

## ORDINANCE NO. F-1214

### AN ORDINANCE AMENDING CITY OF WHEATON ORDINANCE NUMBERS F-0529 AND F-0742 PERTAINING TO A CERTAIN PIECE OF PROPERTY COMMONLY KNOWN AS 107-111 BRIDGE STREET -WHEATON SELF STORAGE/SHURGUARD STORAGE/PUBLIC STORAGE

**WHEREAS**, on November 6, 2000, the City of Wheaton, Illinois, ("City") enacted City Ordinance No . F-0529, ("original ordinance") which allowed a planned unit development for the construction and use of a self-storage facility on the property legally described in this ordinance and commonly known as 107-111 Bridge Street, Wheaton, Illinois ("subject property"); and on August 5, 2002 the City amended the original ordinance by enacting City Ordinance No . F-0742 ("amending ordinance"); and

**WHEREAS**, application has been made to amend the existing planned unit development which was authorized in the original and amending ordinances, demolish a residence on the property commonly known as 105 Bridge Street, adjacent to the subject property, and expand the existing self storage facility on the subject property; and

**WHEREAS**, pursuant to notice as required by the Illinois Municipal Code and the Wheaton Zoning Ordinance, a public hearing was conducted by the Wheaton Planning and Zoning Board on September 12, 2006, to consider the requested amendment to the existing special use permit; and the Board has recommended approval of the requests.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Wheaton, Du Page County, Illinois, pursuant to its home rule powers, as follows:

**Section 1:** Demolition of the building(s) on the property commonly known as 105 Bridge Street Wheaton, IL is allowed and may proceed pursuant to and in accordance with the ordinances of the City. The following- described property has been and continues to be zoned and classified in the M-1 Manufacturing Zoning District:

LOT 1 IN WHEATON SELF STORAGE'S PLAT OF CONSOLIDATION, PHASE 2,  
OF LOT 1 IN WHEATON SELF STORAGE'S PLAT OF CONSOLIDATION AND LOT  
2 IN SOUTH RAILROAD STREET SUBDIVISION IN THE SOUTHEAST QUARTER  
OF SECTION 17, TOWNSHIP 39 NORTH, RANGE 10 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED  
DECEMBER 11, 2000 AS DCOUMENT R2000-193771, IN DUPAGE COUNTY,  
ILLINOIS. ALSO THAT PART OF LOT 1, SITUATED IN WHEATON, ILLINOIS.

P.I.N. NUMBERS 05-17-406-008, 05-17-406-002

The subject property is commonly known as 107-111 N. Bridge Street, and 105 N. Bridge Street, Wheaton, IL 60187.

**Section 2:** The original ordinance, amending ordinance and special use permit for planned unit development are amended to allow for the construction and use of a four (4) story 47,800 square foot addition to be constructed onto the existing improvement on the

subject property in full compliance with the plans prepared by Dave Johnson and Associates, Ltd. Entitled "Topographic Survey and Preliminary Site Plan" dated May 5, 2006, the plans prepared by RBS Companies, Inc. dated July 7, 2006 and revised September 11, 2006 entitled "Shurgard Storage Center, Wheaton, Illinois", and the plans prepared by Gary R. Weber and Associates dated August 10, 2006 and revised September 28, 2006 entitled "Shurgard Storage and in further compliance with the following conditions, restrictions and requirements:

- A. Setback variations are granted to allow for a setback of the western wall of the proposed improvement to be 12 feet, in lieu of the required 25 feet; and no parking setback shall be required along the north and east property lines, in lieu of the required 10 feet.
- B. Any rooftop mechanical units shall be screened from view and shall be subject to the reasonable approval of the City;
- C. There shall be no new ground sign;
- D. The owner shall submit a plat of consolidation of the entire property to the City for review and approval.

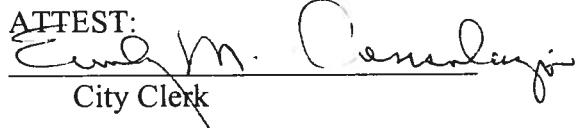
**Section 3:** In all other respects, the terms, conditions and provisions of the original ordinance and amending ordinance are ratified and remain in full force and effect.

**Section 4:** All ordinances or parts of ordinances in conflict with these provisions are repealed.

**Section 5:** This ordinance shall become effective from and after its passage, approval, and publication in pamphlet form in the manner prescribed by law.



\_\_\_\_\_  
James Carr  
Mayor

ATTEST:  
  
\_\_\_\_\_  
Evelyn M. Cernyak  
City Clerk

Roll Call Vote:

Ayes: Councilman Bolds

Councilwoman Corry  
Mayor Carr  
Councilman Mouhelis  
Councilman Suess

Nays: None

Absent: Councilman Johnson  
Councilman Levine

Motion Carried Unanimously

Passed: October 16, 2006

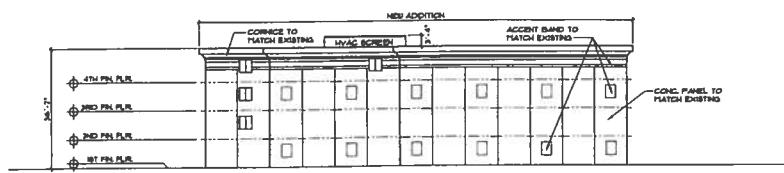
Published: October 17, 2006



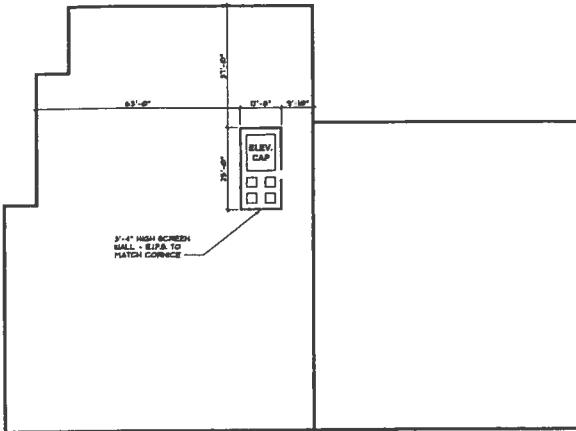


NOT FOR CONSTRUCTION

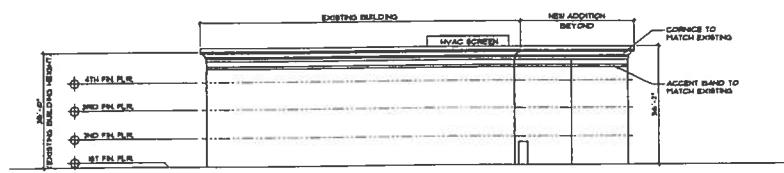
**S**  
SCMI  
SUPERIOR CONSTRUCTION  
& MANAGEMENT, LLC.  
65 Cadillac Square, Suite 2701  
Detroit, MI 48226



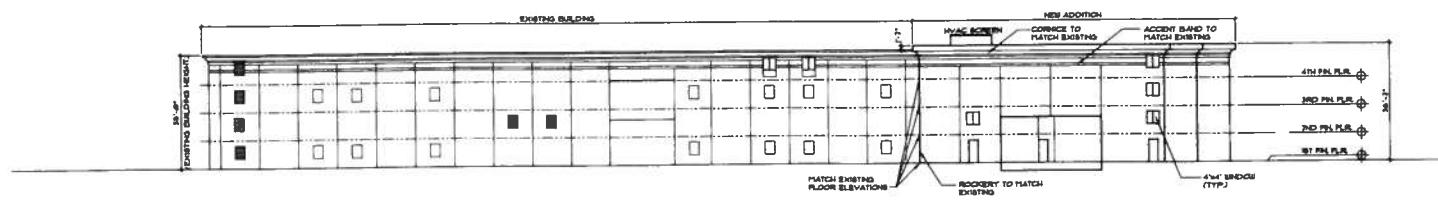
1 NORTH ELEVATION  
A-3 SCALE: 1/8"=1'-0"



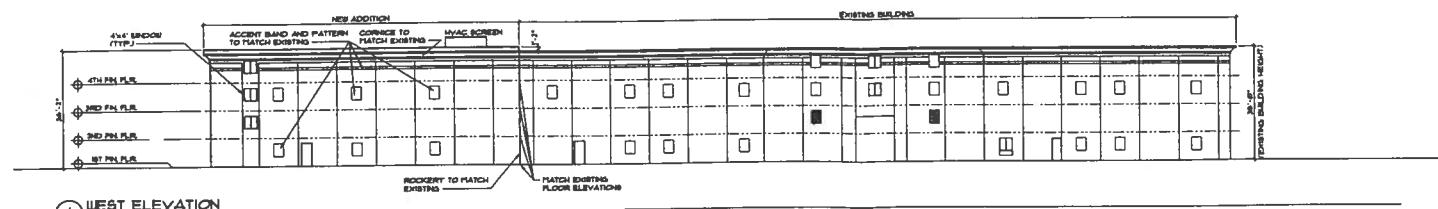
2 ROOF PLAN  
A-3 SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION  
A-3 SCALE: 1/8"=1'-0"



4 EAST ELEVATION  
A-3 SCALE: 1/8"=1'-0"



5 WEST ELEVATION  
A-3 SCALE: 1/8"=1'-0"



NORTH

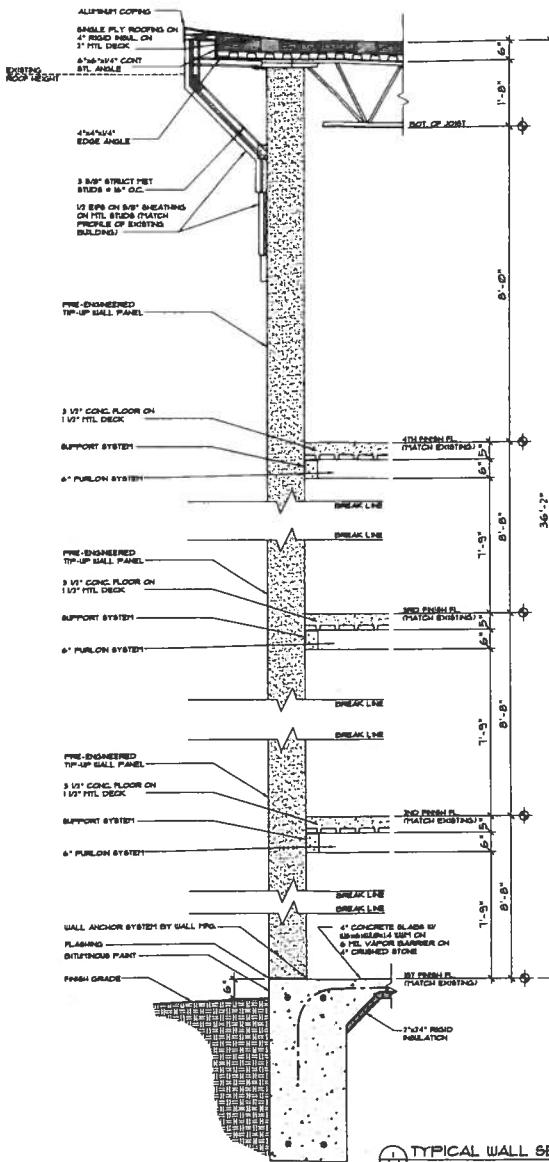
<b>METCO</b> COMPANIES, INC. Architectural & Engineering Services	1001 CADILLAC ST. DETROIT, MI 48226
	1/8" = 1'-0"
<b>RBS</b> COMPANIES, INC. Architectural & Engineering Services	1/8" = 1'-0"
	1/8" = 1'-0"

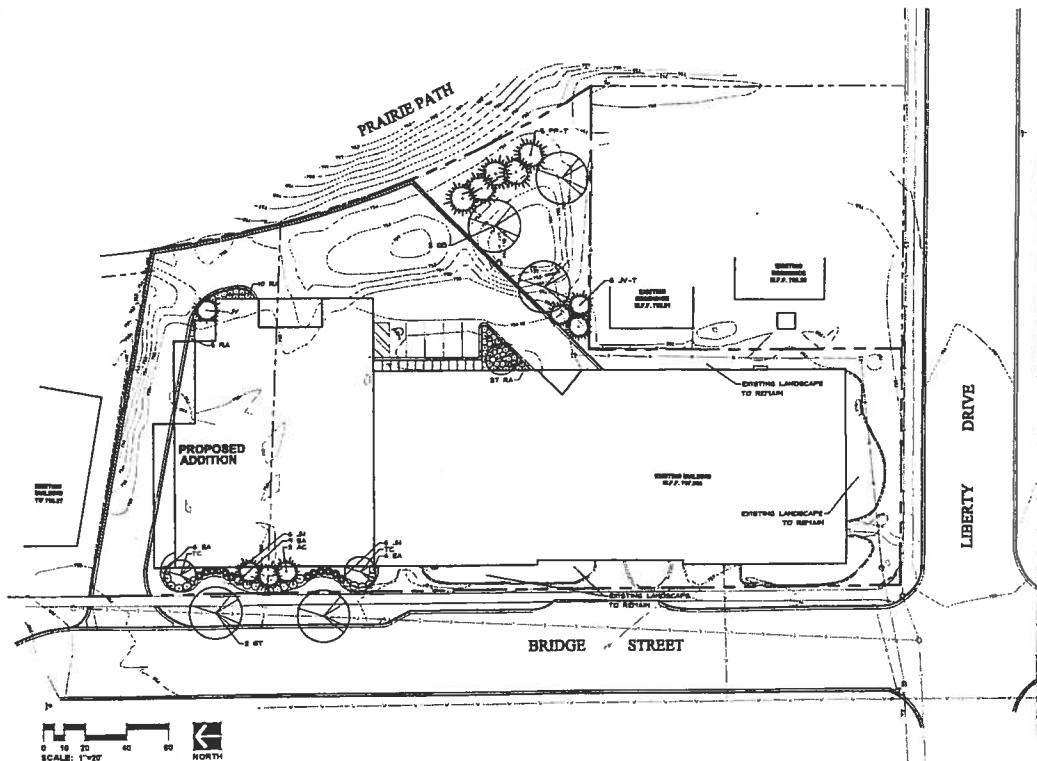
Comments:	On
Drawn:	On
Checked:	On
Revised:	On
Date:	8/27/08
Job No.:	0805
Site No.:	A-3

**NOT FOR CONSTRUCTION**



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& MANAGEMENT, LLC.**  
83 Cadillac Square, Suite 2701  
Detroit, MI 48226





#### PLANTING DETAILS

### PLANT LIST

#### GENERAL NOTES

**CONTRACTOR'S DUTIES**

1. Contractor shall carry out underground utility work and is responsible for any damage.
2. The Contractor shall take all reasonable steps to prevent underground cables and pipelines from being damaged during work. Third party reports must be submitted for any underground damage prior to investigation.
3. Contractor shall not work in existing conditions in the Field prior to construction and when safety conditions permit at the time of construction.
4. Materials purchased prior are for contractor's immediate use. The Contractor must supply all materials and source different materials to complete the job on time.
5. The Contractor shall obtain a permit from the Missouri State, State of Three Rivers Management, and Local Utility companies.
6. The contractor project manager reserves the right to inspect areas and schedule storage in areas of ground or areas of utility work. For permission to inspect areas or storage of materials, tools and vehicles.
7. The project supervisor reserves the right to reject underground material or site storage when storage is not in accordance with the project supervisor's direction.
8. All plants shall be painted per the underground owner's specifications. Paintings not found to be in accordance shall be repainted correctly or no additional payment to the owner.
9. The grade, berms, berms and/or disturbed areas within the construction areas as shown on the plans shall be restored to the original grade and surface.
10. Where planting stock must be cut down, the contractor shall provide a cultivated edge. Match on shrub beds to the live shrubs.
11. For trees planted in cut areas provide a 3-12' the much larger (from existing base) for the tree.
12. An approved pre-constructed berms shall be installed in all planting beds at a rate selected by management for each plant species.
13. Contractor shall remove and use for all demolition, Asbestos, and Hazardous materials for the owner's disposal. Contractor shall not leave any debris on the job site.
14. Buses or utility poles are 25 feet from light poles, 4 feet from driveways, 8 feet from residential, and 5 feet from property lines.
15. Buses and utility poles may not be located in areas that there are no hard materials, such as concrete or asphalt.
16. Painted berms may be made due to first location of utilities. Any adjustments shall be approved by underground owner.
17. Some field adjustments may be necessary to ensure that there are no conflicts between



## TOPOGRAPHIC SURVEY AND PRELIMINARY SITE PLAN

ADDRESS: 111 BRIDGE STREET, WHEATON, ILLINOIS.

SCALE: 1 mi. = 30 ft.



#### SYMBOL LEGEND

LEADER

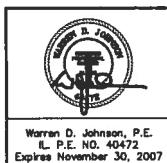
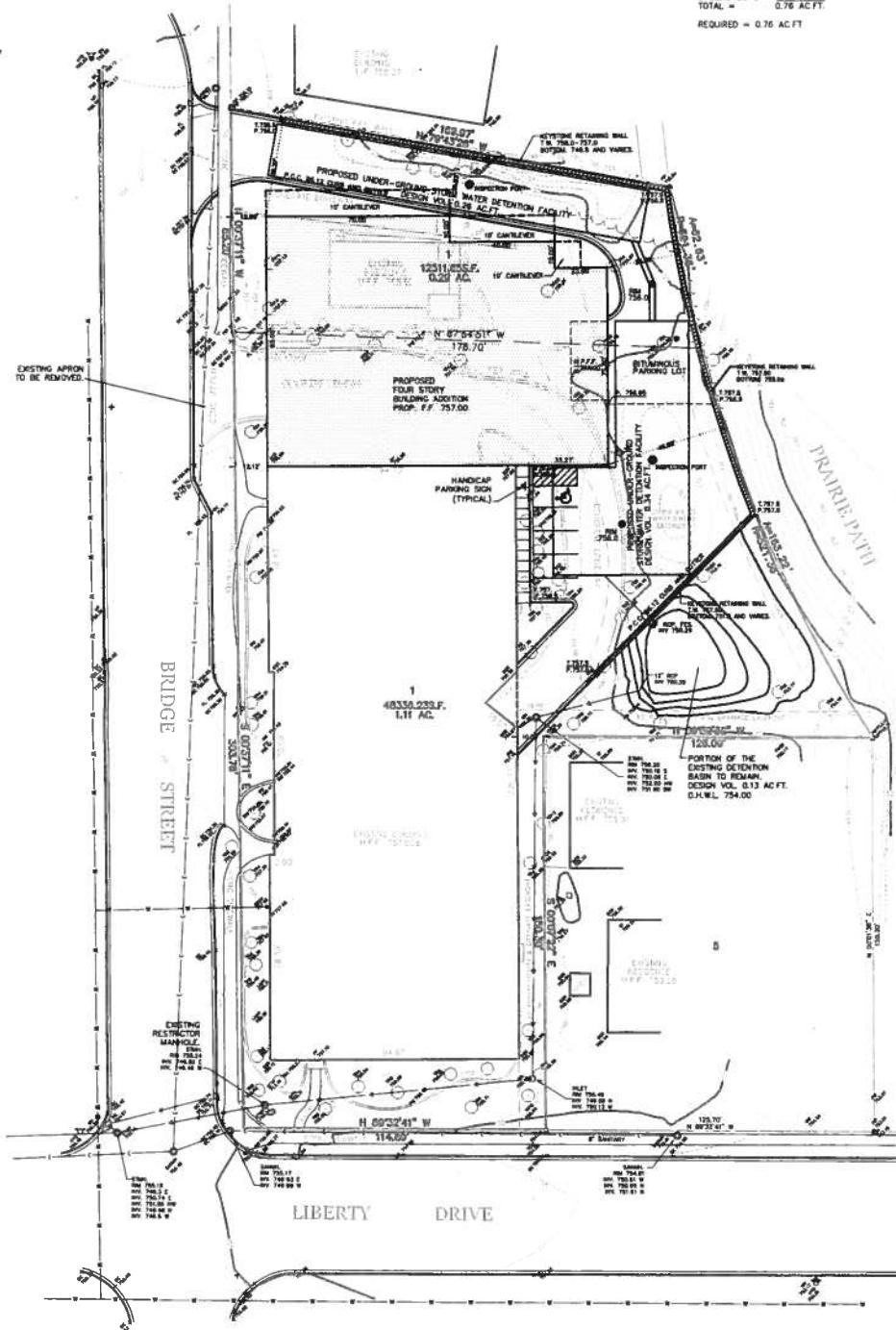
EXISTING APRON  
TO BE REMOVED

BRIDGE STREET

LIBERTY DRIVE

DETENTION SUMMARY

SURFACE = 0.13 AC FT  
 UNDERGROUND = 0.63 AC FT.  
 TOTAL = 0.76 AC FT.  
 REQUIRED = 0.76 AC FT



STATE OF ILLINOIS  
COUNTY OF DUPAGE ILL.  
I, WALTER R. GRIFFIN, HEREBY CERTIFY THAT I HAVE  
EXAMINED THE ABOVE PROPERTY AND THAT THE PLAT HERIN  
NAME IS A CORRECT DESCRIPTION OF THE SAME.  
DATED AT WREATHON, ILLINOIS 1976, DAY OF SEPTEMBER A.D. 1976.  
449

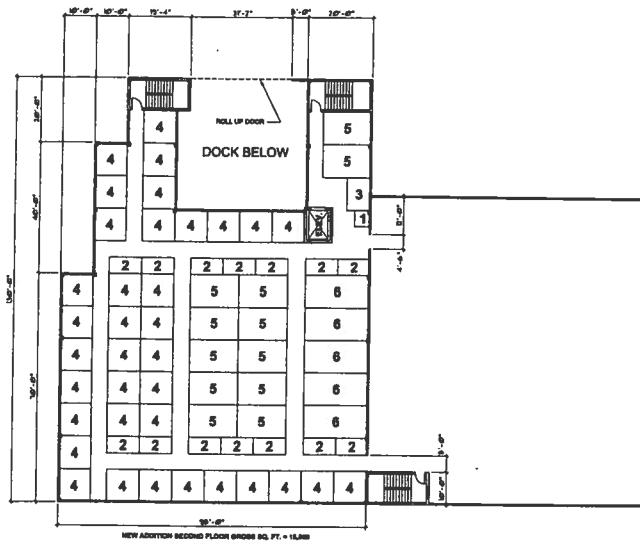
**DJA** CIVIL ENGINEERS & SURVEYORS  
 Dave Johnson and Associates, Ltd.  
 312 S. Hale Street  
 Winslow, Arizona 86047  
 ph. 609-758-4400 fax. 609-758-4550



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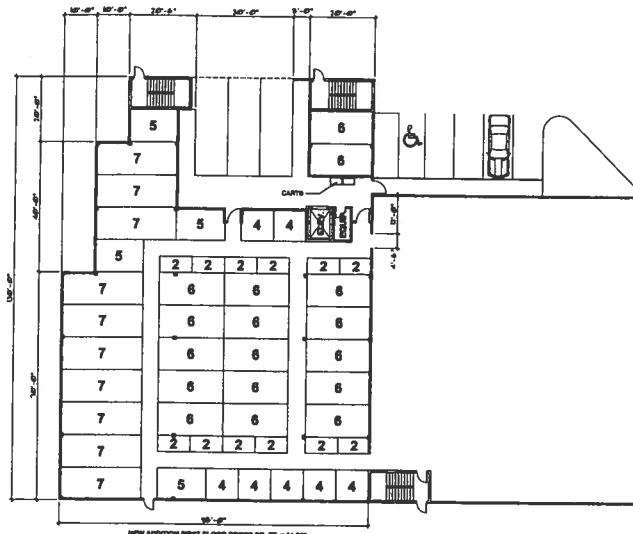


## **UNIT STORAGE**

1	1	5' x 5'
2	14	5' x 10'
3	1	7 1/2' x 10'
4	36	10' x 10'
5	12	10' x 15'
6	5	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

SECOND FLOOR PLAN

SCALE: 1 in. = 100 ft.



## UNIT STORAGE

1	0	5' x 5'
2	12	5' x 10'
3	0	7 1/2' x 10'
4	7	10' x 10'
5	4	10' x 15'
6	17	10' x 20'
7	10	10' x 25'
8	0	5' x 45'

**FIRST FLOOR PLAN**

1880-1881



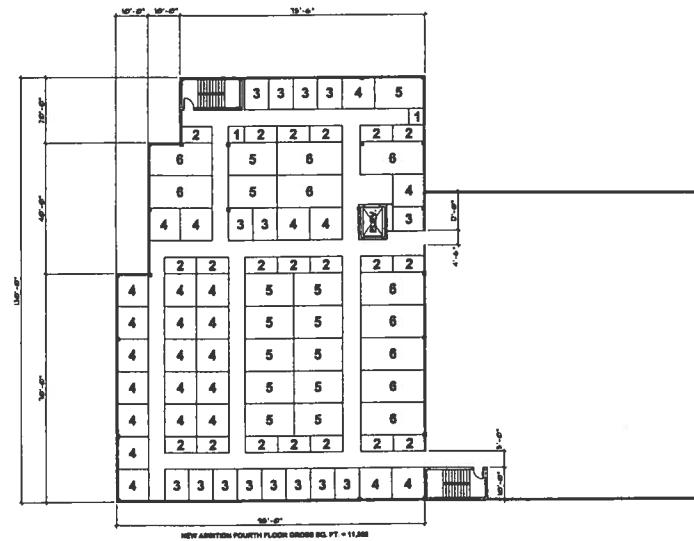
NORT

FIRST FLOOR AND SECOND FLOOR PLANS		SHURGARD STORAGE CENTER CITY OF WEAHON LANCES		RBS COMPANIES, INC.	
Scale 1/16" = 1'-0"	Date 08-11-04	Owner CITY OF WEAHON LANCES	Architect C. H. HARRIS	Engr. S. J. COHEN	Architect C. H. HARRIS
Job No. 00000	Permit No. 00000	Permit No. 00000	Permit No. 00000	Permit No. 00000	Permit No. 00000
Shur-Gard		Shur-Gard		Shur-Gard	
A-1		A-1		A-1	

**NOT FOR CONSTRUCTION**

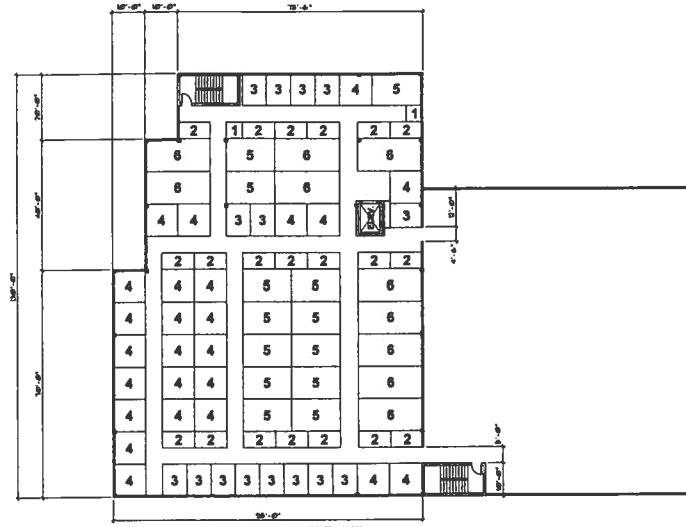


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Detroit, MI 48226



2  
A-3  
FORTH FLOOR PLAN  
SCALE: 1/4" = 1'-0"

UNIT STORAGE	
1	2
2	20
3	15
4	25
5	13
6	10
7	0
8	0
	5' x 5'
	5' x 10'
	7 1/2' x 10'
	10' x 10'
	10' x 15'
	10' x 20'
	10' x 25'
	5' x 15'



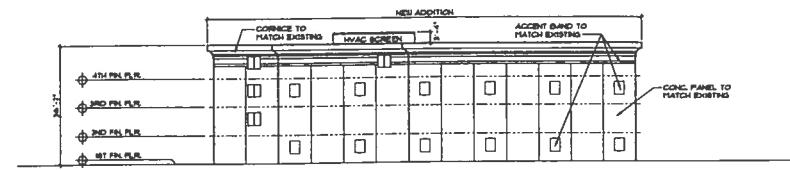
1 A-3 THIRD FLOOR PLAN  
SCALE: 1/16" = 1'-0"

UNIT STORAGE		
1	2	5' x 5'
2	20	5' x 10'
3	15	7 1/2" x 10'
4	25	10' x 10'
5	13	10' x 15'
6	10	10' x 20'
7	0	10' x 25'
8	0	5' x 15'

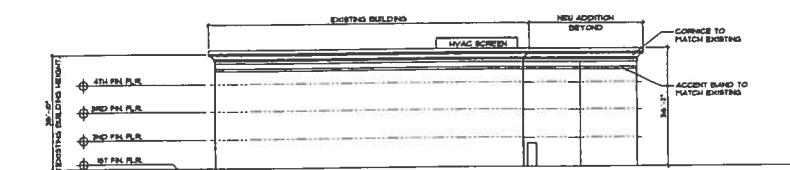
NOT FOR CONSTRUCTION



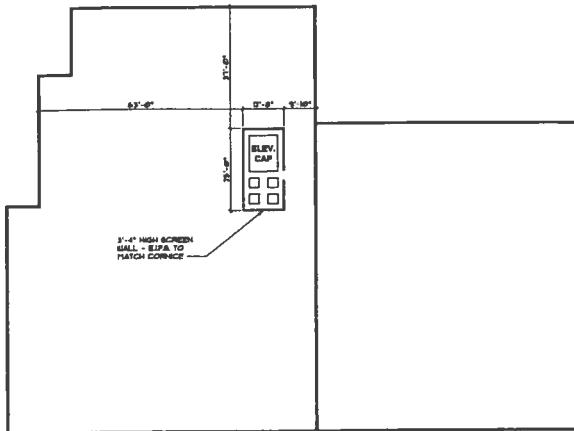
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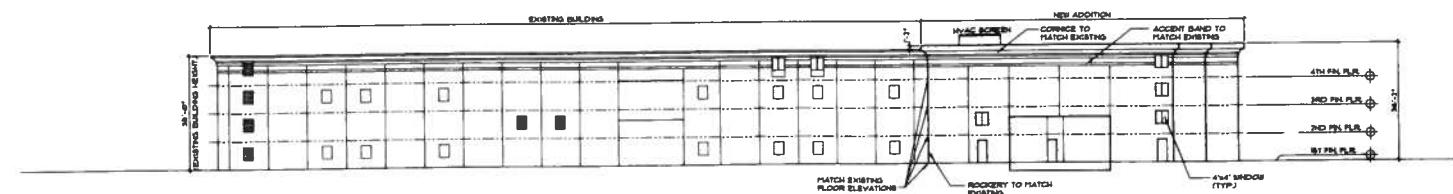
NORTH ELEVATION  
A-3 SCALE: 1/8"=1'-0"



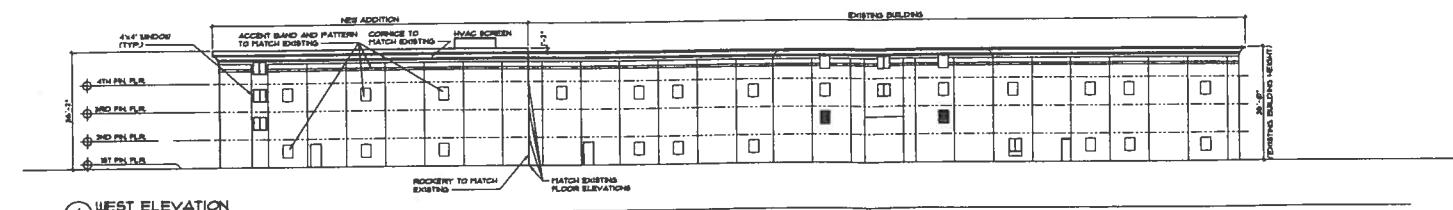
SOUTH ELEVATION  
A-3 SCALE: 1/8"=1'-0"



ROOF PLAN  
A-3 SCALE: 1/8"=1'-0"



EAST ELEVATION  
A-3 SCALE: 1/8"=1'-0"



WEST ELEVATION  
A-3 SCALE: 1/8"=1'-0"



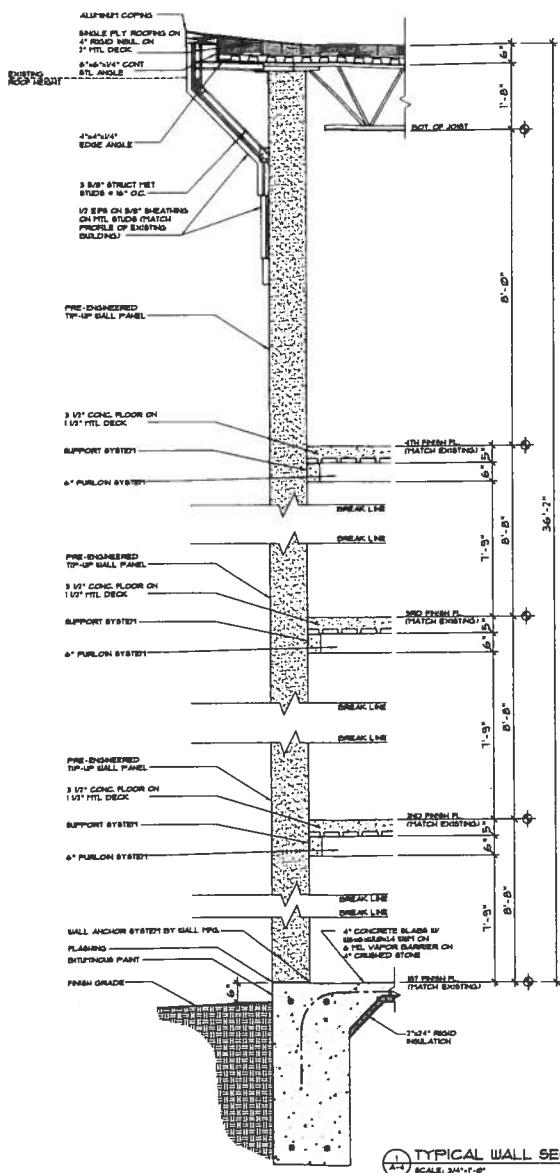
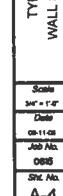
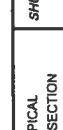
NORTH

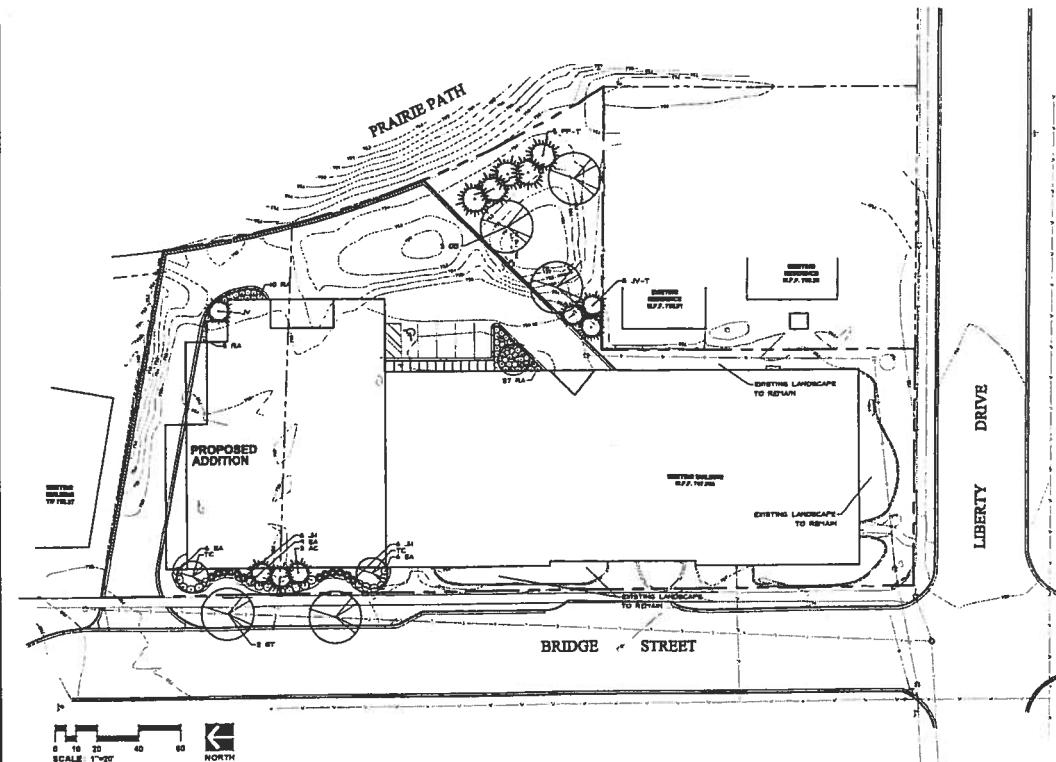
J.MECO	
PROJECT CLASS #	144-1423
PERMIT NUMBER	144-1423
PERMIT ISSUED	07/26/05
PERMIT EXPIRED	08/24/05
PERMIT ISSUED BY	DETROIT CITY OF DETROIT
PERMIT ISSUED ON	07/26/05
PERMIT EXPIRED ON	08/24/05
RBS	
COMMISSIONER'S NAME	DETROIT CITY OF DETROIT
COMMISSIONER'S ADDRESS	DETROIT CITY OF DETROIT
COMMISSIONER'S PHONE	DETROIT CITY OF DETROIT
COMMISSIONER'S FAX	DETROIT CITY OF DETROIT
COMMISSIONER'S E-MAIL	DETROIT CITY OF DETROIT
COMMISSIONER'S TITLE	DETROIT CITY OF DETROIT
COMMISSIONER'S SIGNATURE	DETROIT CITY OF DETROIT
COMMISSIONER'S DATE	DETROIT CITY OF DETROIT
COMMISSIONER'S APPROVAL	DETROIT CITY OF DETROIT
COMMISSIONER'S APPROVAL DATE	DETROIT CITY OF DETROIT
COMMISSIONER'S APPROVAL SIGNATURE	DETROIT CITY OF DETROIT
COMMISSIONER'S APPROVAL DATE	DETROIT CITY OF DETROIT
SHURRARD STORAGE CENTER CITY OF MEADOW LAKES	
GENERAL CONTRACTOR	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR ADDRESS	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR PHONE	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR FAX	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR E-MAIL	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR TITLE	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR APPROVAL	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR APPROVAL DATE	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR APPROVAL SIGNATURE	DETROIT CITY OF DETROIT
GENERAL CONTRACTOR APPROVAL DATE	DETROIT CITY OF DETROIT
NORTH, SOUTH, EAST AND WEST ELEVATIONS	
Scale	1/8"=1'-0"
Date	08-11-05
Job No.	0085
Sheet No.	A-3

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Detroit, MI 48226





The diagram illustrates a vertical cylindrical vessel, the 1000 ft. high pressure separator. It features a top section with a 'TOP HEAD' and a 'FLANGE' for a 'TOP VENT' and a 'TOP LINE'. The body of the vessel is labeled 'Vessel Body'. A 'FLANGE' at the bottom is connected to a 'V-1000' pump. A 'FLANGE' on the side is connected to a '1000 ft. line'. A 'FLANGE' at the very bottom is connected to a '1000 ft. line'. The vessel body has a 'FLANGE' on the left side. A 'FLANGE' on the right side is connected to a '1000 ft. line'. A 'FLANGE' at the very bottom is connected to a '1000 ft. line'.

#### PLANTING DETAILS

## PLANT LIST

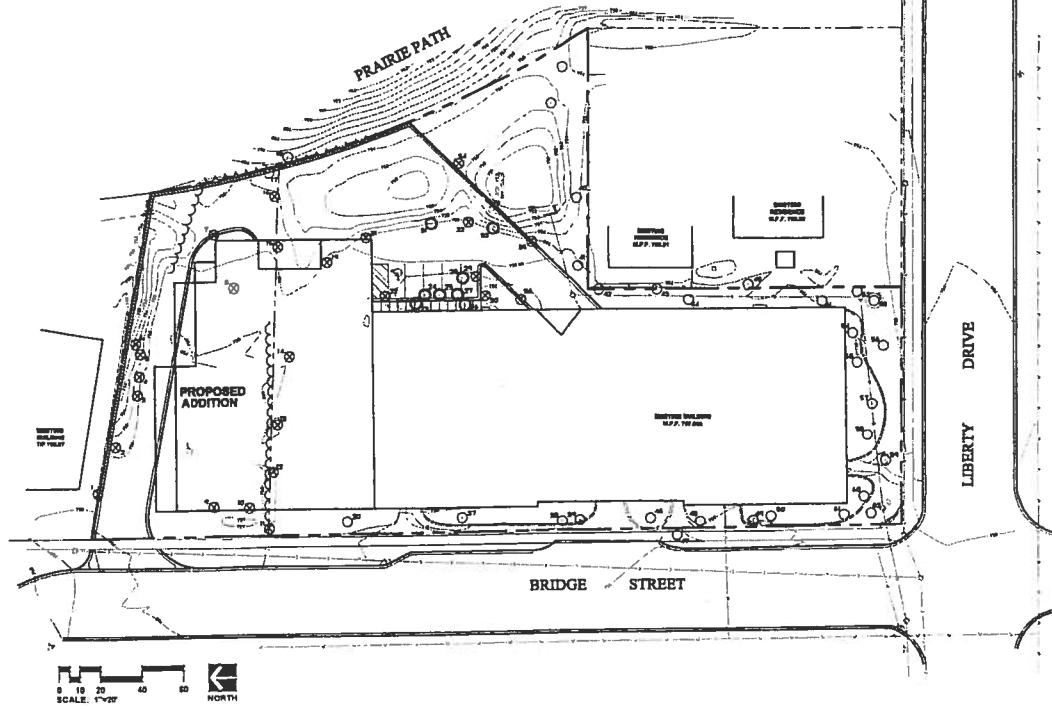
#### GENERAL NOTES

- 1 Contractor shall work underground 800' from and be responsible for any damage.
- 2 The contractor shall avoid existing subsurface underground and overburden when applicable to the following underground structures. Field adjustments must be determined by the landowner before any work is performed.
- 3 Contractor shall work at existing conditions in the field prior to construction and shall make no unnecessary alterations to the surface.
- 4 Potential artifacts shall be left for archaeologists to remove. The Contractor must identify and mark all potential artifacts prior to removal by the archaeologist, the job will be delayed.
- 5 Mark shaft entrance to American Standard for Mercury, Black, State of Others Northern Standard, and Local Northern requirements.
- 6 The landowner or project manager reserves the right to inspect traps and shovels after a place of work is completed. Shovels, picks, and picks shall be replaced if found to be of poor quality.
- 7 The landowner or project manager reserves the right to inspect landowner's property for any artifacts which are placed or hidden in their property.
- 8 All shafts shall be planned for the landowner's plan and specifications. Workings not found to be in accordance with the plan and specifications will be delayed until corrected to the owner's satisfaction.
- 9 Face prints, headings, and advanced or developed headings shall be the construction route as shown on the plan. All ground shafts, crosscutting and shafts not used will be closed.
- 10 Where planing blocks must be left, the contractor shall provide a protected edge.
- 11 For planing blocks in the shafts, the contractor shall provide a 2 x 12" the rough edge (framing timber) or 12" x 12" with a cutout for the planing blocks.
- 12 An approved breakaway hardware shall be installed in all planing blocks at a rate specified by project manager for each shaft.
- 13 Contractor shall be responsible for all permits, permits, and regulations necessary for the proper construction of the work and for any and all fees and costs associated with the same.
- 14 Shafts or perimeter blocks are 20 feet from light poles, 4 feet from drives, 2 feet from headstocks and 2 feet from entrances.
- 15 Survey lines and benchmarks must be avoided to ensure that there are no shaft locations near these features.
- 16 Field adjustments shall be made to avoid the best location of artifacts. Any adjustments shall be approved by landowner/manager.
- 17 Survey lines of shafts/heads must be rechecked to ensure that there are no conflicts before any shafts are started.

LEGEND:

TREE TO BE REMOVED

**○ TREE TO BE TRANSPLANTED**

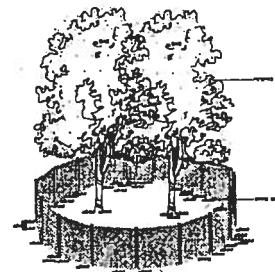


## TREE PRESERVATION NOTES

1. **High Impact Forces** and **large branches** shall be directed to the shrubs or trees as far away as possible, shall be delayed before construction begins and should not be removed until the completion of construction.
2. **Arborist** should **downgrade** to **trimming** trees and shrubs to be preserved and he promptly treated in accordance with accepted arboricultural practices and the instructions of the professional **Arborist**, **Landscape Architect** or **Horticulturist**.
3. **Breaks** or **brady** **branched** **branches** shall be removed with a clean cut. If recommended by the professional **Arborist**, **Landscape Architect** or **Horticulturist**. Cuts larger than 2" diameter shall be sealed over with tree paint.
4. **Care** shall be **exercised** by the contractor to protect all overhead lines and other utility lines from damage by contact with **material** or equipment and by damage from **spikes** or **shovels**.
5. **Contractors** that **practise** **trees** and **vegetation** **removal** or **disturbance** of **soil** **without** **shoring**, **backs**, **bolts**, **underpins** and **reinforced** **soil** **shields** and **soil** and **other** **material** **protection** shall be **penalized** and **other** **actions** shall be **taken**.
6. **When** **underground** **utilities** **are** **crossed** **within** **2** **of** **a** **preserved** **tree** **trunk**, **they** **not** **be** **uprooted** **or** **damaged**.

SHIIRGARD STORAGE

WHEATON, ILLINOIS  
**TREE PRESERVATION**



**TREE PRESERVATION DETAIL**

ט'ז ב' ט'ז

2009  
PROJECT NO 1000  
QTY 1  
CUSTERS 1  
INVEST

2 OF 2