENT

THIS AGREEMENT is made and entered into this _____ day of _____ 2008, by and between the City of Wheaton, an Illinois Municipal Corporation, 303 W. Wesley Street, Wheaton, Illinois 60189 (hereinafter referred to as "CITY") and _____ (hereinafter referred to as "OWNER(S)'), OWNER(S) of the property located at _____, within the corporate limits of the City of Wheaton, Illinois (hereinafter referred to as "Subject Property"), and which is legally described below:

(INSERT LEGAL(S) AND P.I.N(S))

RECITALS

WHEREAS, the OWNER(S) desire to establish Fire Lanes upon the Subject Property to improve the health and safety of the citizens of Wheaton; and

WHEREAS, the CITY believes that it is in the best interests of the public health and safety that Fire Lanes be established, maintained and enforced upon the Subject Property.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, the OWNER(S) and CITY agree to the following in regards to the Subject Property:

1. The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S), shall identify the specific Fire Lane locations within the Subject Property which shall, pursuant to the terms of this Agreement and Ordinance No. _____ be regulated. The specific locations of the Fire Lane(s) to be enforced shall be as set forth on the Site Plan ("Plan") attached hereto and fully incorporated into this Agreement as Exhibit " ". The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S) or designated representative may from time to time mutually agree to amend the Fire Lane(s) location(s) as set forth in the Site Plan. At such time, the Site Plan shall be amended and appended to this Agreement as an Amended Exhibit " ".

2. The OWNER(S) are responsible for providing any required pavement markings.

3. The OWNER(S), at their sole expense, shall be responsible for obtaining, erecting and maintaining the appropriate signage in accordance with applicable CITY and State of Illinois regulations and specifications.

4. The CITY shall inspect and approve the signage prior to entering into this Agreement. The CITY Fire Chief, Chief of Police or their designated representative may require additional signage and/or pavement markings, if it is later determined that the inspected and approved signage does not provide adequate notification of the established fire lanes.

5. Upon execution of this Agreement, the CITY will enforce the Fire Lane parking and standing prohibitions and the Fire Lane maintenance requirements contained in Sections 70-355 and 30-2 of the Wheaton City Code in regards to the Subject Property. No "special duty" to third persons shall be imposed by this Agreement. The CITY's enforcement obligation shall be legally the same as it is with all other ordinances.

6. This Agreement may be terminated by either party by providing not less than thirty (30) days notice to the other party of the intention to terminate this Agreement.

7. This Agreement shall be assignable by OWNER(S) to their successors in interest upon the sale or lease of the Subject Property.

8. The OWNER(S) hereby agrees to release and hold harmless, indemnify and defend (including the payment of all costs and attorneys' fees) the CITY, its Officers, Agents and Employees, in connection with any and all actions or claims for any loss, damage, personal injury or death occurring as a consequence of the performance of this Agreement.

9. The sole remedy available to the OWNER(S), upon any breach of this Agreement by the CITY, shall be the termination of the Agreement. It is of the essence of this Agreement that the CITY shall not be liable in money damage for any breach of this Agreement.

10. Whenever notice to the CITY is required, it shall be addressed to:

City Clerk
City of Wheaton
303 West Wesley Street
Wheaton, IL 60189-0727

Whenever notice to the Owner is required, it shall be addressed to:

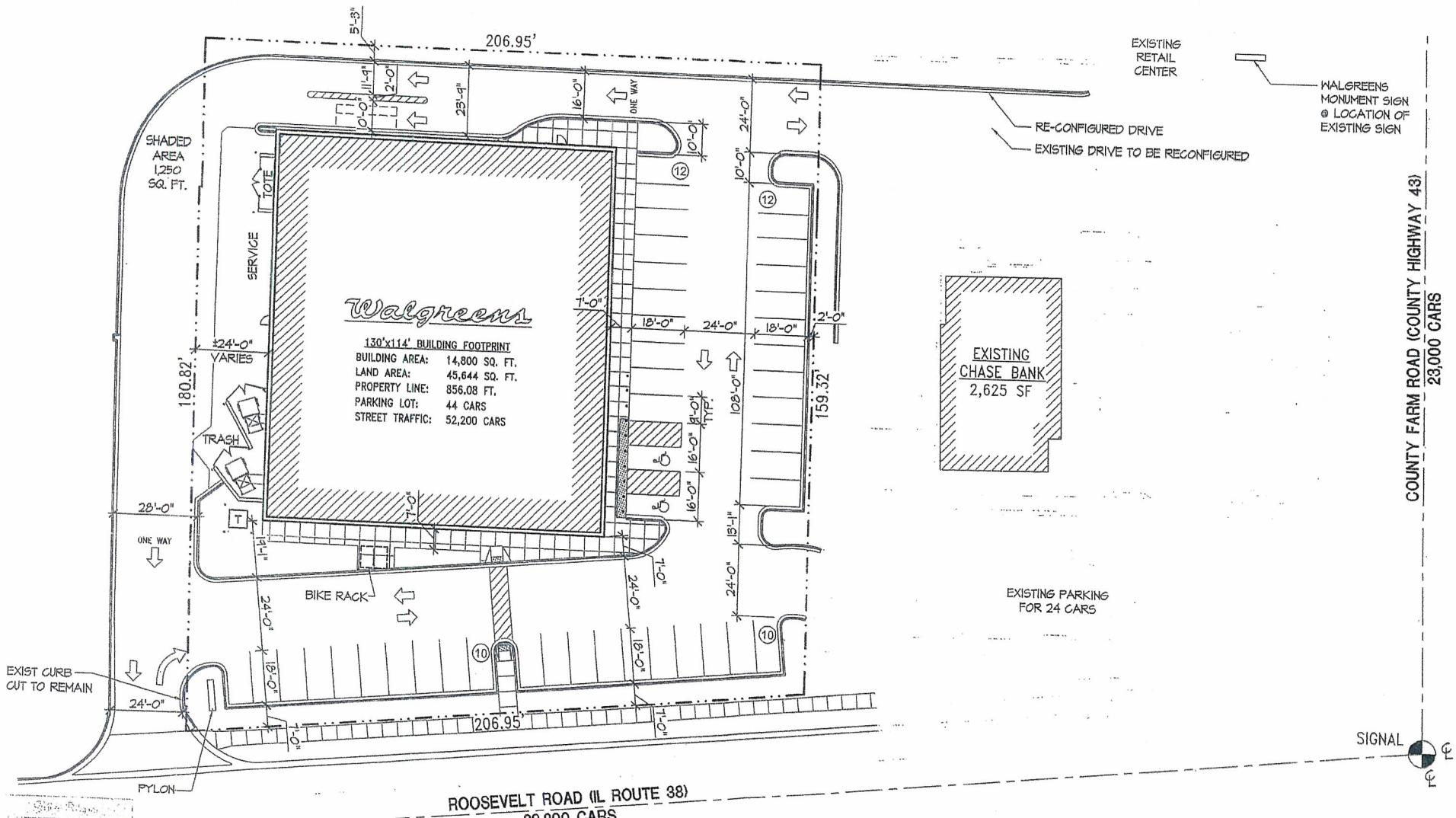
IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: _____ ATTEST: _____
City Manager City Clerk

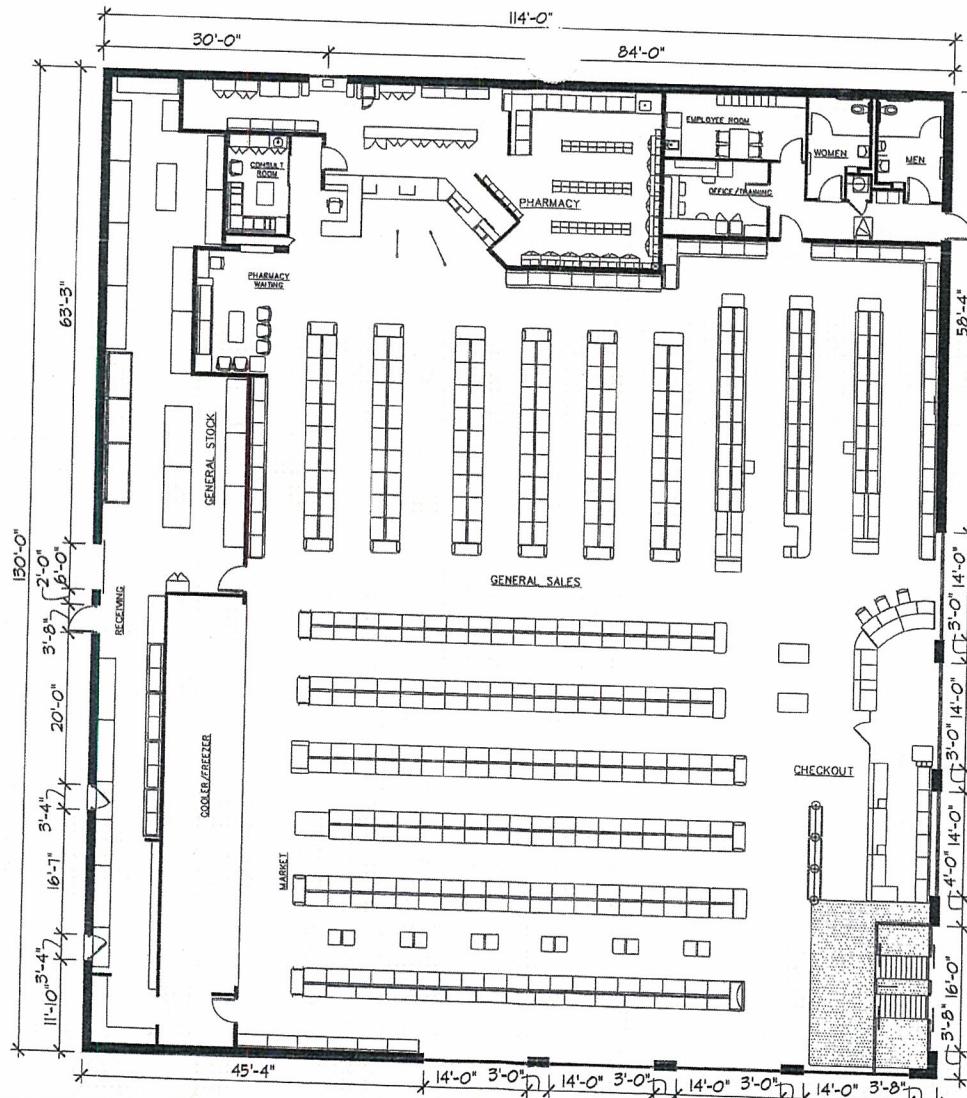
BY: _____ ATTEST: _____

BY: _____ ATTEST: _____



Hirsch Associates LLC
Architecture + Planning





A Floor Plan

Centrum Partners

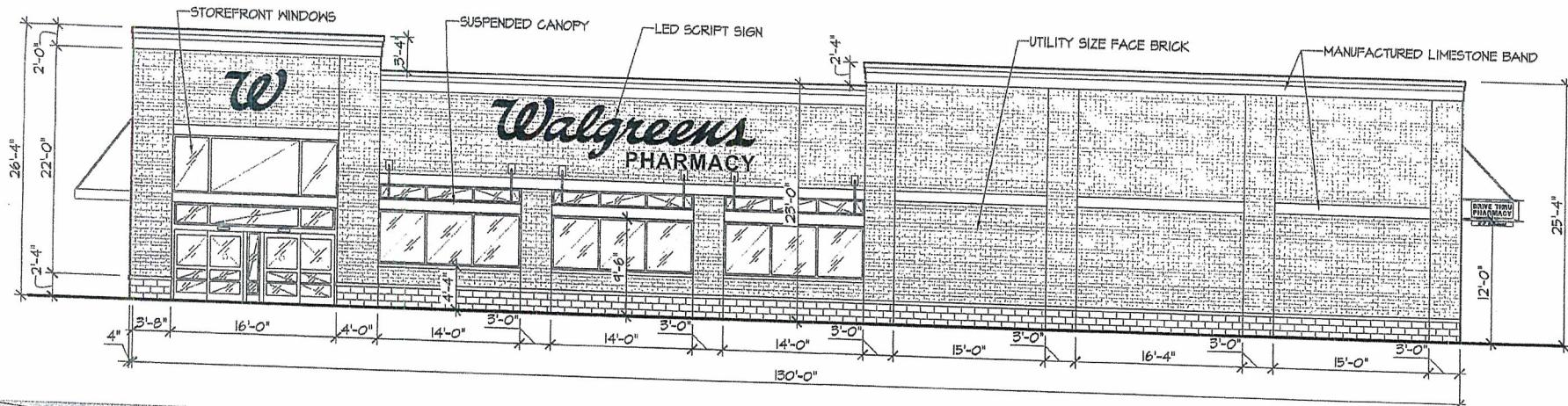
Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 20, 2012
10006
JSD

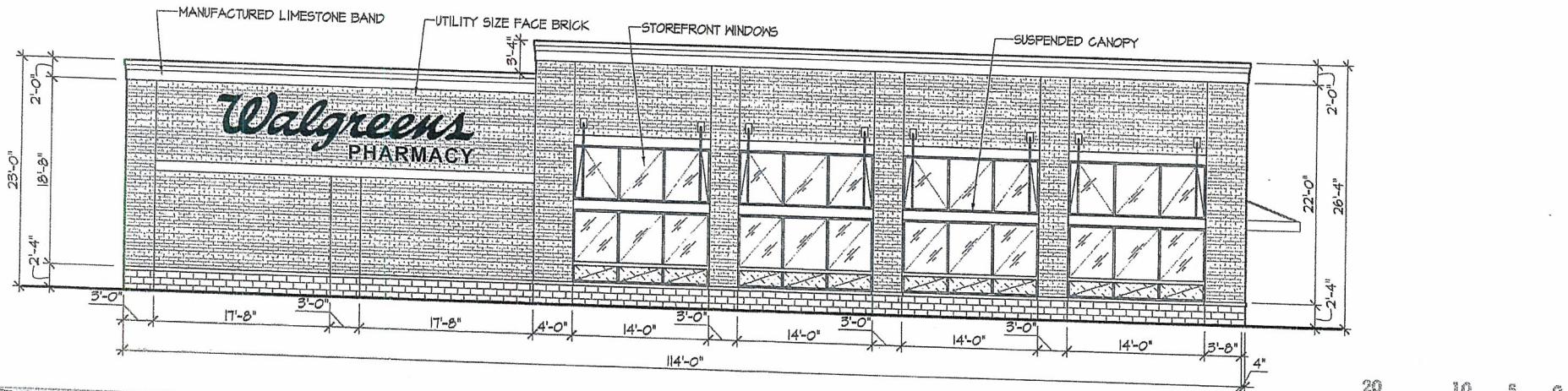
Hirsch Associates LLC
Architecture + Planning

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R. E. Associates, Inc.



A South Elgin

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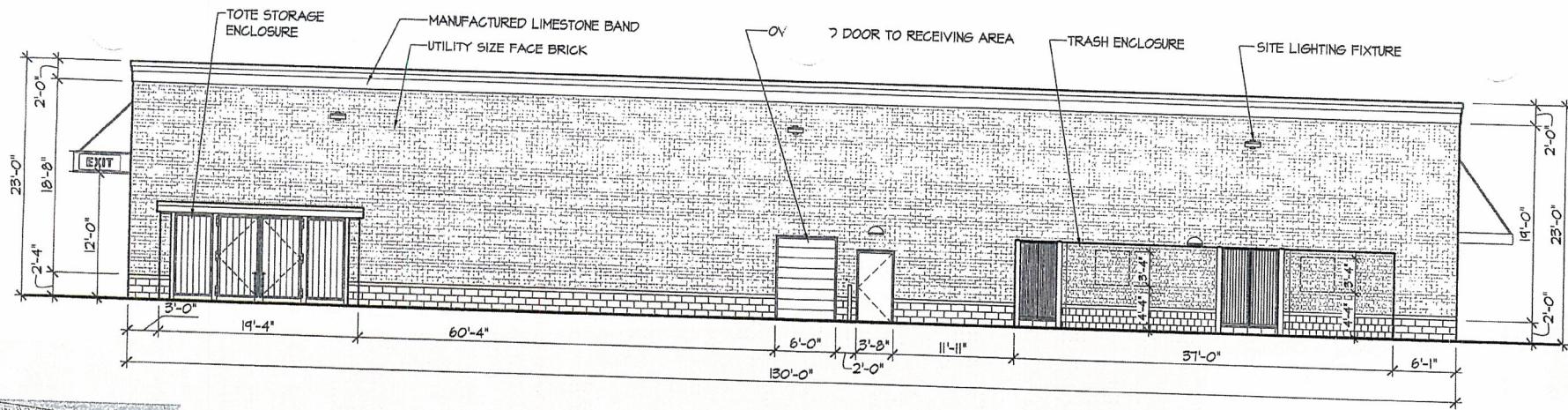
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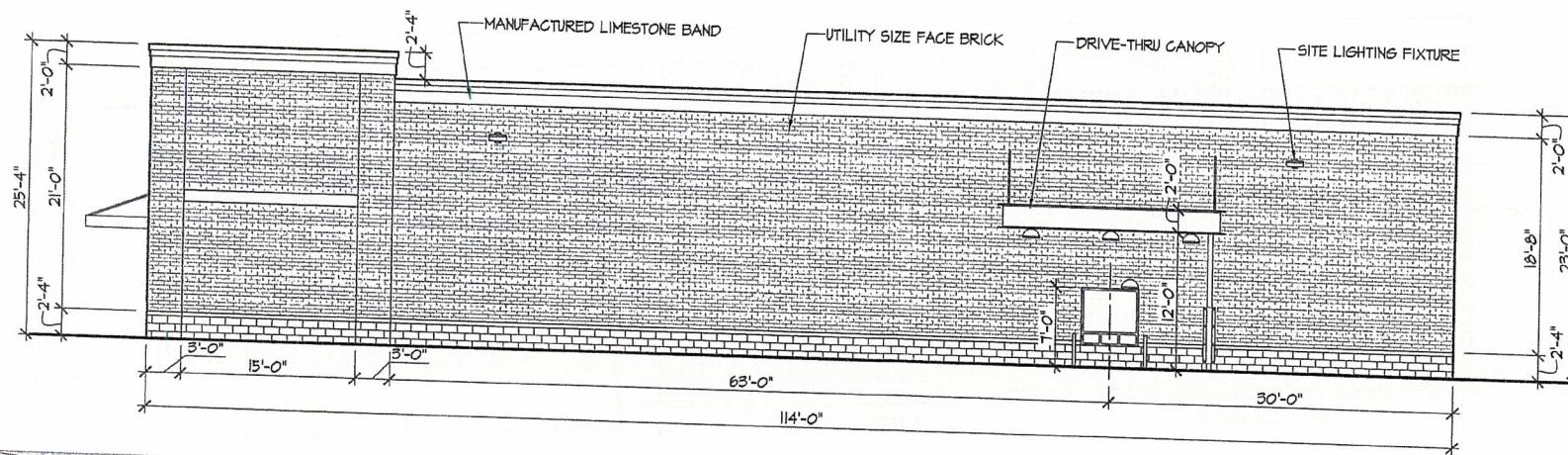
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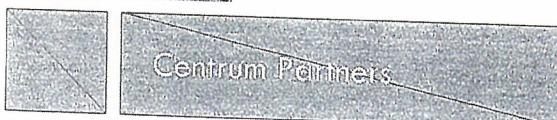
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A. West Elevation



A. North Elevation

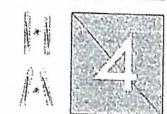


Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 29, 2012
10006
JSD

Virgil Associates LLC
Architecture + Planning

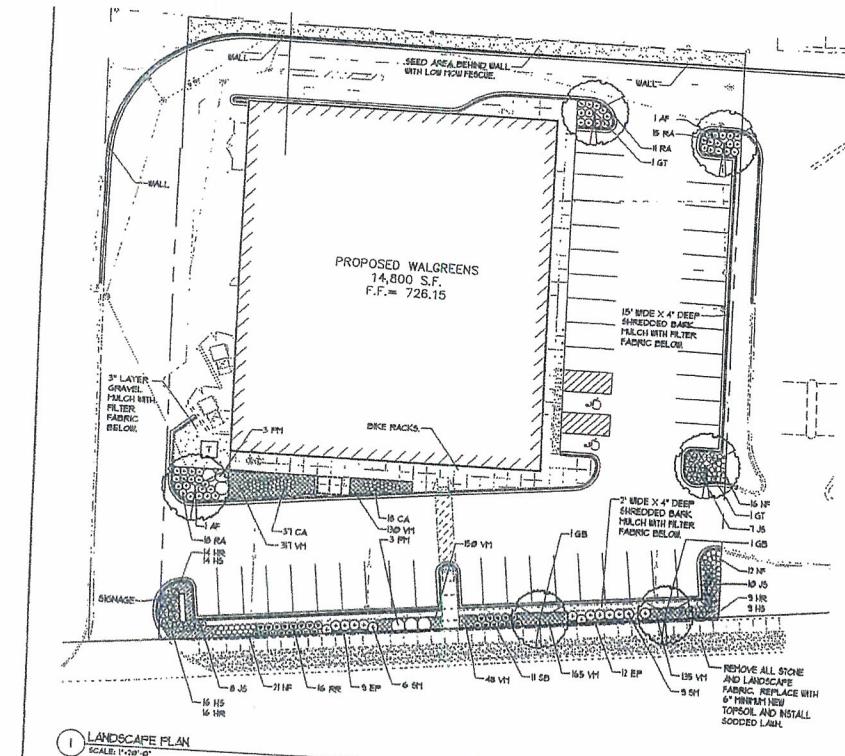
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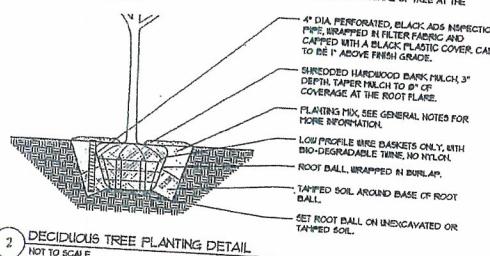
A Rendering Looking Northwest

Centrum Partners	Preliminary Design Roosevelt Road & County Farm Road Wheaton, Illinois	April 20, 2012 10006 JSD	Hirsch Associates LLC Architecture + Planning	5
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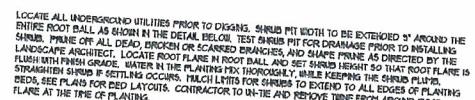


1 LANDSCAPE PLAN

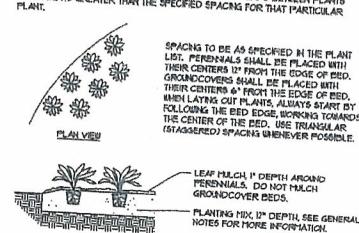
LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGINS. TREE PIT WIDTH TO BE EXTENDED UP AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE BELOW. TEST TREE PIT FOR DRAINAGE PROBLEMS PRIOR TO BURSTING THE TRUNK ON ALL DEAD, BROKEN OR SCARRED PLACES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12" HEIGHT, REMOVE APPROXIMATELY 55-70% OF THE OVERALL BRANCHING. LOCATE THE PITH IN ROOT BALL AND THEN SET THREE 50# BAGS OF SOIL IN THE PITH. PLANE IS FLUSH WITH FIRST GRADE. WATER IN THE PITHING THOROUGHLY, WHILE KEEPING THE TREE PLANTING FLARE IN PLACE UNTIL SETTING OCCURS. CONTRACTOR TO IN-UNITS AND REMOVE TIME FROM AROUND ROOT FLARE OF PLANTING FLARE END OF THE WARRANTY PERIOD.



2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



3 SHRUB PLANTING DETAIL
NOT TO SCALE



4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

PLANT LIST		COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
CODE	BOTANICAL NAME					
	DECIDUOUS TREES - SINGLE STEM					
AF	ACER X FREMONTII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	3" CAL	DIB	2	BRANCHED UP 6'
GS	GIGGIO BILBAO 'MILE ONLY'	GIGGIO TREE	3" CAL	DIB	2	BRANCHED UP 6'
GT	GLEDITIA TRACANTHOS 'NIRMI'S 'SCYLINE'	SKYLIN HONEYLOCUST	3" CAL	DIB	2	BRANCHED UP 6'
	DECIDUOUS AND EVERGREEN SHRUBS					
J5	AMERUS SABINA 'BUFFALO'	BUFFALO JUNIPER	3.0" EMD	CONT	25	
PT1	PINUS PUGA	PIGAO PINE	4.5" EMD	CONT	16	
PT2	PIGAO ARACHNICA 'GRO-LOW'	GRO LOW SUMAC	2.0" EMD	BENROTC	44	
RR2	ROSIA 'RADICIO'	DOUBLE KNOBROSE ROSE	2.0" EMD	BENROTC	16	
SP1	SPRAECA 'BENIFOLIA'	BIRCHLEAF SPRAECA	2.4" ITALIANO	BENROTC	11	
SH1	SYRINGA MEYERI 'PAULSIAN'	DAWNA KOREAN LILAC	2.0" ITALIANO	BENROTC	15	
	PERENNIALS, GRASSES AND GROUNDCOVERS					
CA	ACONITUM 'ACEULIFOLIA' 'KAREN FOERSTER'	FEATHER REED GRASS	1 GAL	CONT	31	SPACED 8" O.C.
EP	ECHINACEA 'PURPLE PRINCESS'	PURPLE CONEFLOWER	1 GAL	CONT	21	SPACED 18" O.C.
HR	HEMEROCALLIS 'MINTY NEIGHBORS'	HAPPY RETIREMENT DAYLILY	1 GAL	CONT	35	SPACED 18" O.C.
HR	HEMEROCALLIS 'STELLA DE CIO'	STELLA DE CIO DAYLILY	1 GAL	CONT	35	SPACED 18" O.C.
NE1	NEPETA X FAERGENSE	FAERGENSE CATNIP	1 GAL	CONT	45	SPACED 24" O.C.
VI1	VINCA MINOR 'DANTS BLUE'	DANTS BLUE PERIWINKLE	3" POTS	CONT	55	SPACED 8" O.C.

GREENSPACE CALCULATIONS.

PARKING LOT AREA:	32,415 SF
GREENSPACE REQUIRED (10%)	2,241 SF
GREENSPACE PROVIDED:	1,400 SF
PARKING SPACES:	44 SPACES
TREES REQUIRED (1/10 SPACES)	22
PARKING LOT TREES PROVIDED:	4

TREE REPLACEMENTS

NO TREE REPLACEMENTS ARE REQUIRED, SEE TREE SURVEY, SHEET LT-10.

DANIEL WEINBACH
&
PARTNERS, LTD.
Landscape Architects

53 W. Jackson Blvd.
Suite 250
Chicago, IL 60604

312 427-2888
www.dunhill.com

RE-ISSUED FOR CITY APPROVAL 06/11/12
ISSUED FOR CITY APPROVAL 04/20/12

WALGREENS

2181 ROOSEVELT ROAD
CHICAGO, ILLINOIS

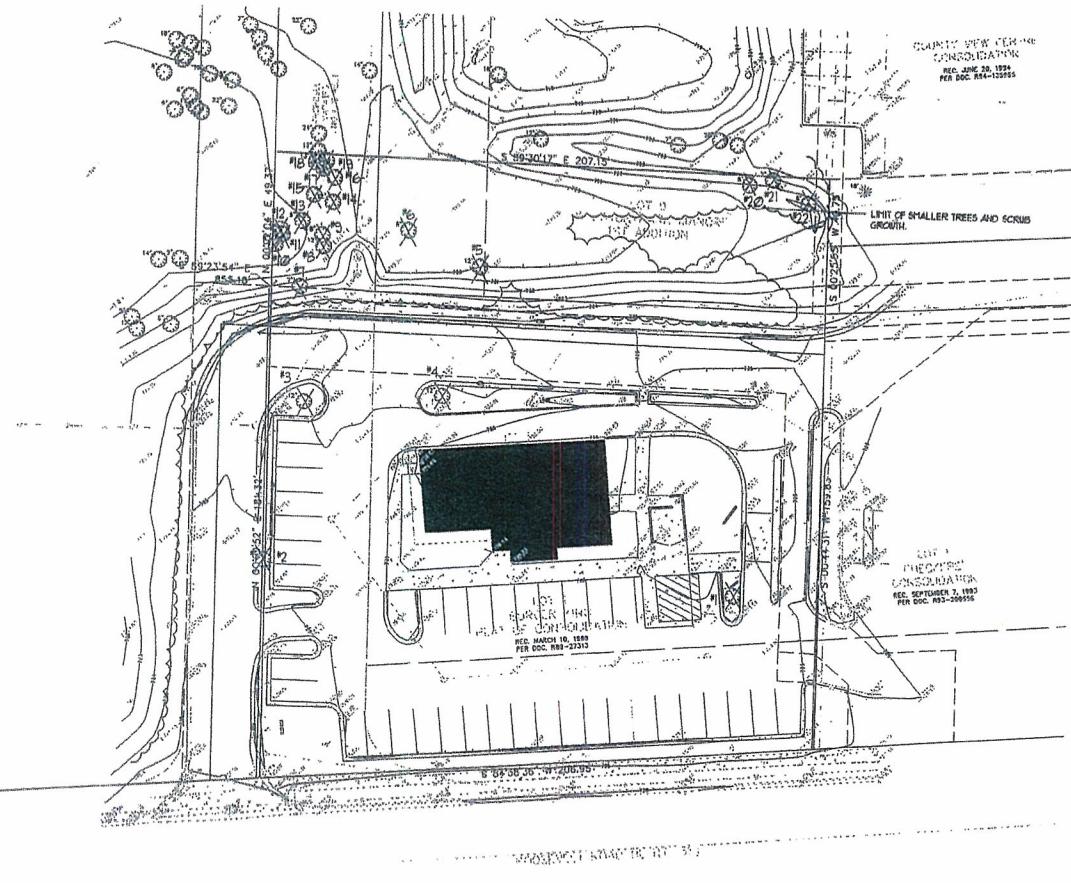
LANDSCAPE
PLAN AND
DETAILS

Date 04/17/12	Project No. OWP 12-117
Scale 1"=20'-0"	Sheet No.
Drawn By WS	L-1.0
Approved WS	



DANIEL WEINBACH
&
PARTNERS, LTD.

53 W. Jackson Blvd.
Suite 220
Chicago, IL 60601
312.427.2888
www.dwpnld.com



TREES TO BE REMOVED

TREE SURVEY

TREE NO.	SPECIES	SIZE	CONDITION
1	ASH	10" CAL.	GOOD
2	ASH	8" CAL.	GOOD
3	ASH	12" CAL.	GOOD
4	ASH	12" CAL.	GOOD
5	CHINESE ELM	12" CAL.	POOR
6	DEAD	6" CAL.	DEAD
7	DEAD	7" CAL.	DEAD
8	CHINESE ELM	12" CAL.	POOR
9	DEAD	8" CAL.	DEAD
10	MAPLE	8" CAL.	POOR
11	MAPLE	8" CAL.	POOR
12	MAPLE	7" CAL.	POOR
13	MAPLE	6" CAL.	POOR
14	CHINESE ELM	12" CAL.	POOR
15	DEAD	7" CAL.	DEAD
16	POPLAR	9" CAL.	POOR
17	MAPLE	10" CAL.	POOR
18	MAPLE	13" CAL.	POOR
19	DEAD	9" CAL.	DEAD
20	CHINESE ELM	8" CAL.	POOR
21	MAPLE	7" CAL.	POOR
22	CHINESE ELM	6" CAL.	POOR

DUE TO THE POOR QUALITY OF THE TREES
TO BE REMOVED THERE ARE NO
REPLACEMENT TREES REQUIRED.

Revisions
6.
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15. RE-ISSUED FOR CITY APPROVAL 04/17/12
16. ISSUED FOR CITY APPROVAL 04/20/12

Project

WALGREENS

2181 RODEOVELL ROAD
CHICAGO, ILLINOIS

Sheet File
TREE SURVEY

Date	04/17/12	Project No.	GW 12-117
Scale	AS SHOWN	Sheet No.	
Drawn By	MHM		
Approved	WS		LT-1.0

DEVELOPER:
CENTRUM PARTNERS LLC
225 WEST HUBBARD STREET, 4TH FLOOR
CHICAGO, ILLINOIS 60654
312-832-2500

ARCHITECT:
HIRSCH ASSOCIATES LLC
225 WEST HUBBARD STREET, 5TH FLOOR
CHICAGO, ILLINOIS 60654
312-836-0011

Proposed Improvements for

STANDARD SYMBOLS

ABBREVIATIONS

A cartoon illustration of a construction worker wearing a hard hat and holding a shovel. He is standing next to a large speech bubble that contains the text 'BEFORE YOU DIG IN CHICAGO, CALL... DIGGER'.

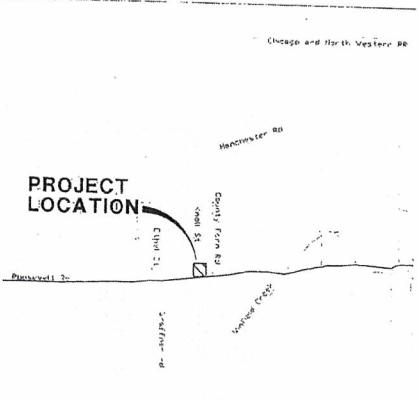
PROPOSED WALGREENS STORE

2191 W ROOSEVELT ROAD
CITY OF WHEATON, ILLINOIS

Chicago and North Western RR

—N—

PROJECT LOCATION



LOCATION MAP

BENCHMARKS:

SOURCE BENCHMARK:
DUPAGE COUNTY BENCHMARK M118005: DISK IN
CONCRETE FOUND APPROXIMATELY 76' WEST OF THE
EDGE OF PAVEMENT OF COUNTY FARM ROAD AND
80.6' NORTH OF THE EDGE OF PAVEMENT OF
MANCHESTER ROAD.

SITE BENCHMARK: ELEVATION = 730.43
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHEAST CORNER OF VACATED KNOLLWOOD
STREET AND ROOSEVELT ROAD (SOUTHWEST CORNER
OF SITE).

ELEVATION = 728.27

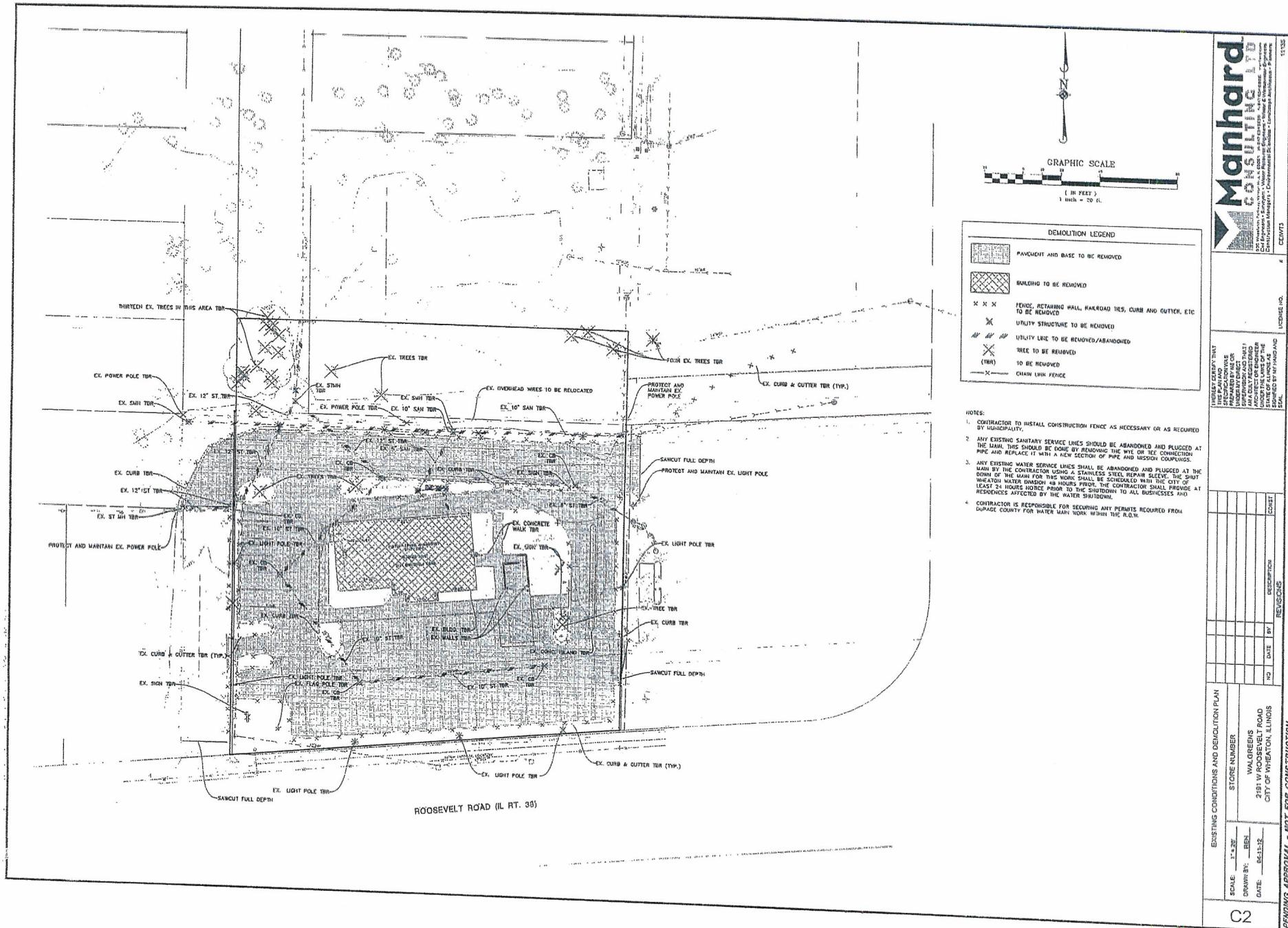
NOTES

1. THE TOPOGRAPHY SURVEY FOR THIS PROJECT IS BASED ON A FIELD SURVEY PREPARED BY MANHARD CONSULTING AND WAS PERFORMED ON MARCH 27TH, 2012. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

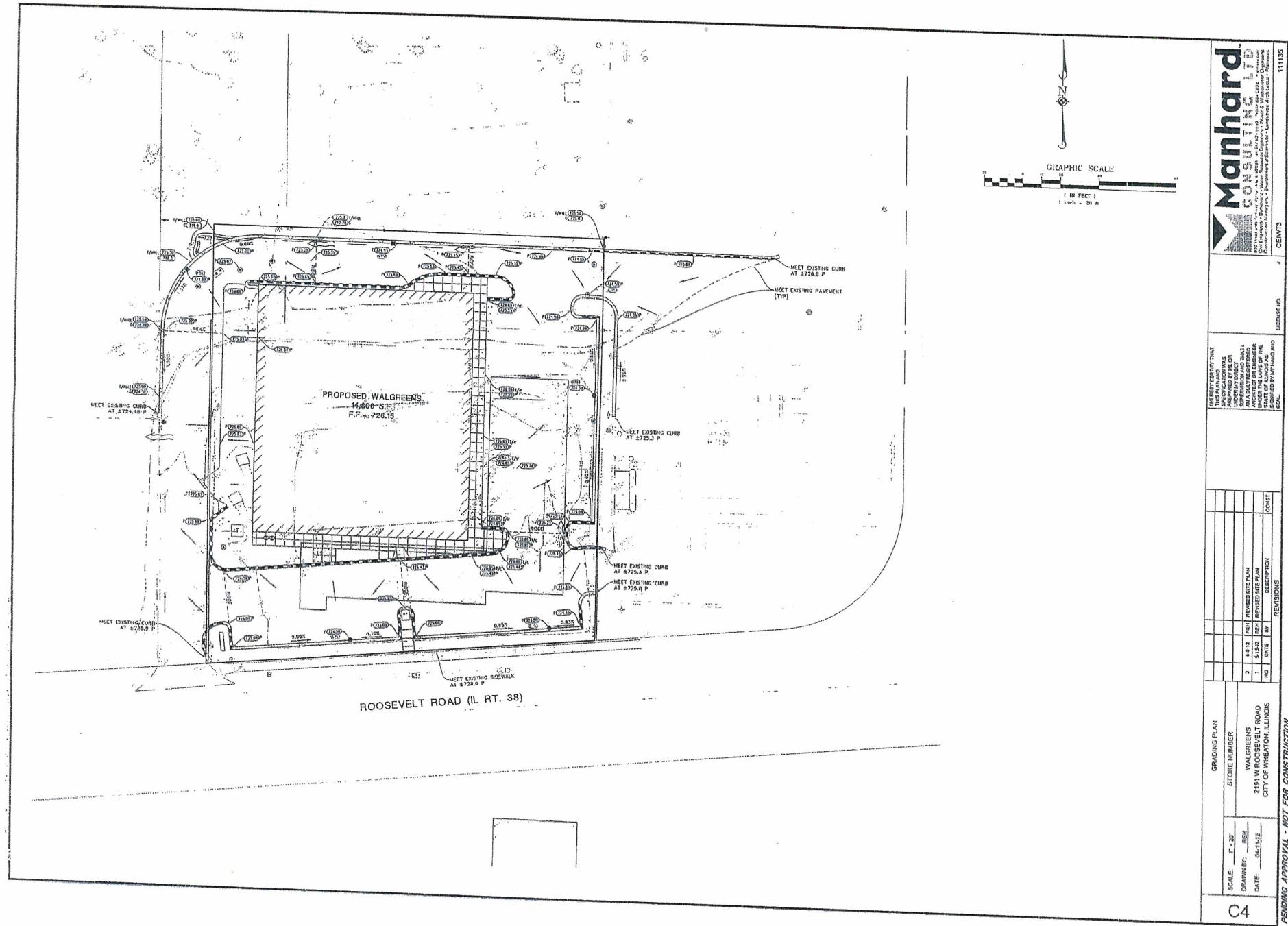
UTILITY CONTACTS	
MUNICIPALITY: CITY OF WHEATON	CHIEF ENGINEER: WHEATON CITY HALL 303 WEST WESLY STREET PO BOX 727 WHEATON, IL 60187 (630) 260-2056 CONTACT: PAUL REDMAN
WATER: CITY OF WHEATON PUBLIC WORKS BUILDING 121 WEST ULYSSE DRIVE WHEATON, IL 60187 (630) 260-2056 CONTACT: AL McHILLEN	SEWER: CITY OF WHEATON PUBLIC WORKS BUILDING 121 WEST ULYSSE DRIVE WHEATON, IL 60187 (630) 260-2056 CONTACT: MIKE JANKOVIC
SEWER: CITY OF WHEATON 121 WEST ULYSSE DRIVE WHEATON, IL 60187 (630) 260-2056 CONTACT: MIKE JANKOVIC	TELEPHONE: SCHOOL DISTRICT 40 S. MITCHELL COURT FLOOR ADDISON, IL 60101 (630) 260-3463 CONTACT: TOM QUATTROCCHI
ELCTRIC: COMED (800) 455-1854 X 218 CONTACT: RYAN BINKS	ELCTRIC: COMED (630) 437-2238 (PM) (630) 437-2234 (FX) CONTACT: TOM STUTZMAN

MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.

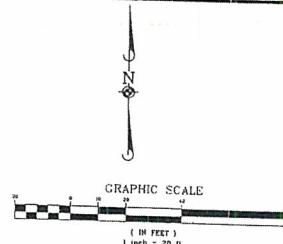
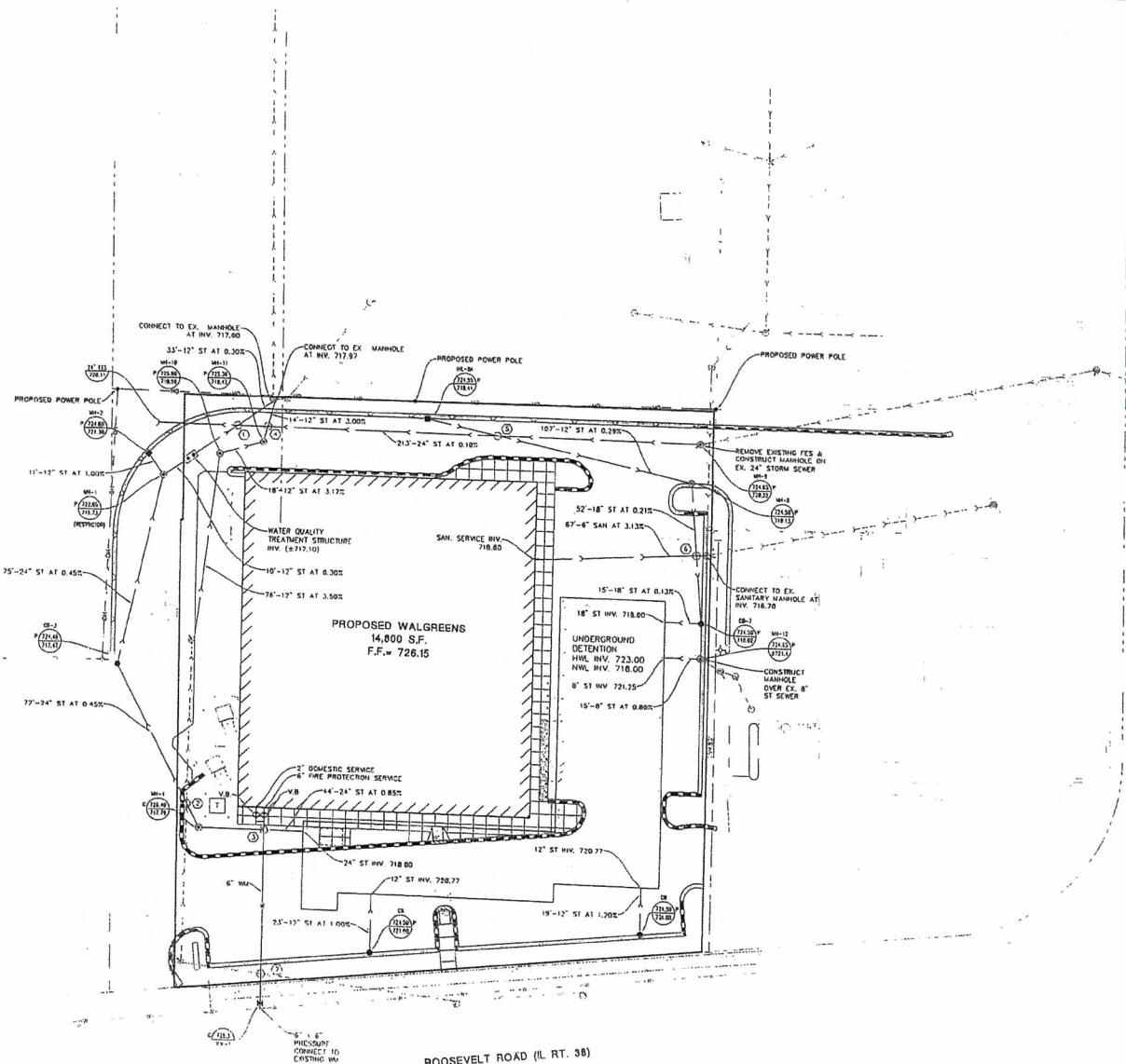
TITLE SHEET					
SCALE: <u>NTS</u>	STORE NUMBER				
DRAWN BY: <u>REH</u>	WALGREENS				
DATE: <u>04/11/12</u>	215 W. LOOSELT ROAD				
CITY OF WHEATON, ILLINOIS					
MEANING: ERASER, ADULT CONDOMS/CONDOMS					
SCALE: <u>NTS</u>	STORE NUMBER				
DRAWN BY: <u>REH</u>	WALGREENS				
DATE: <u>04/11/12</u>	215 W. LOOSELT ROAD				
CITY OF WHEATON, ILLINOIS					
MEANING: ERASER, ADULT CONDOMS/CONDOMS					



PENDING APPROVAL - NOT FOR CONSTRUCTION



PENDING APPROVAL - NOT FOR CONSTRUCTION



SITE AREA =	1.05 AC
ON-SITE DETENTION REQUIRED =	0.78 AC-FT
ON-SITE DETENTION PROVIDED =	0.78 AC-FT

UTILITY CROSSINGS

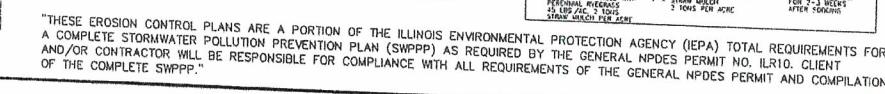
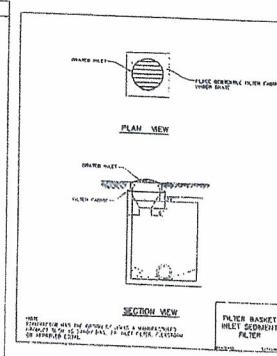
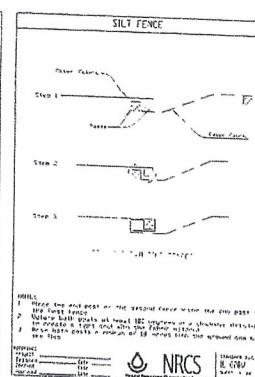
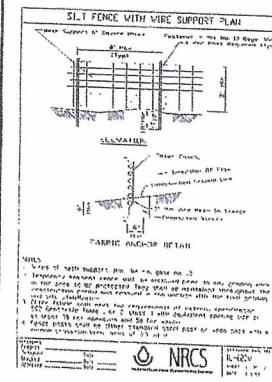
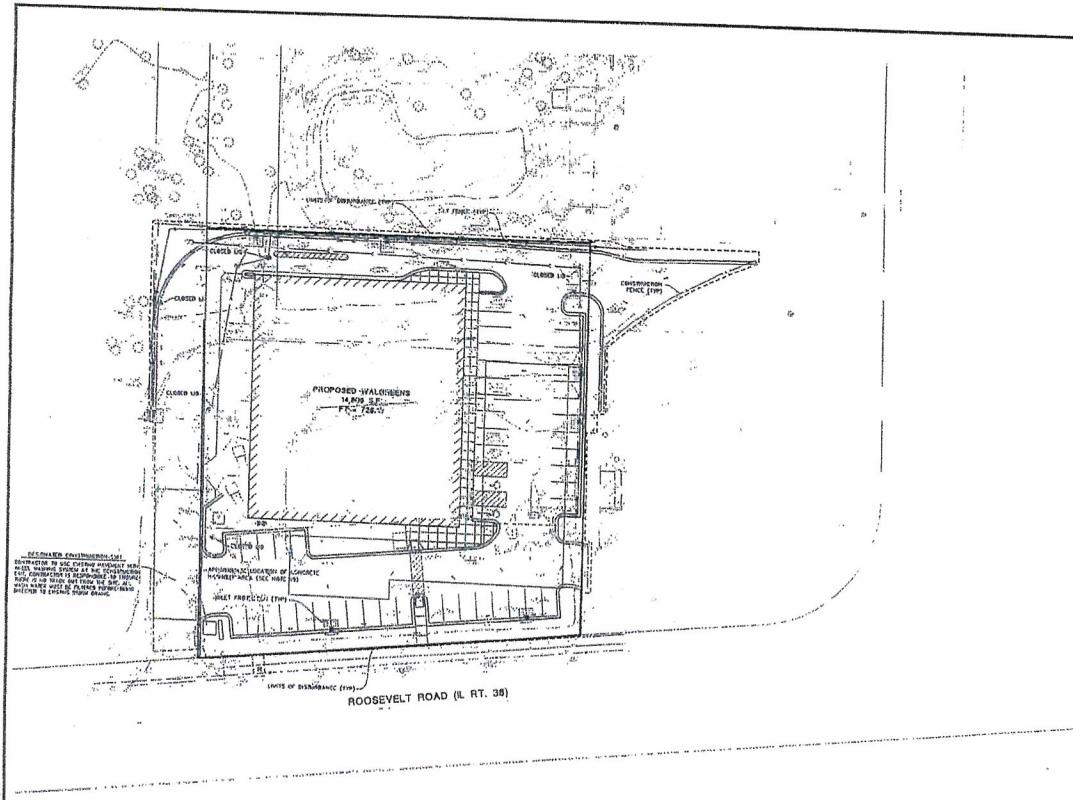
NOTES:

1. ALL DUCTILE IRON WATERMAIN AND FITTINGS TO BE ENCASED IN A CLASS C, BLACK OR CLEAR 8 MILL LINER LOW DENSITY POLYETHYLENE AND SECURED WITH POLYETHYLENE TAPE PER CITY OF WATERTON SPECIFICATIONS (SEE SHEET X)
2. CITY OF WATERTON TO PERFORM THE PRESSURE CONNECTION CONTRACTOR TO SECURE PERMIT FOR WORK WHEN THE DUPAGE COUNTY P.O.W. AND INSTALL ALL S.T. WATERMAIN
3. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION

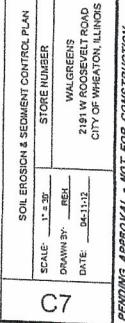
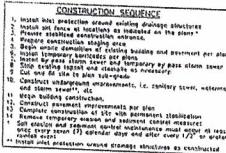
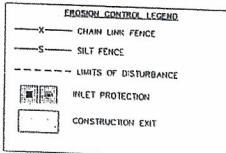
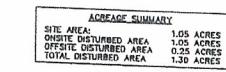
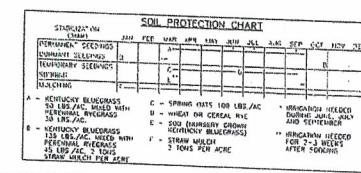
SEWER TO BE WATER MAIN DUALITY PIPE FOR 10' ON EITHER SIDE OF THE CROSSING PER STATE EPA SEPARATION AND PIPE MATERIAL REQUIREMENTS. (SEE DETAIL SHEET FOR MORE INFORMATION AND ALTERNATIVE CROSSING METHODS)

C6

SPENDING APPROVAL - NOT FOR CONSTRUCTION



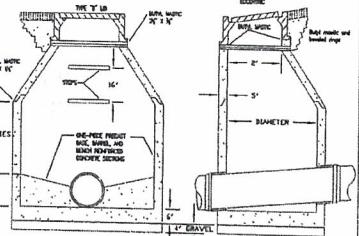
"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."



9

CITY OF WHEATON SANITARY MANHOLE

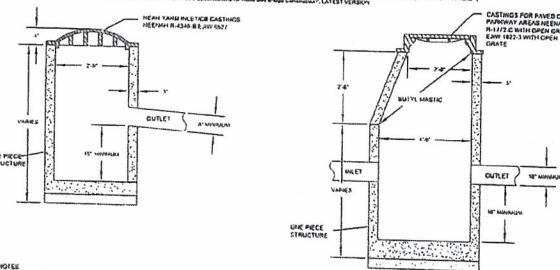
For more information ref. "Standard Specifications for Water and Sewer Main Construction in Maine", May 1994, Section 44 and 41 [OR REEDIE HICKING].
For more information ref. "Standard Specifications for Road and Bridge Construction", adopted January 1, 2002.



CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE #7

CATCH BASIN WITH FRAME AND GRATE FOR INLET

For more information, "Standard Specifications for Water and Sewer Work Construction in Illinois", May 1996, Sections 18 and 21 (HOMEOWNERS VERSION).



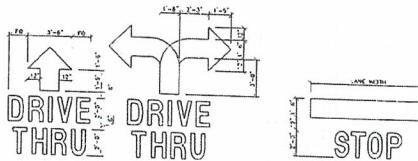
HOLES

1. MAXIMUM DIAMETER OF #8 USRD 1/2" PUNCHED RIBER RING, NO METAL RIBER RINGS OR WIRE ALLOED
2. 11 JOINTS OF FIFTH RIBER RING, SECTION RING, AND CASHING RING TO THE SPAN WILL BE FURNISHED WITH FIVE RIBER RINGS AND ONE CASHING RING FOR COUNTERS OF 11' INCHES THREE AND THREE 1/2 INCHES THICK WHEN ARRIVED EQUAL.

NOTES

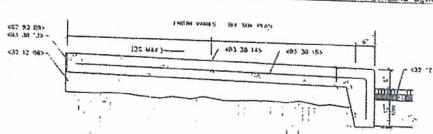
1. FOAM RIBER RINGS FOR EASIER BURGLAR STRUCTURES WHICH REACHES A DEPTH OF FOUR (4) FEET SHALL HAVE POROUS RIBER RINGS WHICH ARE THREE (3) FEET IN LENGTH AND ONE (1) FEET IN DIAMETER.
2. FLEXIBLE PVC BURGLAR MATERIAL SHALL BE PLACED BETWEEN THE BARRIER, SECTION, HURBEN AND HINGE HAMPS.
3. HAMPS SHALL BE APPLIED AT END OF SPAN, RIB RING, OR IN ALL INSTANCES WHERE A HAMPS PIPER FITTER OR EXTE C-H HAMPS ARE USED, THE HAMPS SHALL BE APPLIED IN THE MIDDLE OF THE SPAN.
4. MAXIMUM PIPE DIAMETER IS 12" X 1/2" FLOOR, DRIVEN IN SHUTTERS.

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE #12

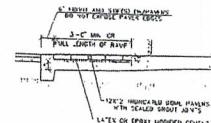


PAVEMENT PAINTING DETAILS

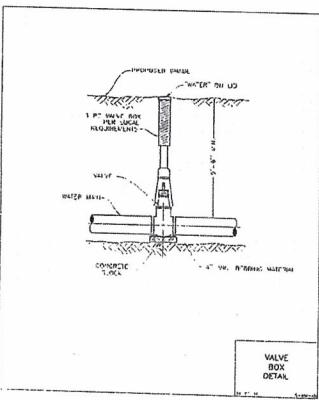
1 PAINT ARROW COLOR TO FG. "MILLION" FIVE ARROWS AND LETTERS "WING HAWK" AND "SIGH LITTLE" IN FG.
 1 ELONGATED HELLETTA WEDGES, "A" HIVE STROKE
 2 PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PAVING LOGS.
 WALGREENS, DETAIL



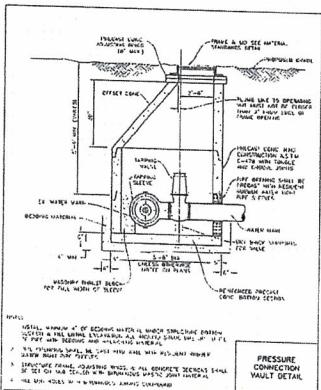
03-30-13	COMPRESSED C. FELER (3/4" MAXIMUM) CIVI MARK AND PROUD SEAMANT, TYPEC, AT ALL JOINTS IN NEW FELER	07-09-09	COMPRESSED C. FELER (3/4" MAXIMUM) CIVI BACK PROUD SEAMANT, TYPEC, AT ALL JOINTS WITH 4" (100MM) CONTRACTED BASE PAVEMENT AT EXIST. STORM SWALE PLATE
03-30-14	1/2" "DOLCE" JOINT	32 12 88	
03-30-15	5/8" x 6" X-W	32 12 01	



DETECTABLE WARNINGS SECTION WALGREENS DETAIL

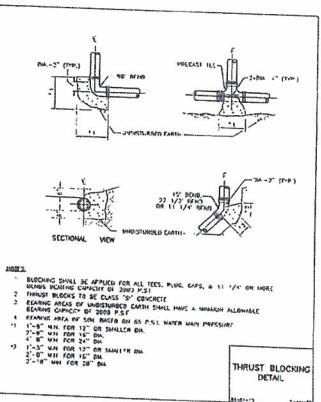
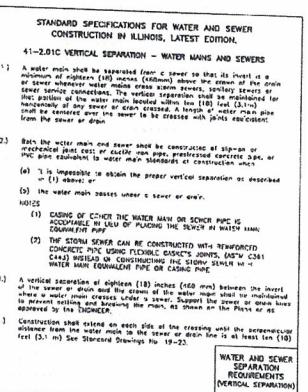
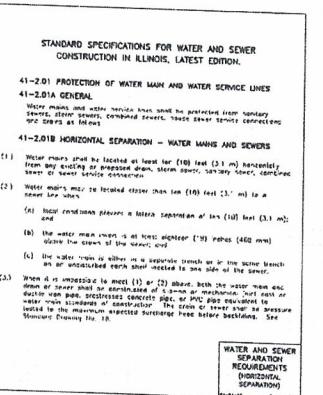
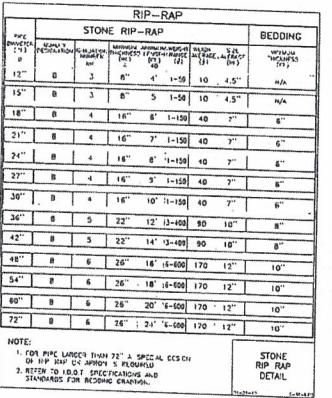
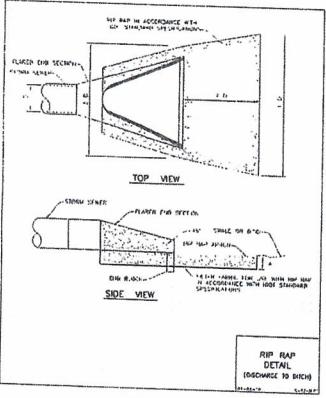
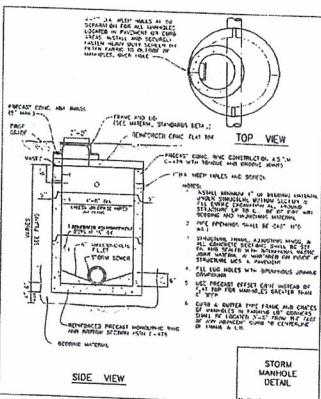
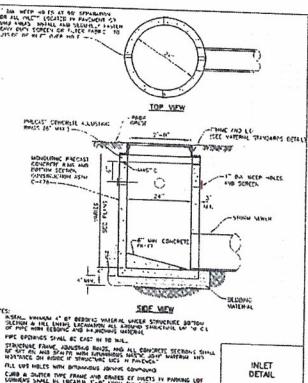
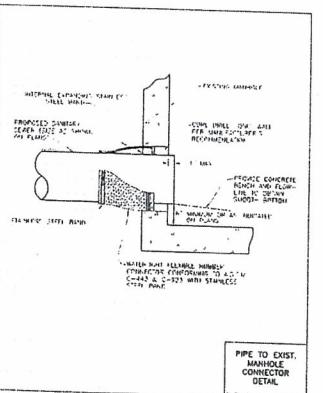
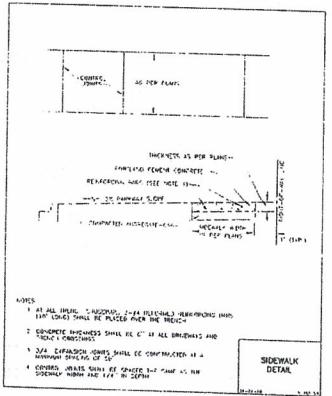
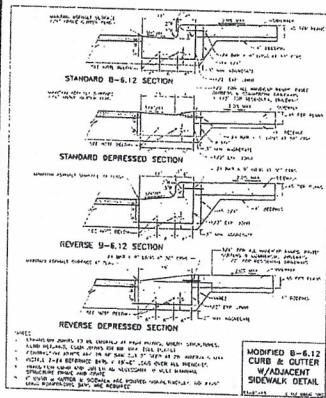
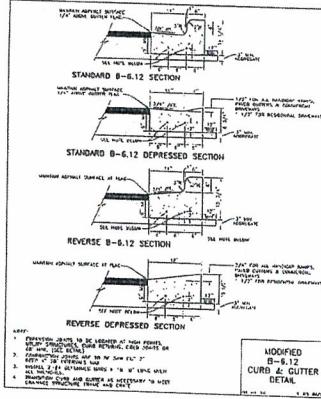
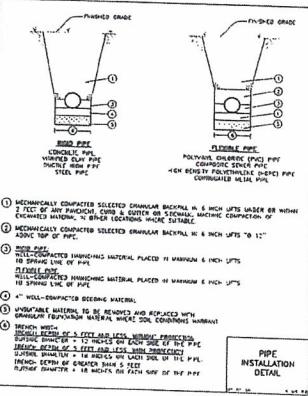
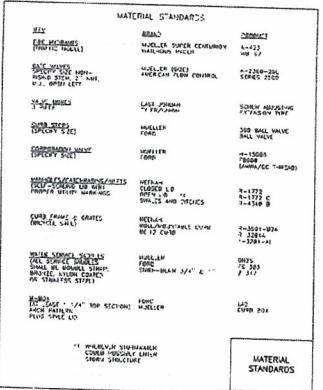
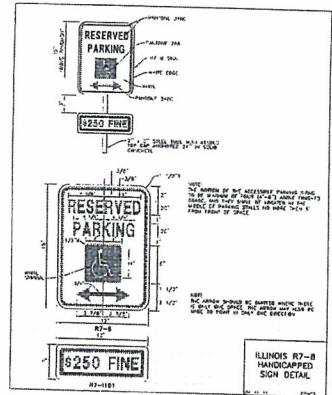
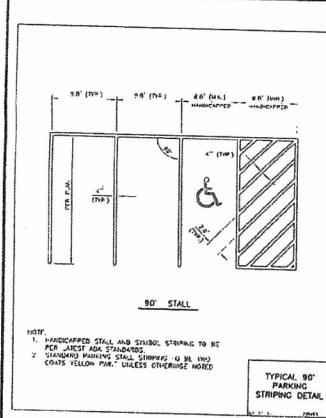


VALVE
BOX
DETAIL



DETAILS
 1.151.100001-07 OF EXISTING MASONRY WALLS WHICH SURROUND EXISTING 2' X 6' X 12' CONCRETE SLAB. THIS WALL IS TO BE TORN DOWN AND RELOCATED AS SHOWN.
 2. ALL EXISTING MASONRY WALLS ARE TO BE TORN DOWN.
 3. INSTITUTE FRAME, PROVIDE BRACED WALLS AND ALL EXISTING DEBRIS SHALL BE SET OUT IN SEPARATE W/ BURNAWAY MASONRY CONCRETE.
 4. ALL NEW WORKS WILL BE TORNADO RESISTANT.

CONSTRUCTION DETAILS					
SCALE: N.I.S.	STORE NUMBER				
DRAWN BY: <u>WALGREENS</u>	DATE: <u>04-15-12</u>	2191 W ROOSEVELT ROAD	NO.:	DATE:	REVISIONS
CITY OF WHEATON, ILLINOIS					
PRINTING APPROPRIATE - NOT FOR CONSTRUCTION					



Manhard Consulting Inc. is a full-service engineering and consulting firm. We specialize in the design and construction of industrial facilities, particularly those involving the processing of natural resources. Our services include: Project Management, Engineering, Construction Management, General Contracting, Project Control, Project Finance, Project Management, Environmental Services, Landscaping Services, and General Contracting.

THESE I CERTIFY THAT
THIS PLAN AND
SPECIFICATION WAS
PREPARED BY ME OR
UNDER MY DIRECT
SUPERVISION AND THAT I
AM A FULLY REGISTERED
ARCHITECT OR ENGINEER
UNDER THE LAWS OF THE
STATE OF ILLINOIS AS
SIGNIFIED BY MY HAND AND
SEAL.

CONSTRUCTION DETAILS	STORE NUMBER
	WALGREENS 2191 W ROOSEVELT CITY OF WHEATON, ILL

C10

FINAL PLAT
OF
WALGREENS CONSOLIDATION

BEING A SUBDIVISION PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 38 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-1
05-18-311-1

SURVEY PREPARED FOR

CENTRUM PARTNERS LLC
225 W. HUBBARD STREET, 41H FL.
CHICAGO, ILLINOIS 60654

SEND TAX BILL TO:

CENTRUM PARTNERS LLC
225 W. HUBBARD STREET, 4TH FL.
CHICAGO, ILLINOIS 60654

UPON RECORDING
MAIL TO:

CITY OF WHEATON
303 W. WESLEY STREET
WHEATON, ILLINOIS 60187

BASIS OF BEARING

MEASUREMENTS ARE BASED UPON THE ILLINOIS STATE PLANE COORDINATE SYSTEM OF 1983, EAST ZONE, ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL TIME KINEMATIC (RTK) GPS METHODS

AREA SUMMARY

LOT I: 45.525 SQUARE FEET (1.045 AC.)

LEGEND

EXISTING	PROPOSED
PROPERTY LINE	_____
LOT LINE	_____
UNSUBDIV LINE	_____
SCIBACH LINE	_____
D.S.L.	BUILDING SETBACK LINE
S.U.C.	PUBLIC UTILITY EASEMENT

SHEET INDEX	
SHEET 1 OF 2	BOUNDARY, LOT DETAILS, EASEMENTS AND SETBACK INFORMATION
SHEET 2 OF 2	LEGAL DESCRIPTION, PRIMADOM LANGUAGE AND CERTIFICATES

1-009		1-036	
MANHARD CONSULTING			
WALGREENS CONSOLIDATION			
CITY OF WHEATON, ILLINOIS			
PLAT OF SUBDIVISION			
MANHARD CONSULTING			
111135			

Manhard
CONSULTING
INC.

GREENS CONSOLIDATION
CO. OF WHEATON, ILLINOIS

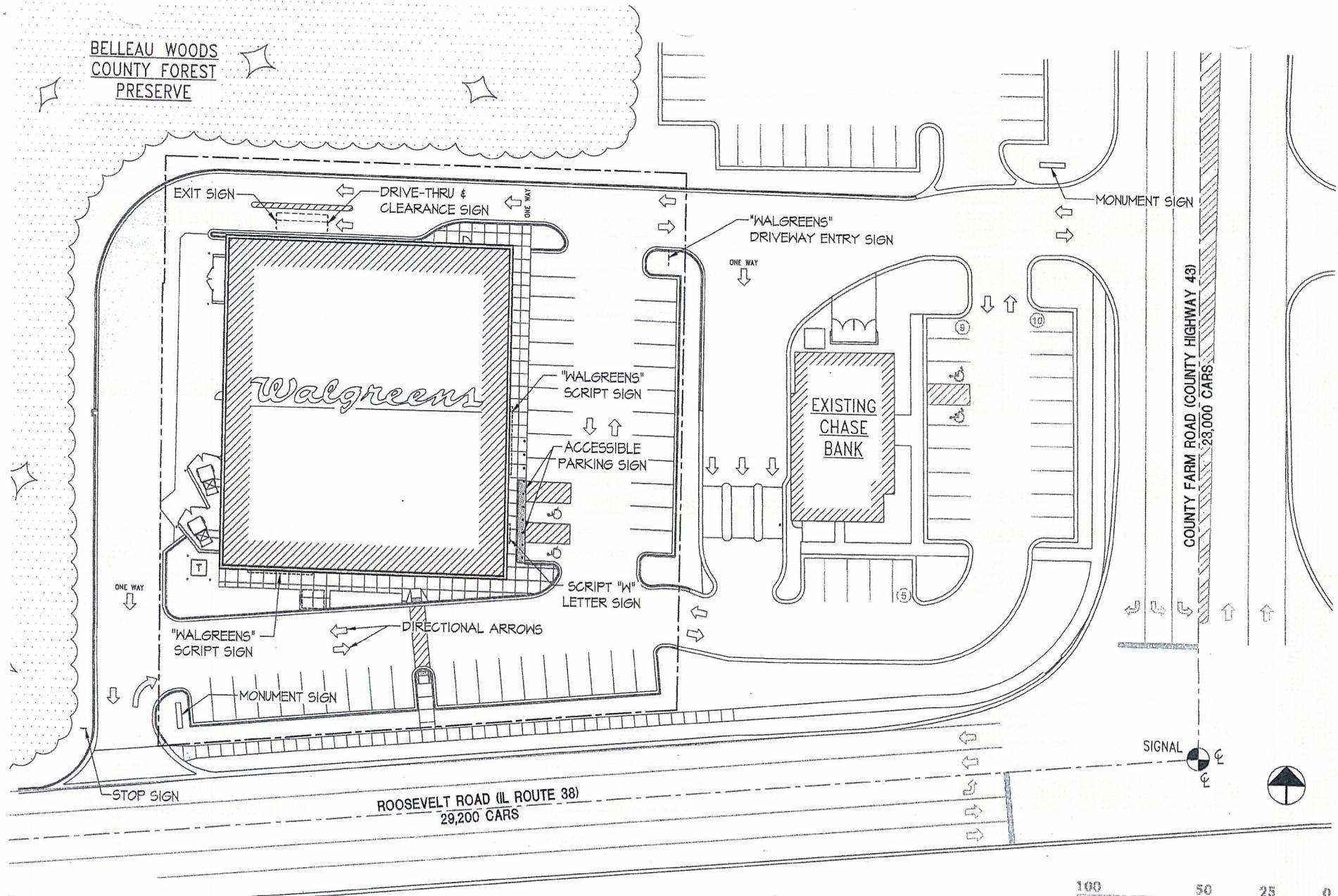
SHEET
1 OF 2
CEIWT3 11113

4. COMPARE ALL POINTS BEFORE BUILDING BY SAME AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.

5. **D** DENOTES CONCRETE MONUMENTS TO BE SET.

6. IN ACCORDANCE WITH CHAPTER 765 RGS SECTION 205/1 5/8" X 24" LONG IRON RODS WILL BE SET AT ALL PROPERTY CORNERS AND POINTS OF GROWING CHANGE.

BELLEAU WOODS
COUNTY FOREST
PRESERVE



Signs of the Times

Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

June 18, 2011
10006
ISP

Hirsch Associates LLC
Architecture + Planning



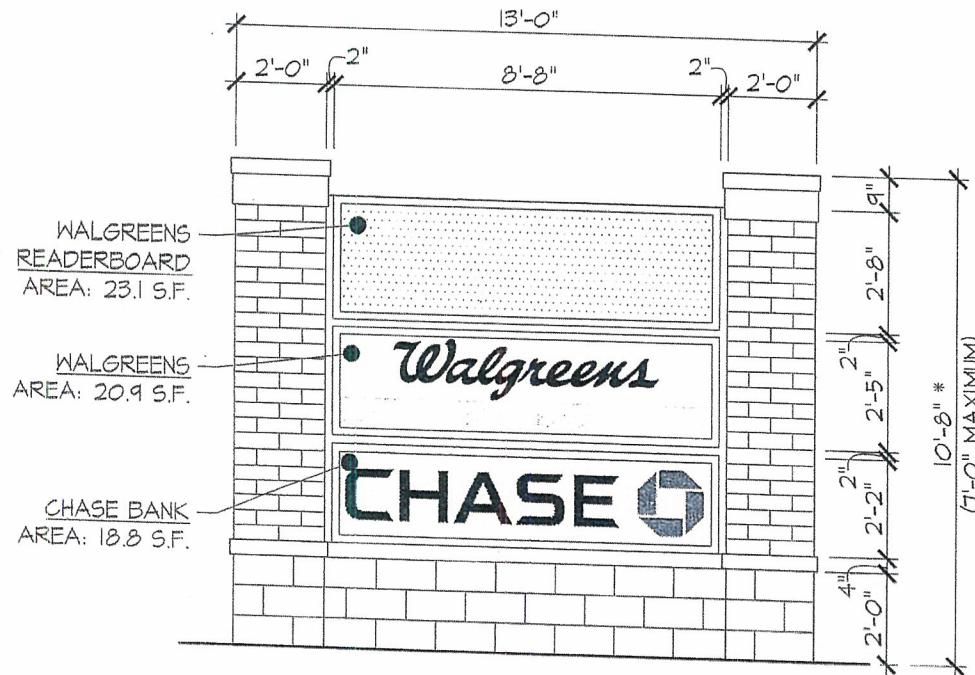
SOUTHWEST MONUMENT SIGN

TOTAL SIGN AREA:
62.8 S.F. PER SIDE*

TOTAL SURFACE AREA:
132 S.F. PER SIDE*

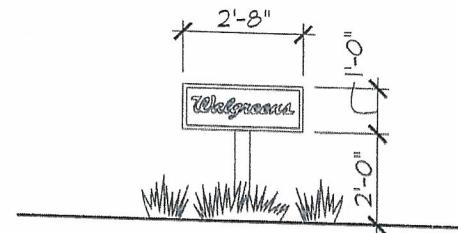
ALLOWABLE SIGN AREA:
48 S.F. PER SIDE

ALLOWABLE SURFACE AREA:
96 S.F. PER SIDE



DRIVEWAY ENTRY SIGN

TOTAL SIGN AREA:
2.7 S.F. PER SIDE



* DOES NOT COMPLY WITH ARTICLE XXII, SECTION 23.7
OF THE CITY OF WHEATON ZONING ORDINANCE

Planning with Integrity



Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 20, 2012
10006
ISD



Hirsch Associates LLC
Architecture + Planning



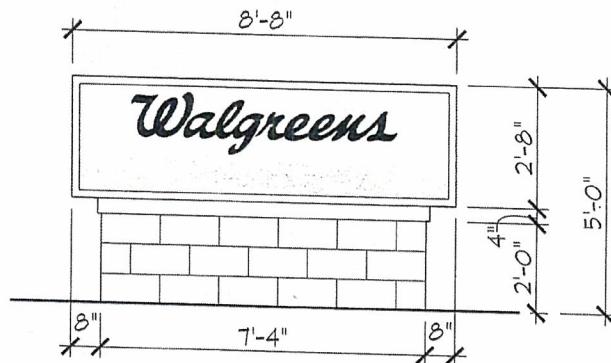
NORTHEAST MONUMENT SIGN

"WALGREENS" SIGN AREA:
23.1 S.F. PER SIDE

TOTAL SURFACE AREA:
40.3 S.F. PER SIDE

ALLOWABLE SIGN AREA:
48 S.F. PER SIDE

ALLOWABLE SURFACE AREA:
96 S.F. PER SIDE



Monument Sign Elevation



Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 26, 2011
10006
100

4 2 0

Grade 12'-0"

H A 2A

Hirsch Associates LLC
Architecture + Planning