

ORDINANCE NO. F-1656

AN ORDINANCE GRANTING A PLANNED UNIT DEVELOPMENT (PUD) ALLOWING THE CONSTRUCTION OF A NEW WALGREENS DRUG STORE WITH A DRIVE-THRU AND AN ELECTRONIC MESSAGE BOARD AT 2191 WEST ROOSEVELT ROAD - WALGREENS

WHEREAS, written application has been to amend the Zoning Map, which is attached to and forms a part of the Zoning Ordinance of Wheaton, Illinois, by the issuance of a planned unit development (PUD) allowing the construction of a new Walgreens drug store with a drive-thru and an electronic message board at 2191 West Roosevelt Road, all on the property legally described herein within the city limits of Wheaton, Illinois, ("subject property"); and

WHEREAS, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on June 19, 2012 to consider the issuance of the PUD; and the Board has recommended the issuance of the PUD; and

NOW, THEREFORE, BE IT ORDAINED by the Wheaton City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

Section 1: The following described property has been and continues to be zoned and classified in the C-5 Planned Commercial District zoning classification:

PARCEL 1: LOT 1 IN BURGER KING PLAT OF CONSOLIDATION, BEING A SUBDIVISION OF PART OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1989 AS DOCUMENT NUMBER R89-27313, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-036

Section 2: The following described property shall be rezoned from the R-1 Residential District to the C-5 Planned Commercial District zoning classification:

PARCEL 2: LOT 9 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-009

PARCEL 3: THAT PART OF KNOLL STREET (AKA KNOLLWOOD STREET) LYING SOUTHERLY OF THE WESTERLY EXTENSION OF THE NORTH LINE OF LOT 9, AND LYING NORTHERLY OF THE WESTERLY EXTENSION OF THE SOUTH LINE OF LOT 9, AND LYING EASTERLY OF A LINE WHICH IS 38 FEET WESTERLY (AND PARALLEL THERETO) OF THE WEST LINE OF LOT 9 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

The subject property is commonly known as 2191 West Roosevelt Road, Wheaton, IL 60187.

Section 3: Pursuant to the Findings of Fact made and determined by the Planning and Zoning Board, a special use permit for a PUD is hereby issued on the subject property to allow the construction of a 14,800 square foot drug store with a single drive-thru service lane and an electronic message board, in full compliance with the plans entitled "Site Plan, Floor Plan, Elevations", Sheets 1-5, prepared by Hirsch Associates LLC, Chicago, IL, dated June 8, 2012; "Landscape Plan", Sheets L-1.0 and LT-1.0, prepared by Daniel Weinbach and Partners LTD, Chicago, IL, dated April 17, 2012 and revised June 11, 2012; "Preliminary Engineering Plans", Sheets C1-C4 and C6-C11, prepared by Manhard Consulting LTD, Vernon Hills, IL, dated April 11, 2012; "Final Plat of Consolidation", Sheets 1-2, prepared by Manhard Consulting LTD, Vernon Hills, IL, dated April 13, 2012; "Signage Plan", Sheets 1-2 and 2A, prepared by Hirsch Associates LLC, Chicago, IL, dated June 18, 2012; and in further compliance with the following conditions, restrictions, and requirements:

1. Prior to issuance of a certificate of occupancy, the applicant shall submit a report to the City outlining what environmentally friendly practices were incorporated into the demolition and construction of the project;
2. The landscape plan shall be revised to include more shrubs in lieu of perennials along Roosevelt Road, some shade or ornamental trees along Roosevelt Road and planters at the front entrance of the building and shall be subject to the approval of the Director of Planning and Economic Development;
3. Prior to issuance of a site development permit, the applicant shall submit a lighting plan that complies with the requirements of the Wheaton Zoning Ordinance;
4. The applicant shall submit a revised Plat of Consolidation with stormwater management and utility easements, as determined by the Director of Engineering;
5. The applicant shall submit a revised cross access covenant approved by the owners of the benefiting properties. The cross access covenant shall meet the reasonable approval of the City Attorney;
6. The applicant shall enter into a Fire Lane Designation and Enforcement Agreement with the City attached hereto as Exhibit "A"; and
7. The applicant shall maintain all landscaping and plantings on the subject property so that the number, quality, and type of landscaping shall not be less than that which is illustrated on the approved landscape plan.

Section 4: The following described property shall have an easement for detention/ compensatory storage for the subject property and shall be subject to the approval of the Director of Engineering:

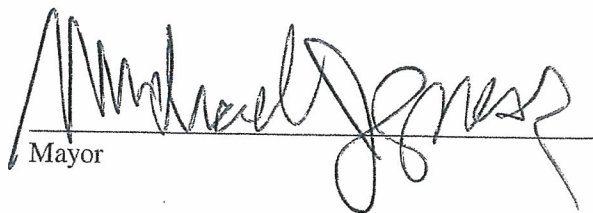
LOT 6 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP 39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN AND SECTION 18, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1925 AS DOCUMENT 192981, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-006

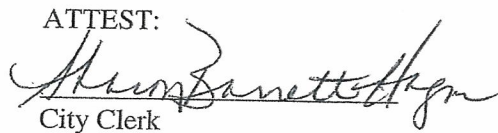
Section 5: In all other respects, the terms and conditions of the original ordinance are ratified and remain in full force and effect.

Section 6: All ordinances or parts of ordinances in conflict with these provisions are repealed.

Section 7: This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



Mayor

ATTEST:


City Clerk

Roll Call Vote:

Ayes: Councilwoman Ives
Councilman Mouhelis
Councilman Rutledge
Mayor Gresk
Councilwoman Pacino Sanguinetti
Councilman Scalzo
Councilman Suess

Nays: None

Absent: None

Motion Carried Unanimously

Passed: August 6, 2012
Published: August 7, 2012

EXHIBIT "A"

FIRE LANE DESIGNATION AND ENFORCEMENT AGREEMENT

THIS AGREEMENT is made and entered into this day of 2008, by and between the City of Wheaton, an Illinois Municipal Corporation, 303 W. Wesley Street, Wheaton, Illinois 60189 (hereinafter referred to as "CITY") and _____ (hereinafter referred to as "OWNER(S)"), OWNER(S) of the property located at _____, within the corporate limits of the City of Wheaton, Illinois (hereinafter referred to as "Subject Property"), and which is legally described below:

(INSERT LEGAL(S) AND P.I.N(S))

RECITALS

WHEREAS, the OWNER(S) desire to establish Fire Lanes upon the Subject Property to improve the health and safety of the citizens of Wheaton; and

WHEREAS, the CITY believes that it is in the best interests of the public health and safety that Fire Lanes be established, maintained and enforced upon the Subject Property.

NOW, THEREFORE, in consideration of the mutual covenants and obligations contained herein, the OWNER(S) and CITY agree to the following in regards to the Subject Property:

1. The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S), shall identify the specific Fire Lane locations within the Subject Property which shall, pursuant to the terms of this Agreement and Ordinance No. be regulated. The specific locations of the Fire Lane(s) to be enforced shall be as set forth on the Site Plan ("Plan") attached hereto and fully incorporated into this Agreement as Exhibit " ". The CITY Fire Chief, Chief of Police or their designated representative and OWNER(S) or designated representative may from time to time mutually agree to amend the Fire Lane(s) location(s) as set forth in the Site Plan. At such time, the Site Plan shall be amended and appended to this Agreement as an Amended Exhibit " ".

2. The OWNER(S) are responsible for providing any required pavement markings.

3. The OWNER(S), at their sole expense, shall be responsible for obtaining, erecting and maintaining the appropriate signage in accordance with applicable CITY and State of Illinois regulations and specifications.
4. The CITY shall inspect and approve the signage prior to entering into this Agreement. The CITY Fire Chief, Chief of Police or their designated representative may require additional signage and/or pavement markings, if it is later determined that the inspected and approved signage does not provide adequate notification of the established fire lanes.
5. Upon execution of this Agreement, the CITY will enforce the Fire Lane parking and standing prohibitions and the Fire Lane maintenance requirements contained in Sections 70-355 and 30-2 of the Wheaton City Code in regards to the Subject Property. No "special duty" to third persons shall be imposed by this Agreement. The CITY's enforcement obligation shall be legally the same as it is with all other ordinances.
6. This Agreement may be terminated by either party by providing not less than thirty (30) days notice to the other party of the intention to terminate this Agreement.
7. This Agreement shall be assignable by OWNER(S) to their successors in interest upon the sale or lease of the Subject Property.
8. The OWNER(S) hereby agrees to release and hold harmless, indemnify and defend (including the payment of all costs and attorneys' fees) the CITY, its Officers, Agents and Employees, in connection with any and all actions or claims for any loss, damage, personal injury or death occurring as a consequence of the performance of this Agreement.
9. The sole remedy available to the OWNER(S), upon any breach of this Agreement by the CITY, shall be the termination of the Agreement. It is of the essence of this Agreement that the CITY shall not be liable in money damage for any breach of this Agreement.
10. Whenever notice to the CITY is required, it shall be addressed to:

City Clerk
City of Wheaton
303 West Wesley Street
Wheaton, IL 60189-0727

Whenever notice to the Owner is required, it shall be addressed to:

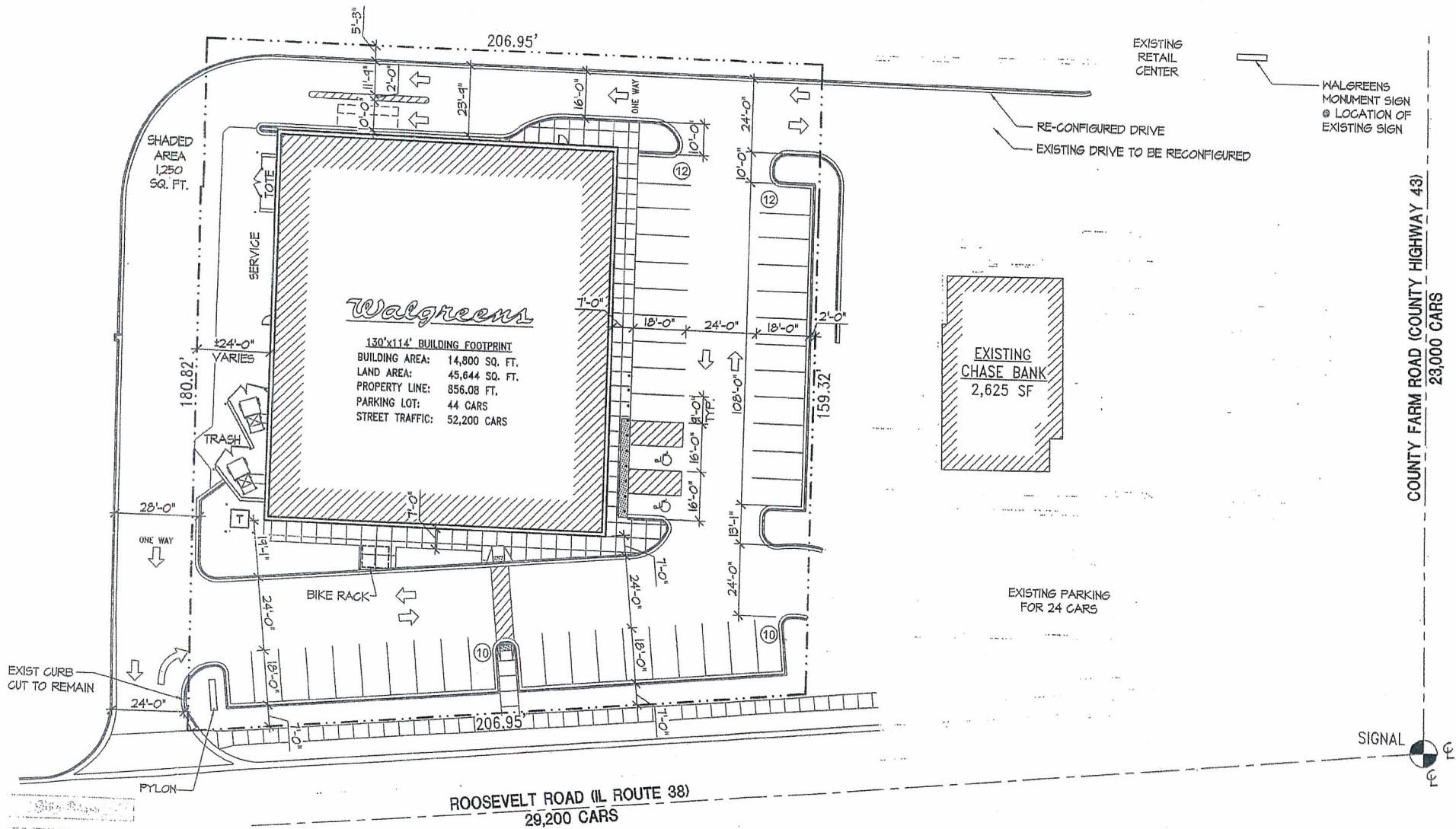
IN WITNESS WHEREOF, the parties hereto have executed this instrument by their duly authorized officers of the day and year first above written.

CITY OF WHEATON, ILLINOIS, a Municipal Corporation

BY: _____ ATTEST: _____
City Manager City Clerk

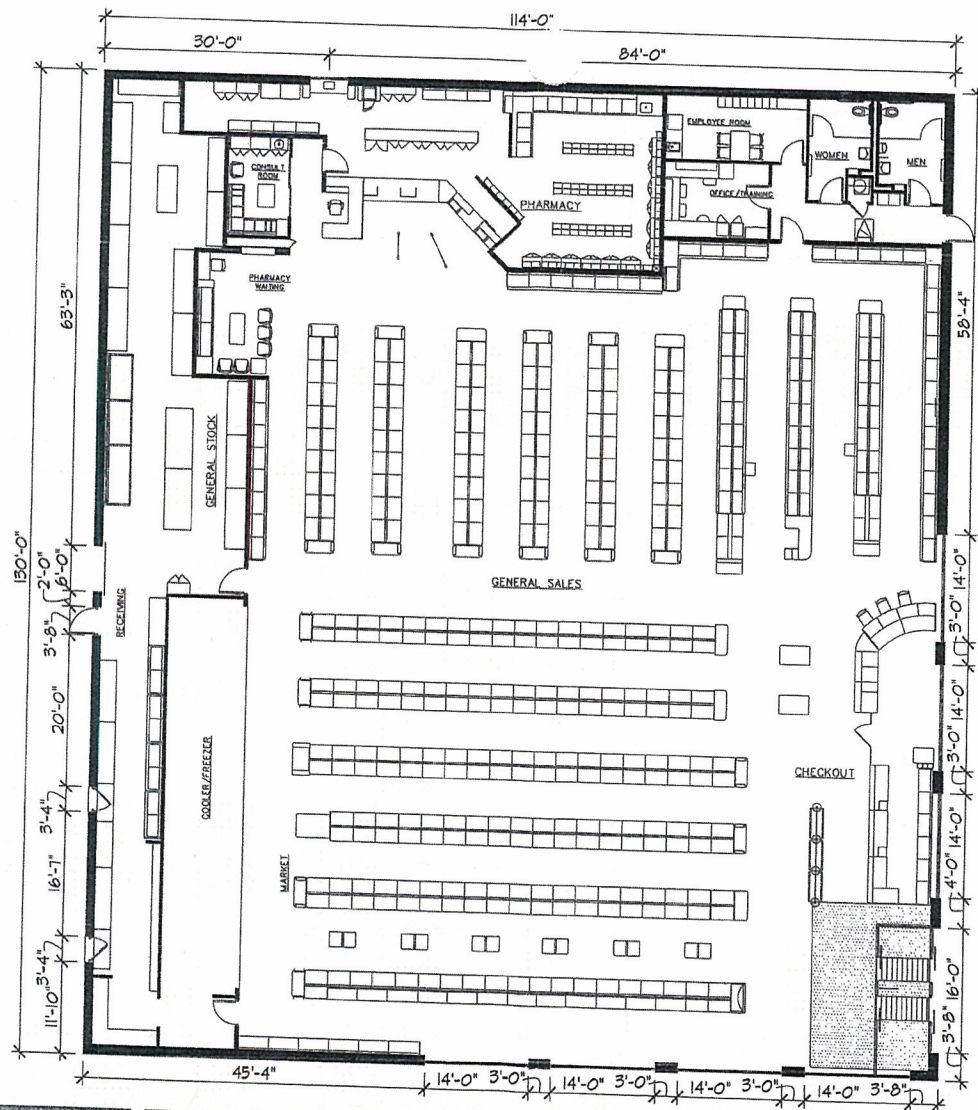
BY: _____ ATTEST: _____

BY: _____ ATTEST: _____



ROOSEVELT ROAD & COUNTY FARM ROAD

Hirsch Associates LLC
 Architecture + Planning



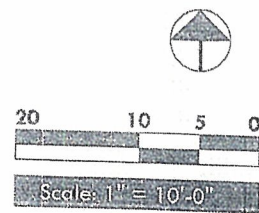
A Floor Plan

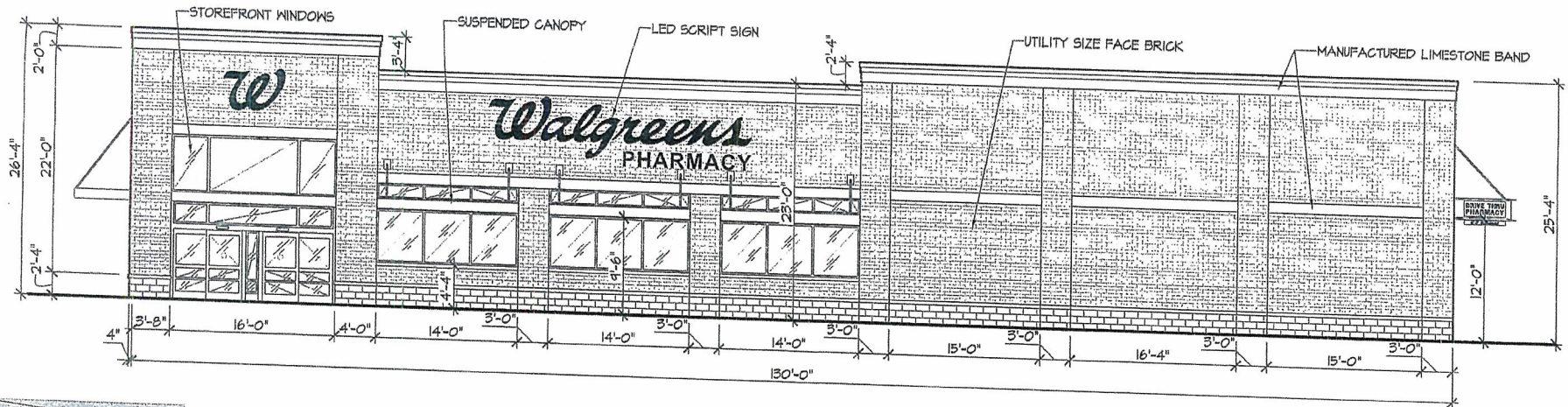
Centrum Partners

Preliminary Design
 Roosevelt Road & County Farm Road
 Wheaton, Illinois

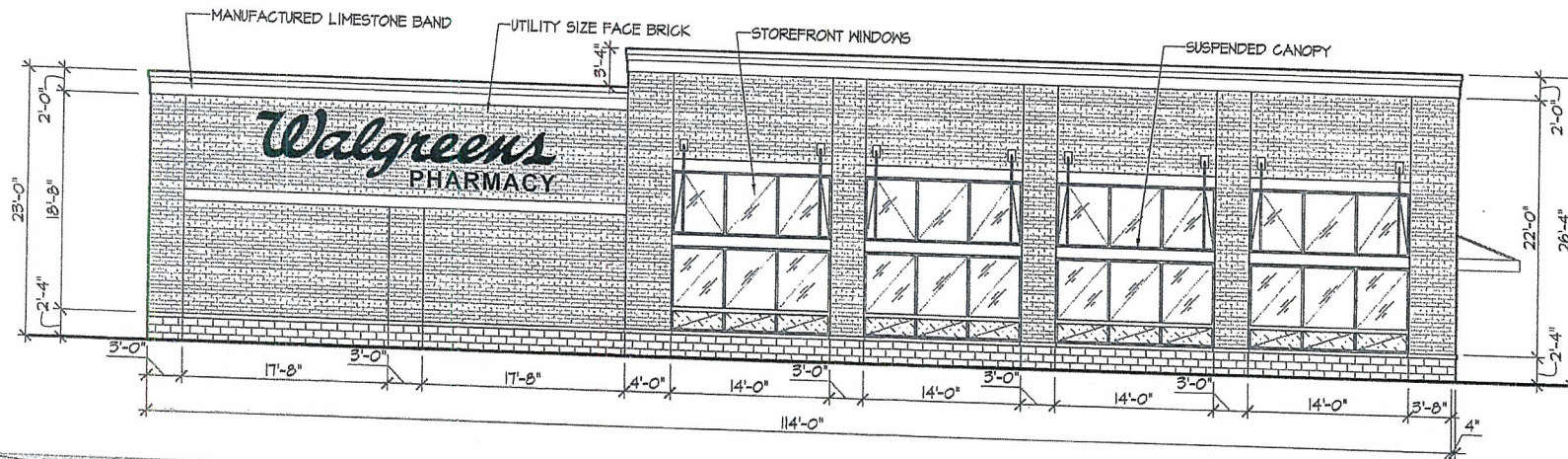
April 20, 2012
 10006
 JSD

Hirsch Associates LLC
 Architecture + Planning

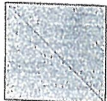
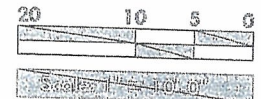




Front Elevation



Side Elevation



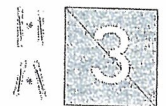
Centrum Partners

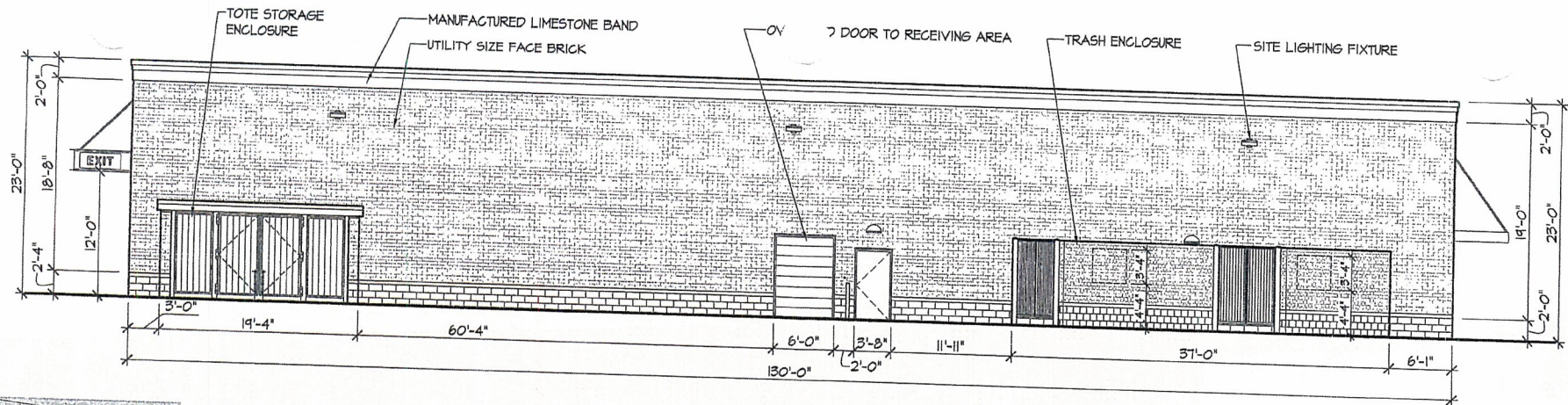
Preliminary Design

Roosevelt Road & County Farm Road
Waukegan, Illinois

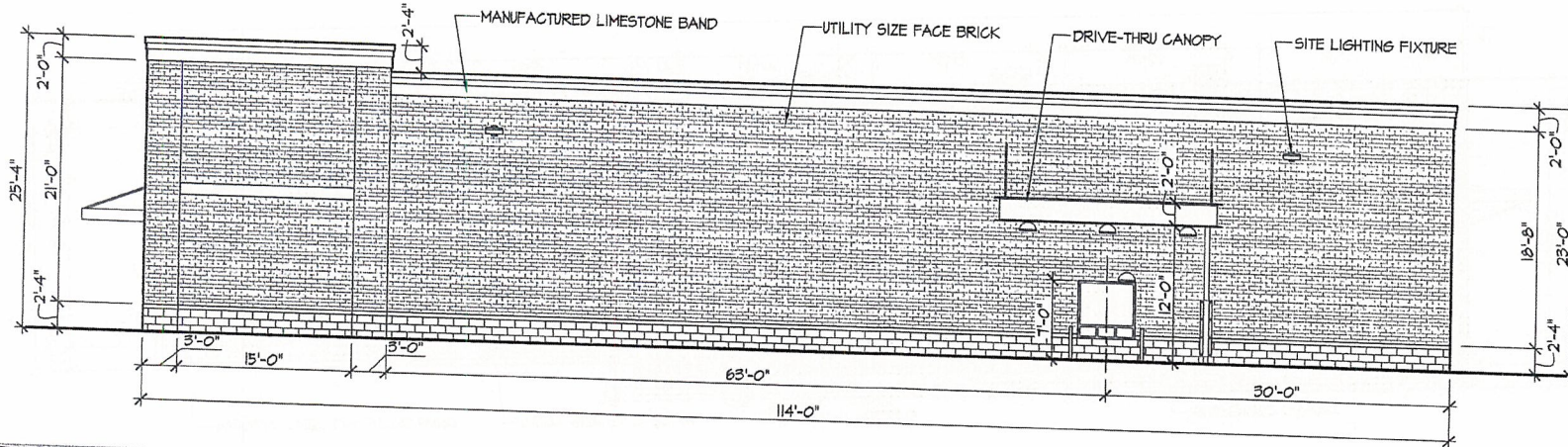
May 24, 2012
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JSD

Hirsch Associates, LLC
Architecture + Planning

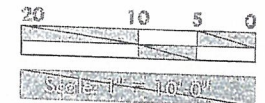




West Elevation



North Elevation

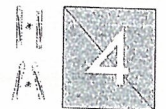


Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheeling, Illinois

April 29, 2017
10096
150

Mirsch Associates LLC
Architecture + Planning





A Rendering Looking Northwest

Centrum Partners

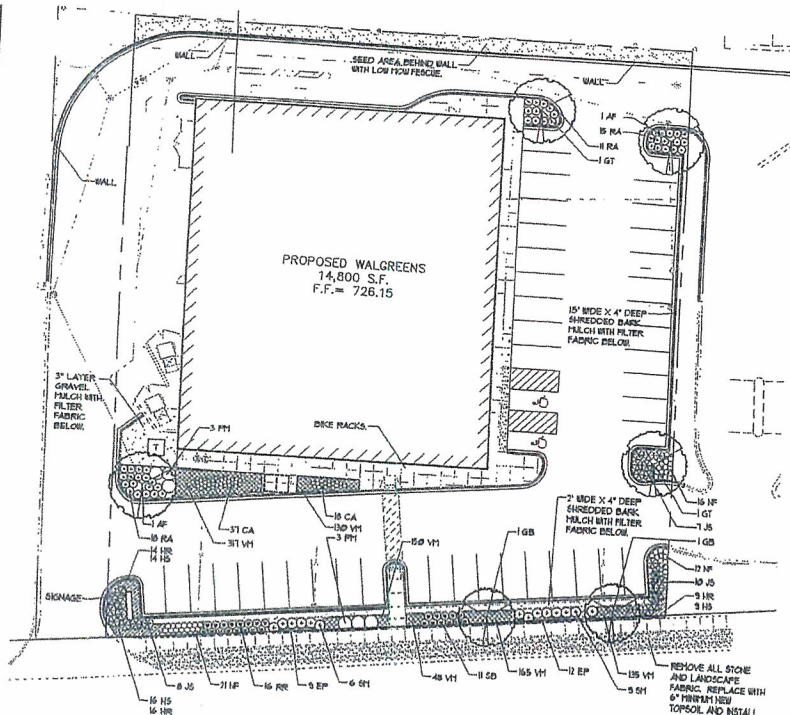
Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 20, 2012
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Hirsch Associates LLC
Architecture + Planning

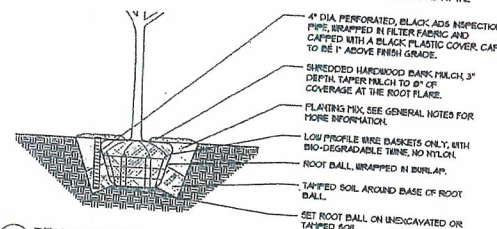


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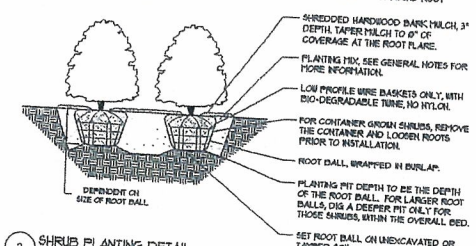
1 LANDSCAPE PLAN
SCALE: 1"=20'-0"

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12" HEIGHT, REMOVE APPROXIMATELY 85-90% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE FLUID. STRAIGHTEN TREE IF SETTLING OCCURS. CONTRACTOR TO WATER AND REMOVE TRUNK FROM AROUND ROOT FLARE OF TREE AT THE END OF THE WARRANTY PERIOD.



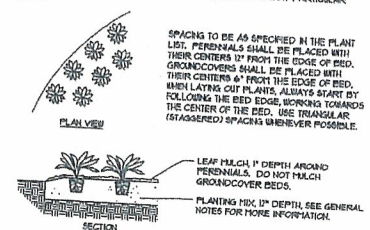
2 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. SHRUB PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST SHRUB PIT FOR DRAINAGE PRIOR TO INSTALLING LANDSCAPE ARCHITECT. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB FLUID. STRAIGHTEN SHRUB IF SETTLING OCCURS. CONTRACTOR TO WATER AND REMOVE TRUNK FROM AROUND ROOT FLARE OF SHRUB AT THE TIME OF PLANTING.



3 SHRUB PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LINTS BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

CODE	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	TOTAL	ADDITIONAL NOTES
DECIDUOUS TREES - SINGLE STEM						
AF	ACER X FRIEDMANI 'AURUM BLAZE'	AURUM BLAZE MAPLE	3" CAL.	DIB	2	BRANCHED UP 6"
GB	GINKGO BILOBA 'HALE ONLY'	GINKGO TREE	3" CAL.	BIB	2	BRANCHED UP 6"
GT	GLYCISTIA TRICANTHOS BERNIS 'KEYLINE'	SKYLINE HONEYLOCUST	3" CAL.	DIB	2	BRANCHED UP 6"
DECIDUOUS AND EVERGREEN SHRUBS						
JS	JUNIPERUS SARINA 'BUFFALO'	BUFFALO JUNIPER	30" SPD.	CONT.	28	
PI	PIRUS FARGO	FARGO PINE	48" SPD.	CONT.	6	
RA	ROSA ARCHATEA 'WRO-LAW'	WRO-LAW ROSE	3" CAL.	BIB	44	
RR	ROSA 'YADYKO'	YADYKO ROSE	3" CAL.	BIB	16	
SD	SPYRAEA BRUNIFOLIA 'TOR'	DOUBLE KNOCKOUT ROSE	3" CAL.	BIB	16	
SH	STYRAX MEYERI 'YALUDY'	YALUDY KOREAN LILAC	24" HEAMP.	BIB	16	
PERENNIALS, GRASSES AND GROUNDCOVERS						
CA	CALAMAGROSTIS ACUTIFLORA 'SCAR. FORESTER'	FEATHER REED GRASS	1 GAL.	CONT.	31	SPACED 18" O.C.
EP	ECHINACEA PURPUREA 'MAGNUS'	PURPLE CONEFLOWER	1 GAL.	CONT.	21	SPACED 18" O.C.
HR	HEPHECALIS STRELLA DE ORO	HAPPY RETURN DAYLILY	1 GAL.	CONT.	35	SPACED 18" O.C.
NE	NEPETA X PAASGENI	STELLA DE ORO DAYLILY	1 GAL.	CONT.	35	SPACED 18" O.C.
VF	VERBENA FINEST 'DARTS BLUE'	DARTS BLUE PERENNIAL	3" POTS	CONT.	48	SPACED 24" O.C.
VH	VERBENA FINEST 'DARTS BLUE'	DARTS BLUE PERENNIAL	3" POTS	CONT.	48	SPACED 24" O.C.

GREENSPACE CALCULATIONS:
PARKING LOT AREA: 32,49 SF
GREENSPACE REQUIRED (16%): 5,200 SF
GREENSPACE PROVIDED: 1,400 SF
PARKING SPACES: 44 SPACES
TREES REQUIRED (100 SPACES): 22
PARKING LOT TREES PROVIDED: 4

TREE REPLACEMENTS
NO TREE REPLACEMENTS ARE REQUIRED, SEE TREE SURVEY, SHEET LT-10.

DANIEL WEINBACH
&
PARTNERS, LTD.
Landscape Architects

93 W. Jackson Blvd.
Suite 250
Chicago, IL 60604
312.427.2888
www.dwpd.com

Revisions	
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Project

WALGREENS

2781 ROOSEVELT ROAD
CHICAGO, ILLINOIS

Sheet Title

LANDSCAPE PLAN AND DETAILS

Date: 04/17/12
Scale: 1"=20'-0"
Drawn By: WDS
Approved: WDS

Project No.: 04/12-117
Sheet No.: L-1.0



DANIEL WEINBACH
&
PARTNERS, LTD.

Landscape Architects

53 W. Jackson Blvd.
Suite 210
Chicago, IL 60604
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www.dwpil.com



TREES TO BE REMOVED

TREE SURVEY

TREE NO.	SPECIES	SIZE	CONDITION
#1	ASH	10" CAL.	GOOD
#2	ASH	8" CAL.	GOOD
#3	ASH	17" CAL.	GOOD
#4	ASH	17" CAL.	GOOD
#5	CHINESE ELM	12" CAL.	POOR
#6	DEAD	6" CAL.	DEAD
#7	DEAD	7" CAL.	DEAD
#8	CHINESE ELM	12" CAL.	POOR
#9	DEAD	8" CAL.	DEAD
#10	MAPLE	8" CAL.	POOR
#11	MAPLE	8" CAL.	POOR
#12	MAPLE	7" CAL.	POOR
#13	MAPLE	8" CAL.	POOR
#14	CHINESE ELM	12" CAL.	POOR
#15	DEAD	7" CAL.	DEAD
#16	POPLAR	8" CAL.	POOR
#17	MAPLE	10" CAL.	POOR
#18	MAPLE	13" CAL.	POOR
#19	DEAD	5" CAL.	DEAD
#20	CHINESE ELM	8" CAL.	POOR
#21	MAPLE	7" CAL.	POOR
#22	CHINESE ELM	6" CAL.	POOR

DUE TO THE POOR QUALITY OF THE TREES
TO BE REMOVED THERE ARE NO
REPLACEMENT TREES REQUIRED.

Revisions

8.

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2. RE-ISSUED FOR CITY
APPROVAL

6/01/11/12

1. ISSUED FOR CITY APPROVAL 04/20/12

Project

WALGREENS

2191 ROOSEVELT ROAD
CHICAGO, ILLINOIS

Sheet Title

TREE SURVEY

Date

04/17/12

Project No.

DWP 12-117

Scale

AS SHOWN

Sheet No.

Drawn By

MBH

Approved

WIS

LT-1.0

ARCHITECT:
HIRSCH ASSOCIATES LLC
225 WEST HUBBARD STREET, 5TH FLOOR
CHICAGO, ILLINOIS 60654
312-836-0011

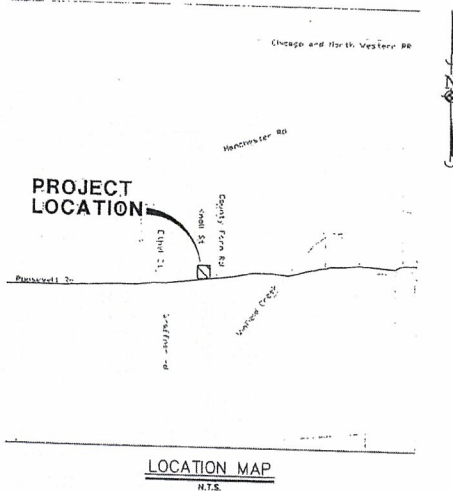
PROPOSED WALGREENS STORE

STANDARD SYMBOLS

PROPOSED

STORM SEWER
 SANITARY SEWER
 DRAINAGE
 WATER MAIN
 ELECTRIC
 GAS
 TELEPHONE
 SANITARY MANHOLE
 STEERING MANHOLE
 CATCH BASIN
 STORM INLET
 CLEANOUT
 HAY BALES
 RIP RAP
 VALVE IN VAULT
 VALVE IN BOX
 FIRE HYDRANT
 BUFFALO BOX
 FLANGE END SECTION
 STREET LIGHT
 DOWNT
 LOW POINT
 RM ELEVATION
 HYDRA ELEVATION
 DITCH OR SWALE
 DIRECTION OF FLOW
 OVERFLOW RELIEF SHALE
 1 FOOT CONTOURS
 EXPOSED
 EXPOSED
 REVERSE CURB
 AND SUTURE
 SIDEWALK
 H.C. ACCESSIBLE RAMP
 PROPERTY LINE
 EASEMENT LINE
 SETBACK LINE
 MAIL BOX
 SON
 PLASTIC SIGNAL
 POWER POLE
 GUY WIRE
 GAS VALVE
 MANHOLE
 ELECTRICAL EQUIPMENT
 TELEPHONE EQUIPMENT
 CHAIN-LINK FENCE
 SPOT ELEVATION
 BRUSH/WEED LINE
 DECIDUOUS TREE MAX
 THINER DIA. IN INCHES (1/8")
 CONTOURIOUS WITH
 HEIGHT IN FEET (10')
 SILT FENCE
 RETAINING WALL
 WELAND

ABBREVIATIONS

[illegible]

INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
C1	TITLE SHEET
C2	EXISTING CONDITIONS AND DEMOLITION PLAN
C3	SITE DIMENSIONAL AND PAVING PLAN
C4	GRADING PLAN
C5	ACCESSIBLE GRADING PLAN
C7	UTILITY PLAN
C6	SOIL EROSION & SEDIMENT CONTROL PLAN
C8	CONSTRUCTION DETAILS
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION SPECIFICATIONS

BENCHMARKS:

SOURCE BENCHMARK:
DUPAGE COUNTY BENCHMARK M118005: DISK IN
CONCRETE FOUND APPROXIMATELY 76' WEST OF THE
EDGE OF PAVEMENT OF COUNTY FARM ROAD AND
80.6' NORTH OF THE EDGE OF PAVEMENT OF
MANCHESTER ROAD.

SITE BENCHMARK:
ARROW BOLT ON FIRE HYDRANT LOCATED AT THE
NORTHEAST CORNER OF VACATED KNOLLWOOD
STREET AND ROOSEVELT ROAD (SOUTHWEST CORNER
OF SITE).
ELEVATION = 728.27

ELEVATION = 730.43

ELEVATION = 728.27

NOTES:

1. THE TOPOGRAPHY SURVEY FOR THIS PROJECT IS BASED ON A FIELD SURVEY PREPARED BY MANHARD CONSULTING AND WAS PERFORMED ON MARCH 27TH, 2012. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY MANHARD CONSULTING AND THE CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

UTILITY CONTACTS		
MUNICIPALITY:	CITY ENGINEER:	SANITARY SEWER:
CITY OF WHEATON	WHEATON CITY HALL	WHEATON SANITARY DISTRICT
WHEATON CITY HALL	303 WEST NESTLY STREET	PO BOX 626
303 WEST NESTLY STREET	PO BOX 727	WHEATON, IL 60189
WHEATON, IL 60189	WHEATON, IL 60187	(630) 668-1515
	(630) 260-2655	CONTACT: DAVE VINCENT
	CONTACT: PAUL REDMAN	
WATER:	STORM SEWER:	
CITY OF WHEATON	CITY OF WHEATON	TELEPHONE:
PUBLIC WORKS BUILDING	PUBLIC WORKS BUILDING	SRG
821 WEST LEXITY DRIVE	821 WEST LEXITY DRIVE	405 S. MITCHELL COURT FLOOR
WHEATON, IL 60187	WHEATON, IL 60187	ADDON, IL 60101
(630) 260-2907	(630) 260-2907	(630) 668-1515
CONTACT: AL MCURRIEN	CONTACT: MIKE JANOWSKI	CONTACT: TOM QUATROCCHI
CLERK:	ELECTRIC:	
NO	COMED	
90 N. FINLEY ROAD	630 437-2236 (PH)	
GLEN ELLIN, IL 60137	630 437-2354 (FX)	
(630) 696-1634 x 218	CONTACT: TOM STUTZMAN	
CONTACT: RYAN BOWEN		

MANHARD CONSULTING, LTD. IS NOT RESPONSIBLE FOR THE SAFETY OF ANY PARTY AT OR ON THE CONSTRUCTION SITE. SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ANY OTHER PERSON OR ENTITY PERFORMING WORK OR SERVICES. NEITHER THE OWNER NOR ENGINEER ASSUMES ANY RESPONSIBILITY FOR THE JOB SITE SAFETY OF PERSONS ENGAGED IN THE WORK OR THE MEANS OR METHODS OF CONSTRUCTION.



BEFORE YOU DIG
IN CHICAGO,
CALL...

DIGGER

(312) 744-7000

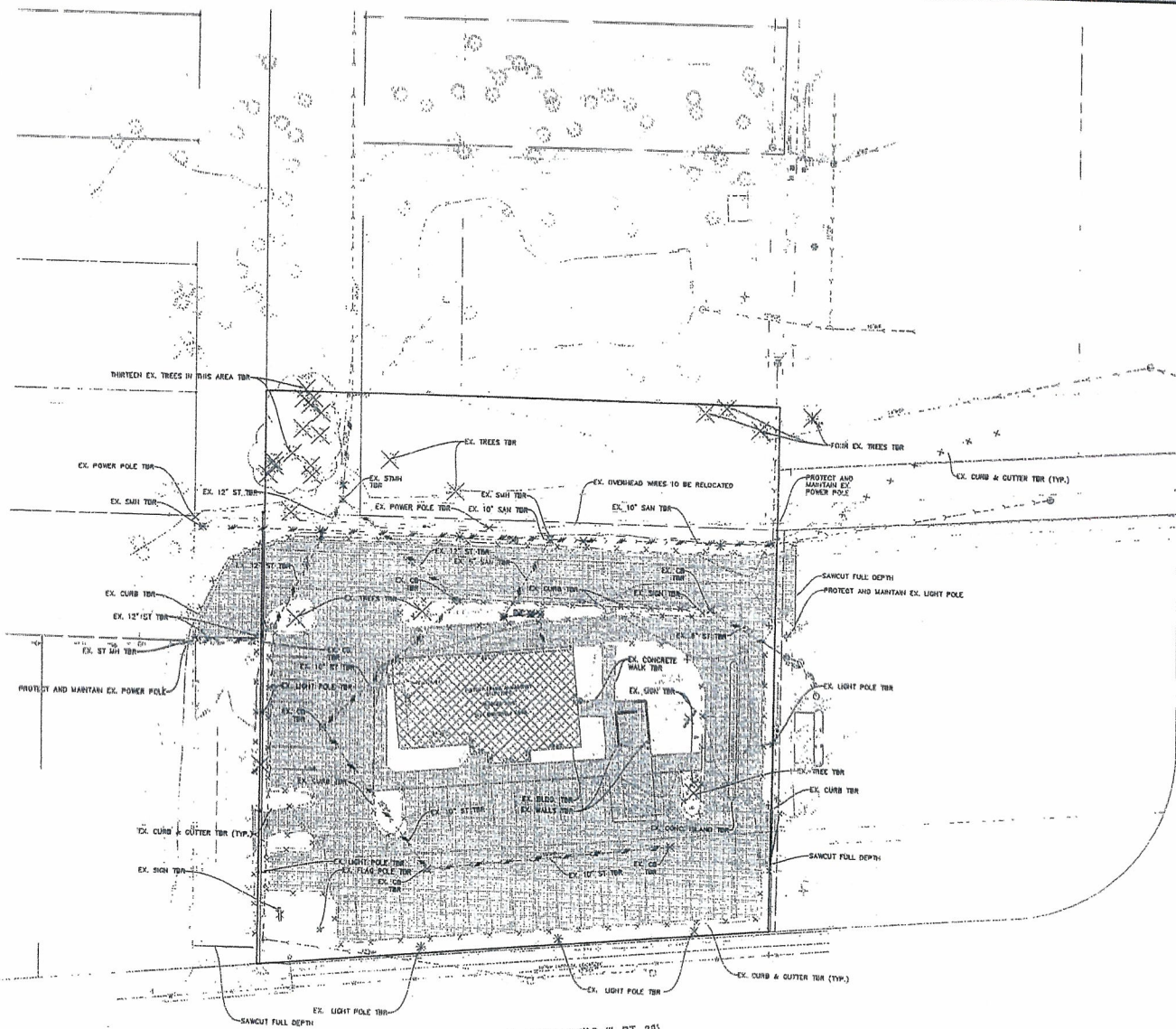
Manhard
CONSULTING LTD.
3000 Avenue 16, Suite 111, St. John, N.W. 1A7 3S6
Construction Management • Transportation Services • Landmark Assessment • Engineering

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS AS DESIGNATED BY MY HAND AND SEAL.

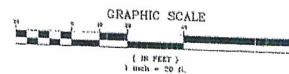
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C1	SCALE: _____	DATE: _____	TITLE SHEET STORE NUMBER WALGREENS 2191 W ROOSEVELT RD CITY OF WHEATON, ILL.
	DRAWN BY: REH	04-11-12	

PENDING APPROVAL - NOT FOR CONSTRUCTION



ROOSEVELT ROAD (IL RT. 38)



DEMOLITION LEGEND

- PAVEMENT AND BASE TO BE REMOVED
- BUILDING TO BE REMOVED
- X X X
FENCE, RETAINING WALL, RAILROAD TIES, CURB AND GUTTER, ETC.
TO BE REMOVED
- X
UTILITY STRUCTURE TO BE REMOVED
- X X X
UTILITY LINE TO BE REMOVED/ABANDONED
- X
TREE TO BE REMOVED
- (TREE)
TO BE REMOVED
- X
CHAIN LINK FENCE

NOTES

1. CONTRACTOR TO INSTALL CONSTRUCTION FENCE AS NECESSARY OR AS REQUIRED BY MUNICIPALITY.
2. ANY EXISTING SANITARY SERVICE LINES SHOULD BE ABANDONED AND PLUGGED AT THE MAIN. THIS SHOULD BE DONE BY REMOVING THE WYE ON THE COLLECTION PIPE AND REPLACING IT WITH A 12" DUCTILE IRON PIPE AND MISCELL COUPLINGS.
3. ANY EXISTING WATER SERVICE LINES SHALL BE ABANDONED AND PLUGGED AT THE MAIN BY THE CONTRACTOR USING A STANDARD WATER STOP. THE SHUT OFF AT THE WATER MAIN BY THE MAIN WORK SHALL BE SCHEDULED WITH THE CITY OF CHICAGO WATER DIVISION AS A PRIORITY. THE CONTRACTOR SHALL PROVIDE AT LEAST 14 DAYS NOTICE PRIOR TO THE SHUTDOWN TO ALL BUSINESSES AND RESIDENCES AFFECTED BY THE WATER SHUT OFF.
4. CONTRACTOR IS RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FROM DUPAGE COUNTY FOR WATER MAIN WORK WITHIN THE A.O.T.

Manhard Consulting, Inc.
25 Westlake Parkway, Suite 300, Chaska, MN 55309
Tel: 952-461-1234 Fax: 952-461-1235
www.manhard.com
Professional Engineers • Construction Management • Construction Management Services • Construction Management Services • Construction Management Services

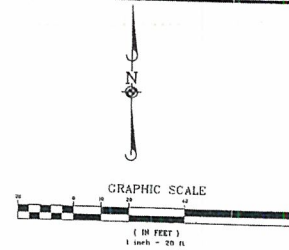
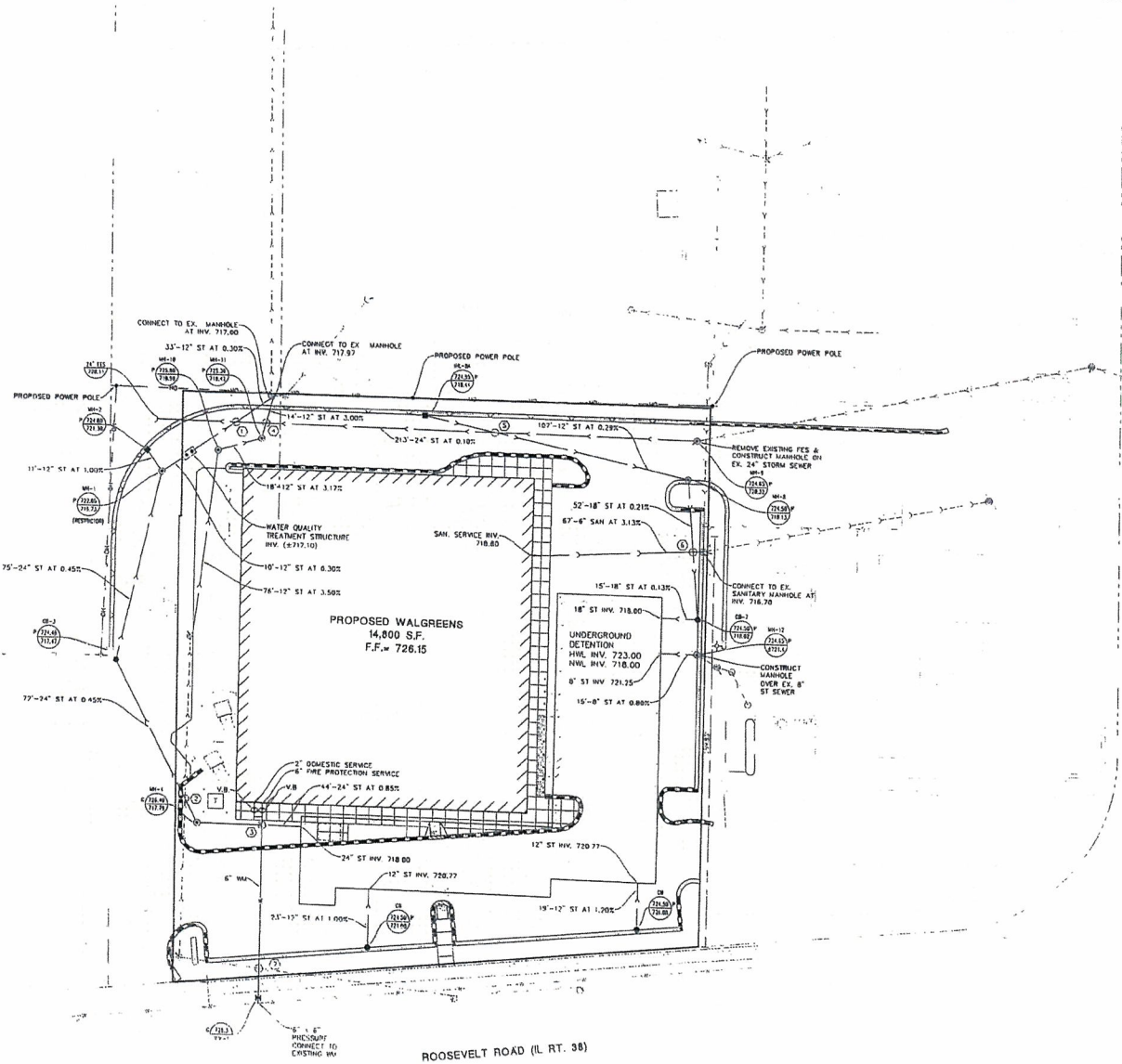
HONOLY CERTIFY THAT
THESE PLANS AND
SPECIFICATIONS WERE
PREPARED BY ME OR
UNDER MY DIRECT
SUPERVISION AND THAT I
AM A DULY REGISTERED
PROJECTOR OR ENGINEER
UNDER THE LAWS OF THE
STATE OF ALABAMA AS
CERTIFIED BY MY HAND AND
SEAL.

[illegible]

C2	SCALE: 1" = 20'	STORE NUMBER
	DRAWN BY: RSH	WAL GREENS 2191 W. ROOSEVELT ROAD CITY OF WHEATON, ILLINOIS
DATE: Oct-12		

PENDING APPROVAL - NOT FOR CONSTRUCTION

PENDING APPROVAL - NOT FOR CONSTRUCTION



SITE AREA = 1.05 AC
 ON-SITE DETENTION REQUIRED = 0.78 AC-FT
 ON-SITE DETENTION PROVIDED = 0.78 AC-FT

- NOTES
1. ALL DUCTILE IRON WATERMAIN AND FITTINGS TO BE ENCASED WITH CLASS C, BLACK OR CLEAR 8 MLL UNITS LOW DENSITY POLYETHYLENE WRAP SECURED WITH POLYETHYLENE TAPE PER CITY OF WHEATON SPECIFICATIONS (SEE SHEET 3).
 2. CITY OF WHEATON TO PERFORM THE PRESSURE CONNECTION CONTRACTOR TO SECURE PERMIT FOR WORK WHEN THE DUPAGE COUNTY P.O.C. AND INSTALL ALL 6" WATERMAIN.
 3. ALL WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS, CURRENT EDITION.

UTILITY CROSSINGS

- ① ST OVER ST
8"/P 24" ST = 719.91
1"/P 12" ST = 718.28
- ② ST OVER ST
8"/P ST = 721.76
1"/P ST = 719.86
- ③ ST OVER HW
8"/P ST = 717.64
1"/P HW = 715.65
- ④ ST OVER ST
8"/P 24" ST = 719.91
1"/P 12" ST = 718.12
- ⑤ ST OVER ST
8"/P 24" ST = 720.04
1"/P 12" ST = 718.56
- ⑥ ST OVER SAN
8"/P ST = 717.88
1"/P SAN = 717.52
- ⑦ ST OVER HW
8"/P ST = 722.59
1"/P HW = 720.01

* SEWER TO BE WATER MAIN QUALITY PIPE FOR 10' SEPARATION AND PIPE MATERIAL REQUIREMENTS (SEE DETAIL SHEET FOR MORE INFORMATION AND ALTERNATIVE CROSSING METHODS)

NOTE: CONTRACTOR TO FIELD VERIFY ELEVATIONS OF EX UTILITIES AT ALL CROSSINGS PRIOR TO CONSTRUCTION



WE HEREBY CERTIFY THAT THIS PLAN AND WAS PREPARED BY ME OR UNDER MY SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF ILLINOIS.

NO.	DATE	BY	REVISIONS
1	04/11/12	WAL GREENS	ISSUED FOR PLAN
2	04/12/12	WAL GREENS	REVISED FOR PLAN
3	04/12/12	WAL GREENS	REVISED FOR PLAN

UTILITY PLAN

SCALE 1" = 20'

STORE NUMBER

DRAWN BY JEBEL

DATE 04/11/12

WAL GREENS

2181 W ROOSEVELT ROAD

CITY OF WHEATON, ILLINOIS

C6

PENDING APPROVAL - NOT FOR CONSTRUCTION

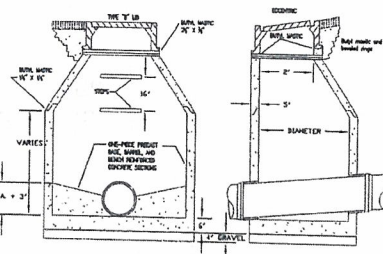
For more information, refer to "Standard Specifications for Water and Sewer Main Construction in New York," May 1994, Sections 40 and 41 [OR REUSE WORKING DRAWING]
For more information, refer to "Standard Specifications for Road and Bridge Construction," adopted January 1, 2002.

1. Surface Mineable materials

A. In pond and paddy areas: March 2-1772-C (200 ha.) or E.M. 1022-3 (370 ha.). Either one shall have a solid M.

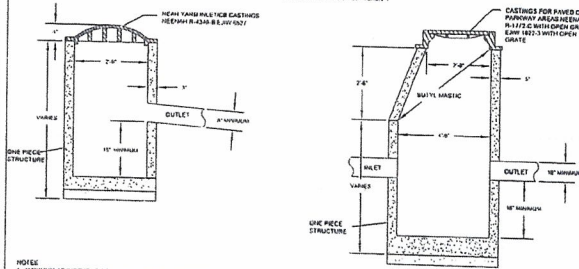
B. In hillside areas: March 2-1772-B (200 ha.) or E.M. 1022-2 (150 ha.)

- [illegible]



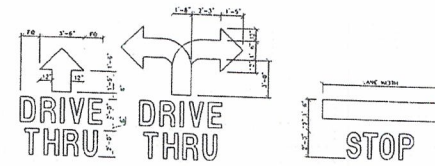
CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 7
DATE: 01-17-00 www.masonry-masters.org

For more information call "Standard Specifications for Road and Bridge Construction", LATEST VERSION



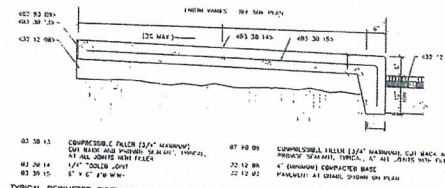
3. MAXIMUM ABUSEMENT OF 8" USING 2 RUBBER RIDGES AND 16 METAL RIDGE RINGS ON PNEUMATIC WHEELS
4. NO JERKS (PITCH OR ROLL); SMOOTH TURNING AND CASING; AND NO PITCH OR ROLL IN ANY POSITION; FAIR BATH; GASTET EQUAL
5. TURNING AND THE TURNER IS 1/2 INCHES OVER AND THREE EIGHTS (3/8) INCHES THICK ON APPROXIMATE
6. NO ROLL IS NOT ALLOWED;
7. FOUR (4) TUB BANNER CATCH BATH STRUCTURES WHICH EXCEED A DEPTH OF FOUR (4) FEET SHALL HAVE FOUR (4) VERTICAL PLAS TICS (2"X4"X8'X12'X16'X20'X24'X28'X32'X36'X40'X44'X48'X52'X56'X60'X64'X68'X72'X76'X80'X84'X88'X92'X96'X100'X104'X108'X112'X116'X120'X124'X128'X132'X136'X140'X144'X148'X152'X156'X160'X164'X168'X172'X176'X180'X184'X188'X192'X196'X200'X204'X208'X212'X216'X220'X224'X228'X232'X236'X240'X244'X248'X252'X256'X260'X264'X268'X272'X276'X280'X284'X288'X292'X296'X300'X304'X308'X312'X316'X320'X324'X328'X332'X336'X340'X344'X348'X352'X356'X360'X364'X368'X372'X376'X380'X384'X388'X392'X396'X400'X404'X408'X412'X416'X420'X424'X428'X432'X436'X440'X444'X448'X452'X456'X460'X464'X468'X472'X476'X480'X484'X488'X492'X496'X500'X504'X508'X512'X516'X520'X524'X528'X532'X536'X540'X544'X548'X552'X556'X560'X564'X568'X572'X576'X580'X584'X588'X592'X596'X600'X604'X608'X612'X616'X620'X624'X628'X632'X636'X640'X644'X648'X652'X656'X660'X664'X668'X672'X676'X680'X684'X688'X692'X696'X700'X704'X708'X712'X716'X720'X724'X728'X732'X736'X740'X744'X748'X752'X756'X760'X764'X768'X772'X776'X780'X784'X788'X792'X796'X800'X804'X808'X812'X816'X820'X824'X828'X832'X836'X840'X844'X848'X852'X856'X860'X864'X868'X872'X876'X880'X884'X888'X892'X896'X900'X904'X908'X912'X916'X920'X924'X928'X932'X936'X940'X944'X948'X952'X956'X960'X964'X968'X972'X976'X980'X984'X988'X992'X996'X1000'X1004'X1008'X1012'X1016'X1020'X1024'X1028'X1032'X1036'X1040'X1044'X1048'X1052'X1056'X1060'X1064'X1068'X1072'X1076'X1080'X1084'X1088'X1092'X1096'X1100'X1104'X1108'X1112'X1116'X1120'X1124'X1128'X1132'X1136'X1140'X1144'X1148'X1152'X1156'X1160'X1164'X1168'X1172'X1176'X1180'X1184'X1188'X1192'X1196'X1200'X1204'X1208'X1212'X1216'X1220'X1224'X1228'X1232'X1236'X1240'X1244'X1248'X1252'X1256'X1260'X1264'X1268'X1272'X1276'X1280'X1284'X1288'X1292'X1296'X1300'X1304'X1308'X1312'X1316'X1320'X1324'X1328'X1332'X1336'X1340'X1344'X1348'X1352'X1356'X1360'X1364'X1368'X1372'X1376'X1380'X1384'X1388'X1392'X1396'X1400'X1404'X1408'X1412'X1416'X1420'X1424'X1428'X1432'X1436'X1440'X1444'X1448'X1452'X1456'X1460'X1464'X1468'X1472'X1476'X1480'X1484'X1488'X1492'X1496'X1500'X1504'X1508'X1512'X1516'X1520'X1524'X1528'X1532'X1536'X1540'X1544'X1548'X1552'X1556'X1560'X1564'X1568'X1572'X1576'X1580'X1584'X1588'X1592'X1596'X1600'X1604'X1608'X1612'X1616'X1620'X1624'X1628'X1632'X1636'X1640'X1644'X1648'X1652'X1656'X1660'X1664'X1668'X1672'X1676'X1680'X1684'X1688'X1692'X1696'X1700'X1704'X1708'X1712'X1716'X1720'X1724'X1728'X1732'X1736'X1740'X1744'X1748'X1752'X1756'X1760'X1764'X1768'X1772'X1776'X1780'X1784'X1788'X1792'X1796'X1800'X1804'X1808'X1812'X1816'X1820'X1824'X1828'X1832'X1836'X1840'X1844'X1848'X1852'X1856'X1860'X1864'X1868'X1872'X1876'X1880'X1884'X1888'X1892'X1896'X1900'X1904'X1908'X1912'X1916'X1920'X1924'X1928'X1932'X1936'X1940'X1944'X1948'X1952'X1956'X1960'X1964'X1968'X1972'X1976'X1980'X1984'X1988'X1992'X1996'X2000'X2004'X2008'X2012'X2016'X2020'X2024'X2028'X2032'X2036'X2040'X2044'X2048'X2052'X2056'X2060'X2064'X2068'X2072'X2076'X2080'X2084'X2088'X2092'X2096'X2100'X2104'X2108'X2112'X2116'X2120'X2124'X2128'X2132'X2136'X2140'X2144'X2148'X2152'X2156'X2160'X2164'X2168'X2172'X2176'X2180'X2184'X2188'X2192'X2196'X2200'X2204'X2208'X2212'X2216'X2220'X2224'X2228'X2232'X2236'X2240'X2244'X2248'X2252'X2256'X2260'X2264'X2268'X2272'X2276'X2280'X2284'X2288'X2292'X2296'X2300'X2304'X2308'X2312'X2316'X2320'X2324'X2328'X2332'X2336'X2340'X2344'X2348'X2352'X2356'X2360'X2364'X2368'X2372'X2376'X2380'X2384'X2388'X2392'X2396'X2400'X2404'X2408'X2412'X2416'X2420'X2424'X2428'X2432'X2436'X2440'X2444'X2448'X2452'X2456'X2460'X2464'X2468'X2472'X2476'X2480'X2484'X2488'X2492'X2496'X2500'X2504'X2508'X2512'X2516'X2520'X2524'X2528'X2532'X2536'X2540'X2544'X2548'X2552'X2556'X2560'X2564'X2568'X2572'X2576'X2580'X2584'X2588'X2592'X2596'X2600'X2604'X2608'X2612'X2616'X2620'X2624'X2628'X2632'X2636'X2640'X2644'X2648'X2652'X2656'X2660'X2664'X2668'X2672'X2676'X2680'X2684'X2688'X2692'X2696'X2700'X2704'X2708'X2712'X2716'X2720'X2724'X2728'X2732'X2736'X2740'X2744'X2748'X2752'X2756'X2760'X2764'X2768'X2772'X2776'X2780'X27

CITY OF WHEATON
DESIGN DETAILS AND STANDARDS
FIGURE # 12
DATE 8/16/03 FILENAME: C:\wheaton\...

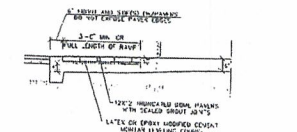


NOTES
1 PAINT COLOR TO BE "LILAC" FOR ARROW AND LL11115 "DUNE SAND" AND "SILVER LL11115 TO BE ELONGATED HELIX/CAT W/DM, 4" WIDE STRIKE
2 PAINT 2" BLACK OUTLINE AROUND ARROW AND LETTERS FOR PROJECTS WITH CONCRETE PARKING LOTS.

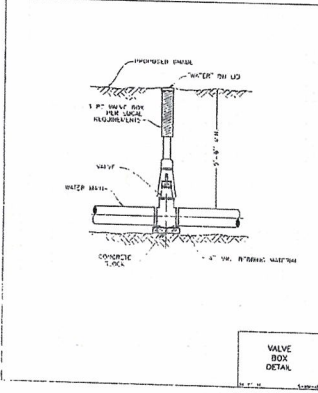
PAVEMENT PAINTING DETAILS
N.T.S. WALGREENS DETAILS



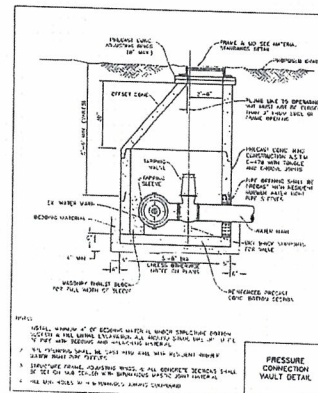
TYPICAL PERIMETER SIDEWALK SECTION



DETECTABLE WARNING SECTION



VALVE
BOX
DETAIL



PRESSURE
CONNECT
VAULT DE

[illegible]

CURB RAMPS FOR SIDEWALKS
DOT STANDARD 424001-03

Technical drawing showing the design details for curb ramps for sidewalks, including plan and side views, and a cross-section detail.

LEGEND:

- 1. Curb Ramp
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DESIGN DETAILS AND DIMENSIONS

FIGURE 4-8

DOT STANDARD 424001-03

[illegible]

CATCH BASIN WITH FRAME AND GRATE FOR INLET

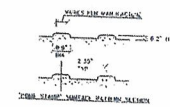
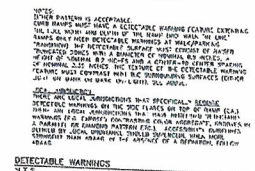
FOR THE PREPARATION OF THE BASIN DESIGN WITH THE FRAME AND GRATE FOR INLET

FOR THE PREPARATION OF THE BASIN DESIGN WITH THE FRAME AND GRATE FOR INLET

NOTES:

1. THE BASIN SHALL BE DESIGNED TO BE USED AS A CATCH BASIN FOR THE INLET OF THE MAIN DRAINAGE SYSTEM.
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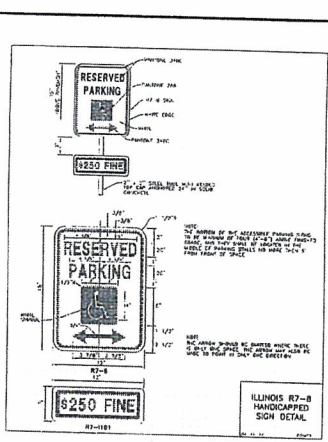
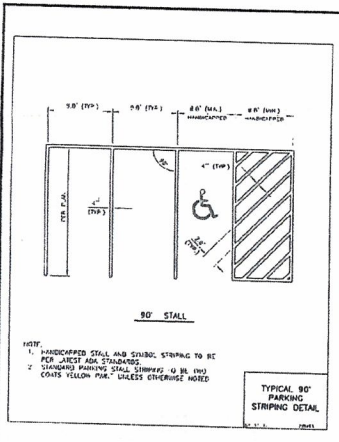
CITY OF WHEATON
 DESIGN DETAILS AND STANDARDS
 FIGURE 2-20
 FOR APPROVED CLASSIFICATION

[illegible]

WALGREENS DETAIL

[illegible]

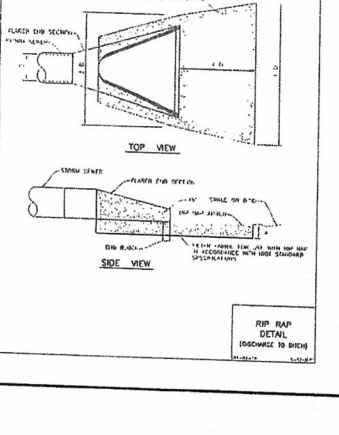
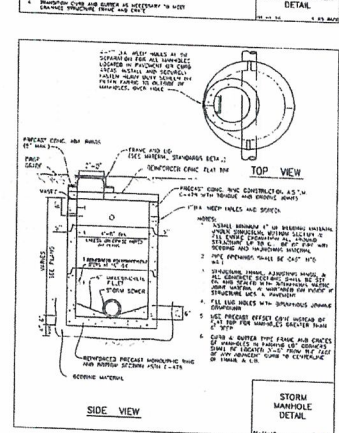
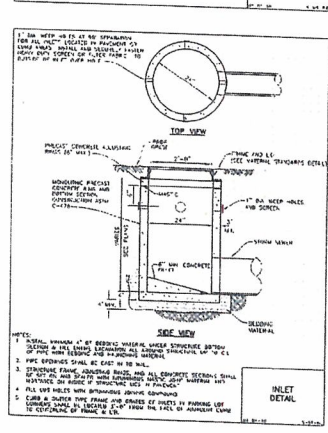
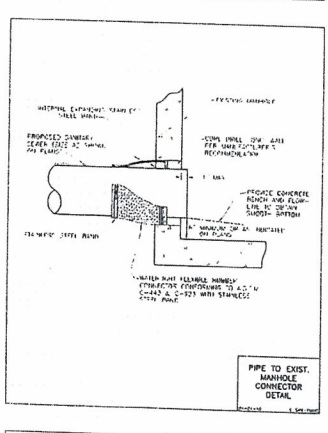
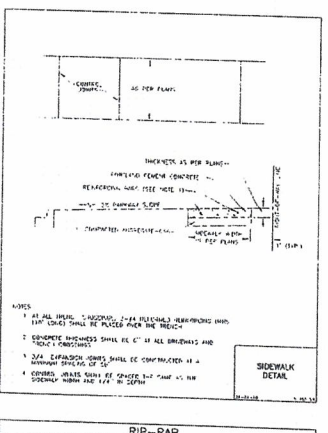
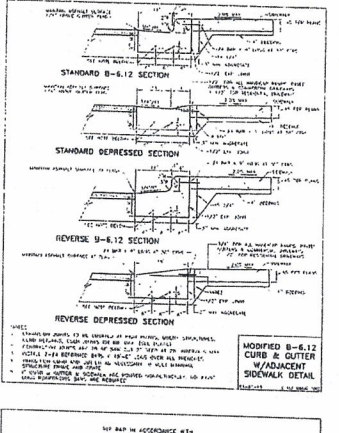
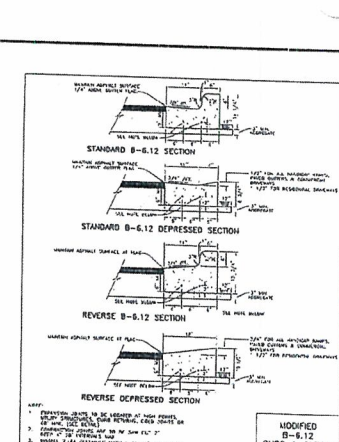
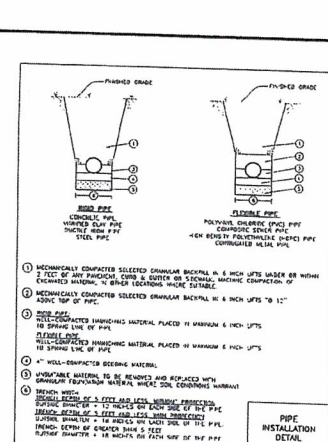
	PENDING APPROVAL - NOT FOR CONSTRUCTION
--	---



MATERIAL STANDARDS

ITEM	DESCRIPTION	QUANTITY
1.0	RESERVED PARKING SIGN	1
1.1	6250 FINE SIGN	1
1.2	ILLINOIS R7-B HANDICAPPED SIGN	1
1.3	RESERVED PARKING SIGN	1
1.4	6250 FINE SIGN	1
1.5	ILLINOIS R7-B HANDICAPPED SIGN	1
1.6	RESERVED PARKING SIGN	1
1.7	6250 FINE SIGN	1
1.8	ILLINOIS R7-B HANDICAPPED SIGN	1
1.9	RESERVED PARKING SIGN	1
1.10	6250 FINE SIGN	1
1.11	ILLINOIS R7-B HANDICAPPED SIGN	1
1.12	RESERVED PARKING SIGN	1
1.13	6250 FINE SIGN	1
1.14	ILLINOIS R7-B HANDICAPPED SIGN	1
1.15	RESERVED PARKING SIGN	1
1.16	6250 FINE SIGN	1
1.17	ILLINOIS R7-B HANDICAPPED SIGN	1
1.18	RESERVED PARKING SIGN	1
1.19	6250 FINE SIGN	1
1.20	ILLINOIS R7-B HANDICAPPED SIGN	1

MATERIAL STANDARDS



STONE RIP-RAP BEDDING

PIPE DIAMETER (IN)	STONE SIZE (IN)	STONE THICKNESS (IN)	STONE WIDTH (IN)	STONE LENGTH (IN)	STONE AREA (SQ FT)	STONE VOLUME (CU YD)
12"	3"	8"	5"	1-50	10	4.5"
15"	3"	8"	5"	1-50	10	4.5"
18"	3"	8"	5"	1-50	10	4.5"
21"	3"	8"	5"	1-50	10	4.5"
24"	3"	8"	5"	1-50	10	4.5"
27"	3"	8"	5"	1-50	10	4.5"
30"	3"	8"	5"	1-50	10	4.5"
36"	3"	8"	5"	1-50	10	4.5"
42"	3"	8"	5"	1-50	10	4.5"
48"	3"	8"	5"	1-50	10	4.5"
54"	3"	8"	5"	1-50	10	4.5"
60"	3"	8"	5"	1-50	10	4.5"
66"	3"	8"	5"	1-50	10	4.5"
72"	3"	8"	5"	1-50	10	4.5"

STONE RIP-RAP DETAIL

STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.

41-2.01 PROTECTION OF WATER MAIN AND WATER SERVICE LINES

41-2.01A GENERAL

Water mains and water service lines shall be protected from damage by excavation, drilling, boring, or any other operation. The protection shall be in accordance with the following specifications:

(1) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

(2) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

(3) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

41-2.01B HORIZONTAL SEPARATION - WATER MAINS AND SEWERS

(1) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

(2) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

(3) Water mains shall be located at least 180 feet (51 m) horizontally from any excavation or operation. When water mains are located within 180 feet (51 m) of an excavation or operation, the water main shall be protected by a trench box or other equivalent protection.

WATER AND SEWER SEPARATION REQUIREMENTS (HORIZONTAL SEPARATION)

STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS, LATEST EDITION.

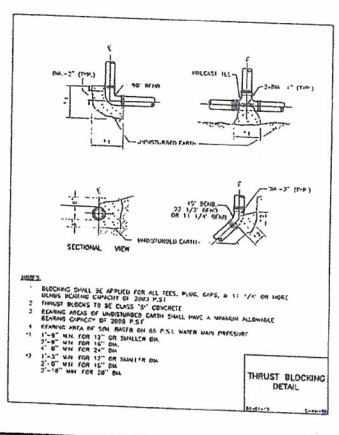
41-2.01C VERTICAL SEPARATION - WATER MAINS AND SEWERS

(1) A water main shall be separated from a sewer by at least 180 feet (51 m) horizontally. When a water main and a sewer are located within 180 feet (51 m) of each other, the water main shall be protected by a trench box or other equivalent protection.

(2) A water main shall be separated from a sewer by at least 180 feet (51 m) horizontally. When a water main and a sewer are located within 180 feet (51 m) of each other, the water main shall be protected by a trench box or other equivalent protection.

(3) A water main shall be separated from a sewer by at least 180 feet (51 m) horizontally. When a water main and a sewer are located within 180 feet (51 m) of each other, the water main shall be protected by a trench box or other equivalent protection.

WATER AND SEWER SEPARATION REQUIREMENTS (VERTICAL SEPARATION)



Manhard CONSULTING LTD.

111135

CEWTS

REVISIONS

NO.	DATE	BY	DESCRIPTION	COUNT
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				

CONSTRUCTION DETAILS

STORE NUMBER

WALGREENS

2181 W. ROOSEVELT ROAD

CITY OF WHEATON, ILLINOIS

SCALE: 1"=1'-0"

DRAWN BY: BEN

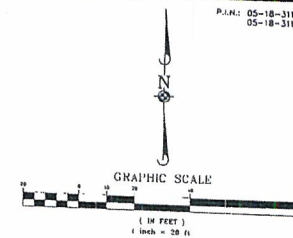
DATE: 8-11-12

PENDING APPROVAL - NOT FOR CONSTRUCTION

C10

BEING A SUBDIVISION PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N.: 05-18-311-009
05-18-311-036



BASIS OF BEARINGS

MEASUREMENTS ARE BASED UPON THE KANSAS STATE PLANE COORDINATE SYSTEM OF 1983, EAST ZONE, ADJUSTED TO GROUND VALUES, AS ESTABLISHED BY REAL TIME KINEMATIC (RTK) GPS METHODS

SURVEY PREPARED FOR

CENTRUM PARTNERS LLC
225 W. HUBBARD STREET, 4TH FL.
CHICAGO, ILLINOIS 60654

SEND TAX BILL TO:

CENTRUM PARTNERS LLC
225 W. HUBBARD STREET, 4TH FL.
CHICAGO, ILLINOIS 60654

UPON RECORDING
MAIL TO:

CITY OF WHEATON
303 W. WESLEY STREET
WHEATON, ILLINOIS 60187

AREA SUMMARY

LOT 1: 45,525 SQUARE FEET (1.045 AC.±)

LEGEND

EXISTING		PROPOSED
PROPERTY LINE	_____	_____
LOT LINE	_____	_____
LASALLE LINE	_____	_____
SECFACK LINE	_____	_____
D.S.L.		BUILDING SETBACK LINE
= U E		= U B L C U M U L T I E A S E M E N T

SHEET INDEX

SHEET 1 OF 2	BOUNDARY, LOT DETAIL, EASEMENTS AND SETBACK INFORMATION.
SHEET 2 OF 2	LEGAL DESCRIPTION, PROMISSORY LANGUAGE AND CERTIFICATES.

WALGREENS CONSOLIDATION
CITY OF WHEATON, ILLINOIS
PLAT OF SUBDIVISION

PROJ. NO.	500
PROJ. NAME	500
DATE	04-13-12
SCALE	1"=20'
SHEET	
1	OF 2
CEIWT3	111135

GENERAL NOTES:

2. INSTANCES ARE MARKED IN FEET AND DECIMAL PLACES THEREOF
3. NO DIMENSION SHALL BE ASSUMED BY SCALE MEASUREMENT HEREON.
4. THERE MAY BE ADDITIONAL TENSORS, POWERS, PROVIDORS AND LIMITATIONS CONTAINED IN AN ABSTRACT BOOK, LOCAL ORDINANCES, RECORDS, TRUSTS, COVENANTS OR OTHER INSTRUMENTS OF RECORD
5. COMPARE ALL POINTS BEFORE BUILDING BY SAVE AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE SURVEYOR.
6. REPEATES CONCERNING MONUMENTS TO BE SET
7. IN ACCORDANCE WITH CHAPTER 765 ICS SECTION 205/1 "8' X 24" LONG WOOD RODS MUST BE SET AT ALL PROPERTY CORNERS AND POINTS OF DEDUCTING CHANGE

FINAL PLAT
OF
WALGREENS CONSOLIDATION

BEING A SUBDIVISION PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 39 NORTH, RANGE 10, EAST OF THE THIRD
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

P.L.N.: 05-18-311-036

OWNER'S CONSENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THE UNDERSIGNED, _____, HEREBY CERTIFIES THAT
HE/IS/WE/THAT IS THE HOLDER OF THE LEGAL TITLE OF ALL OF THE PROPERTY DESCRIBED
HEREIN AND THAT IT HAS CHARGED SAID PROPERTY TO BE SURVEYED AND SUBDIVIDED AS
SHOWN ON THE PLAT HEREIN GRANTING THIS IS TO ALSO CERTIFY THAT

_____ AS OWNER OF THE
PROPERTY DESCRIBED AS WALGREENS CONSOLIDATION AND LEGALLY RECORDED ON THE PLAT
OF THE SAME NAME HAVE REFERENCED TO THE BEST OF OUR KNOWLEDGE THE SCHOOL
DISTRICT IN WHICH EACH OF THE FOLLOWING LOTS LIE

LOT NUMBER(S) SCHOOL DISTRICT
ALL COMMUNITY UNIT SCHOOL, DISTRICT 200

DATED THIS ____ DAY OF _____ A.D. 20__

BY _____ BY _____
PRINT _____ PRINT _____

NOTARY PUBLIC

STATE OF _____)
COUNTY OF _____)

I, _____ A NOTARY
PUBLIC IN AND FOR THE COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT

_____ HAVE PERSONALLY KNOWN TO ME TO BE THE SAME
WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE FOREGOING CERTIFICATE, APPEARED BEFORE ME
THIS DAY IN PERSON AND ACKNOWLEDGED THAT THEY DO SO AND BELIEVE THIS
INSTRUMENT AS A TRUE AND VOLUNTARY ACT FOR THE USES AND PURPOSES HEREIN SET
FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS ____ DAY OF _____ A.D. 20__

NOTARY PUBLIC

CITY COLLECTOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, _____ CITY COLLECTOR FOR THE CITY OF WHEATON,
ILLINOIS DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED
SPECIAL ASSESSMENTS OR NOT SUBSIDIZED INSTALLMENTS THEREOF THAT HAVE BEEN APPROPRIATED
AGAINST THE TRACT OF LAND DESCRIBED ON THIS PLAT

DATED AT WHEATON, ILLINOIS, THIS ____ DAY OF _____ 2012

CITY COLLECTOR _____

DIRECTOR OF ENGINEERING CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, _____ DIRECTOR OF ENGINEERING FOR THE CITY OF
WHEATON, ILLINOIS DO HEREBY CERTIFY THAT THE PLAT AS APPROVED HEREIN MEETS WITH THE
REQUIREMENTS AND THE PLANS AND SPECIFICATIONS OF THE WHEATON CITY CODE AND HAS BEEN
APPROVED BY ALL PUBLIC AUTHORITIES

DATED AT WHEATON, ILLINOIS, THIS ____ DAY OF _____ 2012

DIRECTOR OF ENGINEERING _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

APPROVED, BY THE MAYOR AND CITY COUNCIL, OF THE CITY OF
WHEATON, DUPAGE COUNTY, ILLINOIS,

THIS ____ DAY OF _____ 2012.

ATTEST _____
CITY CLERK

ATTEST _____
MAYOR CITY OF WHEATON

COUNTY CLERK'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, _____ COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO
HEREBY CERTIFY THAT THIS IS THE DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES,
NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID SPECIAL ASSESSMENTS, AND NO REDEEMABLE
TAX SALES ALIENS' TAX OF THE LAND SHOWN ON THIS PLAT

GIVEN UNDER MY HAND AND SEAL THIS ____ DAY OF _____ 2012

COUNTY CLERK, DUPAGE COUNTY, ILLINOIS _____

DUPAGE COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THE INSTRUMENT _____ WAS FILED FOR RECORD
IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON

THIS ____ DAY OF _____ 2012

AT ____ O'CLOCK ____ M., AND WAS RECORDED

IN BOOK _____ OF PLATS ON PAGE _____

BE _____
RECORDER OF DEEDS

SURFACE WATER STATEMENT

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE
CONSTRUCTION OF THIS SUBDIVISION ON ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL
BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DRAINAGE OF SUCH SURFACE
WATERS INTO PUBLIC AREAS, OR AREAS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE
WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO
PREVENT THE UNLIVABLE OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE
SUBDIVISION

DATED THIS ____ DAY OF _____ 20__

ILLINOIS REGISTERED PROFESSIONAL ENGINEER

DESIGNER
ILLINOIS REGISTERED NUMBER
LICENSE EXPIRES NOVEMBER 20, 2013

OWNER _____ ATTORNEY _____

BY _____

HAND _____



PERMISSION TO RECORD

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

I, SAMUEL J. PHILLIPS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY GRANT PERMISSION TO A
REPRESENTATIVE OF THE CITY OF WHEATON TO RECORD THIS PLAT. THE REPRESENTATIVE SHALL
PROVE THIS SURVEYOR WITH A RECORDED COPY OF THIS PLAT.

DATED THIS ____ DAY OF _____ A.D. 2012

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3699
LICENSE EXPIRES NOVEMBER 20, 2012



SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, SAMUEL J. PHILLIPS, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HAVE SURVEYED AND
SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

PARCEL 1:
LOT 1 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION OF PART OF SECTION 18, TOWNSHIP 39 NORTH,
RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MARCH 10, 1989 AS
DOCUMENT NUMBER 889-27313, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:
LOT 3 IN BLOCK 4 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION IN SECTION 13, TOWNSHIP
39 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1929 AS DOCUMENT 172281,
IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:
THAT PART OF VACATED 400' STREET (AKA 400' STREET) LYING SOUTHWESTLY OF THE WESTERLY EXTENSION OF
THE NORTH LINE OF LOT 2 AND LYING NORTHEASTLY OF THE WESTERLY EXTENSION OF THE SOUTH LINE OF LOT 3, AND
BLACK 1 IN THE FIRST ADDITION TO WHEATON PARK MANOR, BEING A SUBDIVISION OF THE WEST LINE OF LOT 3 IN
NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 15, 1929 AS DOCUMENT 172281,
IN DUPAGE COUNTY, ILLINOIS.

CONTAINING 43.523 ACRES, MORE OR LESS.

AS SHOWN BY THE ADJOINED PLAT, WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION, ALL
DISTANCES ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF. I FURTHER CERTIFY THAT THE LAND IS DIVIDED WHEN THE
CORPORATE LIMITS OF THE CITY OF WHEATON, WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN AND MAP AND
IS EXTENDING THE SPECIAL POWER AUTHORIZED BY THE STATE OF ILLINOIS IN ACCORDANCE WITH 65 ICS 6/11-12-6
AS HEREINFORER AND HEREINAFTER AMENDED.

I FURTHER CERTIFY THAT, BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD
INSURANCE RATE MAP NUMBER 1748888888, THAT AN EFFECTIVE DATE OF DECEMBER 16, 2004, THE LAND SHOWN ON
THIS PLAT IS LOCATED WITHIN ZONE X.

DATED THIS ____ DAY OF _____ 2012.

FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3699
LICENSE EXPIRES NOVEMBER 20, 2012

DESIGN FIRM PROFESSIONAL LICENSE NO. 18403330
LICENSE EXPIRES APRIL 30, 2013

DATE OF FIELD SURVEY: MARCH 20, 2012

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS
MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



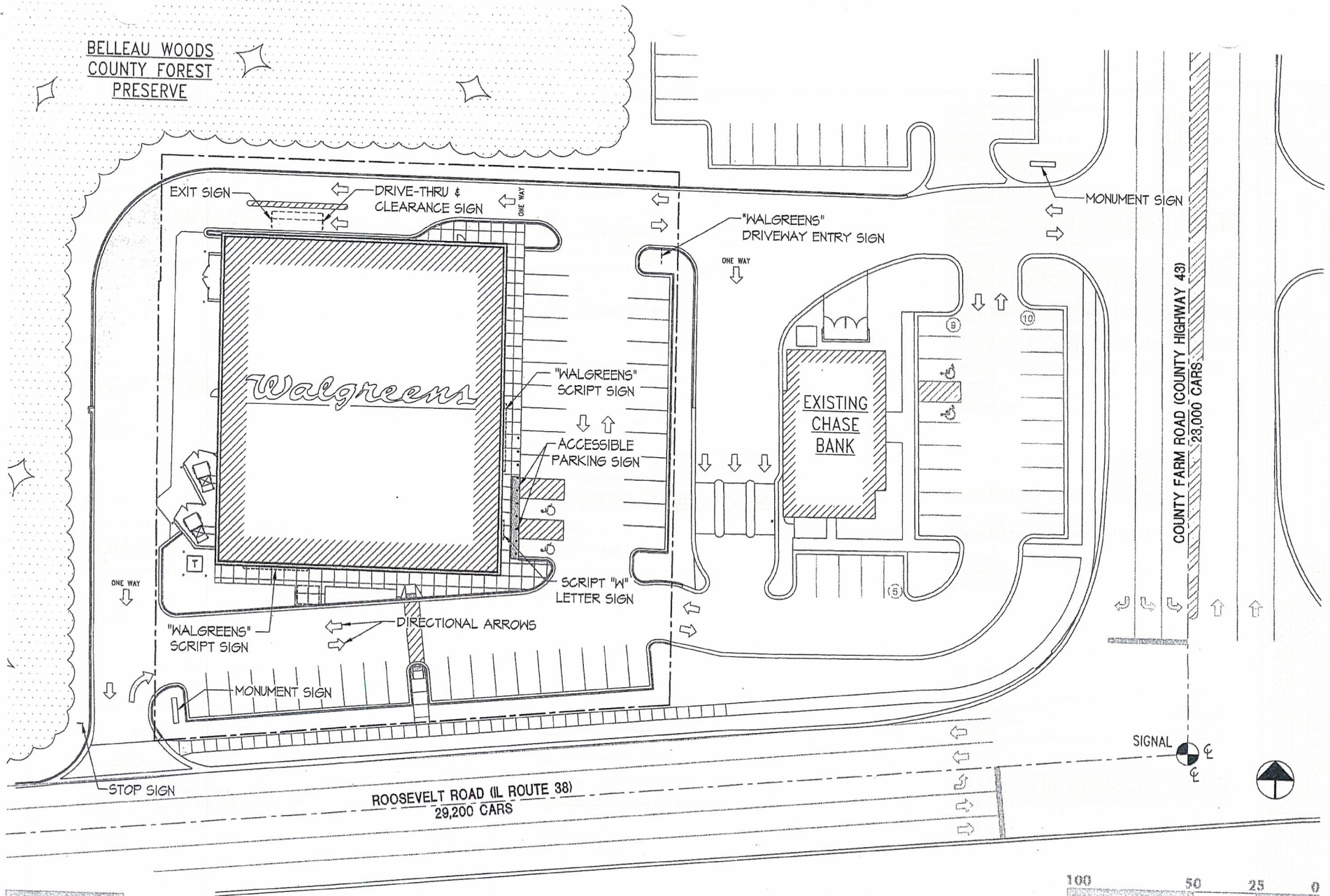
Manhard CONSULTING
2000 North Lincoln Road, Suite 100, Wheaton, IL 60187
Tel: 630.330.1234 Fax: 630.330.1235
www.manhardconsulting.com
Civil Engineering • Environmental Engineering • Land Use Planning • Surveying

WALGREENS CONSOLIDATION
CITY OF WHEATON, ILLINOIS
PLAT OF SUBDIVISION

THIS PLAT WAS PREPARED BY: _____
CHECKED BY: _____
DESIGNED BY: _____
DATE: _____

SHEET
2 OF 2
CEW13 111135

BELLEAU WOODS
COUNTY FOREST
PRESERVE



COUNTY FARM ROAD (COUNTY HIGHWAY 43)
23,000 CARS

ROOSEVELT ROAD (IL ROUTE 38)
29,200 CARS

SIGNAL



Scale: 1" = 50.00'

Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheeling, Illinois

June 18, 2012
110002
SD

Hirsch Associates LLC
Architecture + Planning



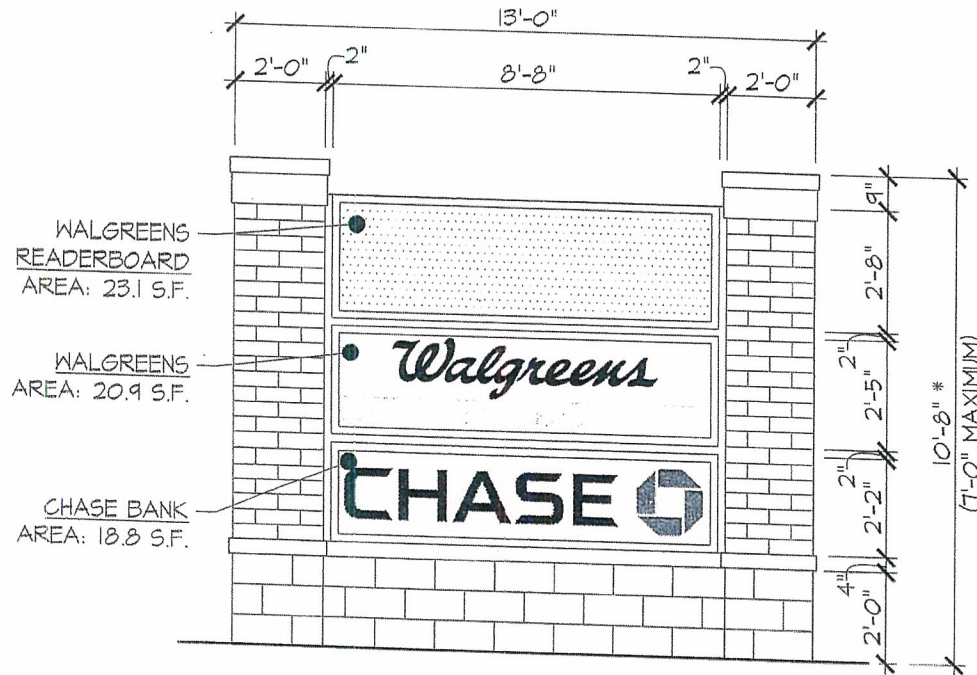
SOUTHWEST MONUMENT SIGN

TOTAL SIGN AREA:
62.8 S.F. PER SIDE*

TOTAL SURFACE AREA:
132 S.F. PER SIDE*

ALLOWABLE SIGN AREA:
48 S.F. PER SIDE

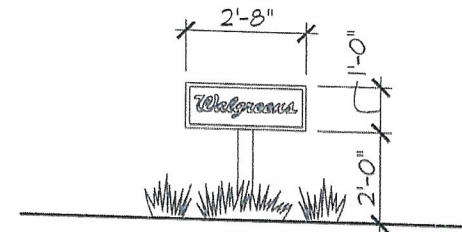
ALLOWABLE SURFACE AREA:
96 S.F. PER SIDE



* DOES NOT COMPLY WITH ARTICLE XXII, SECTION 23.7
OF THE CITY OF WHEATON ZONING ORDINANCE

DRIVEWAY ENTRY SIGN

TOTAL SIGN AREA:
2.7 S.F. PER SIDE



As Shown, Sign Placement

Centrum Partners

Preliminary Design
Roosevelt Road & County Farm Road
Wheaton, Illinois

April 20, 2012
10000
HSD

Hirsch Associates LLC
Architecture + Planning

2

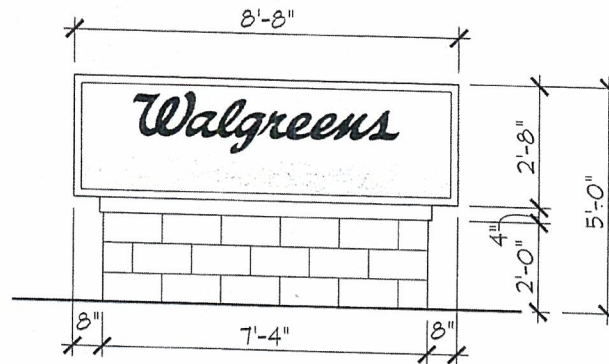
NORTHEAST MONUMENT SIGN

"WALGREENS" SIGN AREA:
23.1 S.F. PER SIDE

TOTAL SURFACE AREA:
40.3 S.F. PER SIDE

ALLOWABLE SIGN AREA:
48 S.F. PER SIDE

ALLOWABLE SURFACE AREA:
96 S.F. PER SIDE



Monument Sign Elevation

Centrum Partners

Preliminary Design
Roosevelt Road & Country Farm Road
Whittier, Illinois

April 26, 2011
1100106
1/20

Hirsch Associates LLC
Architecture + Planning

2A